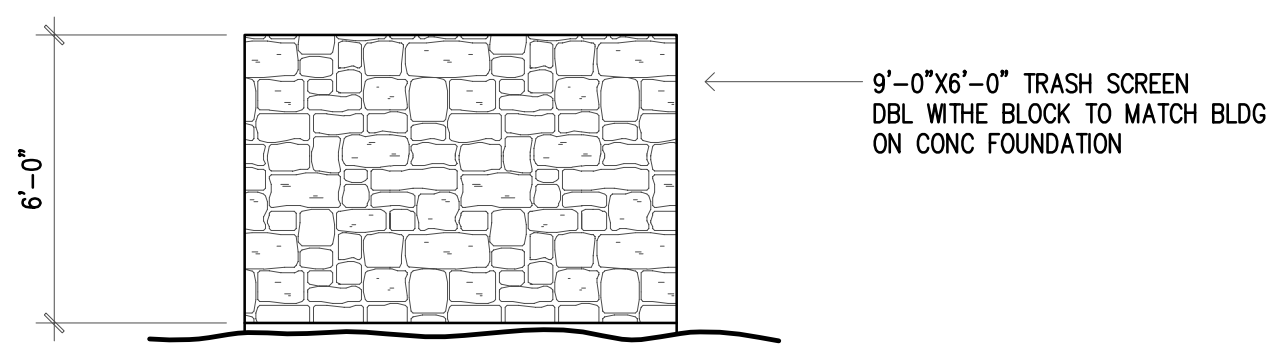
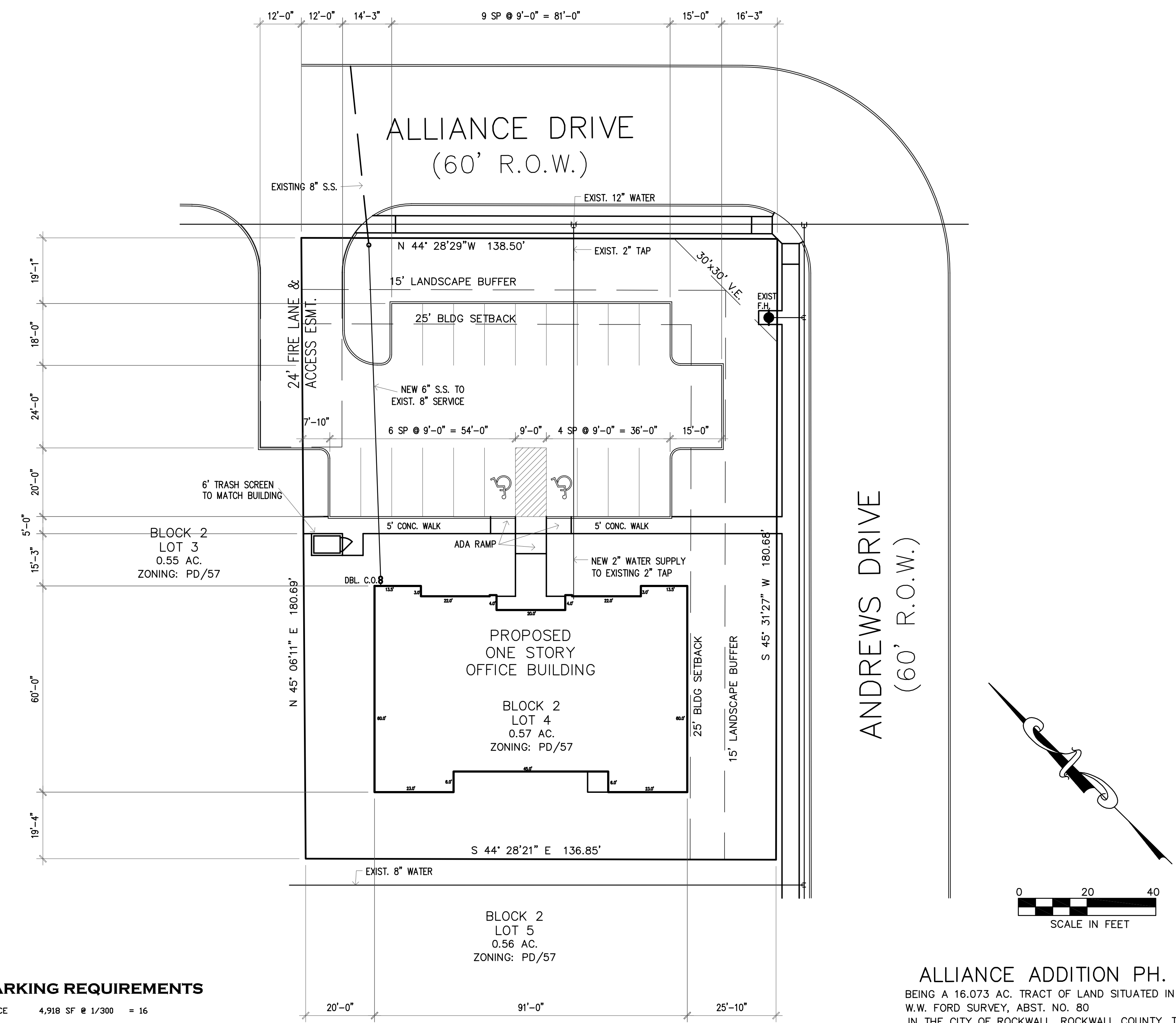


KEY PLAN



SCREEN DETAIL

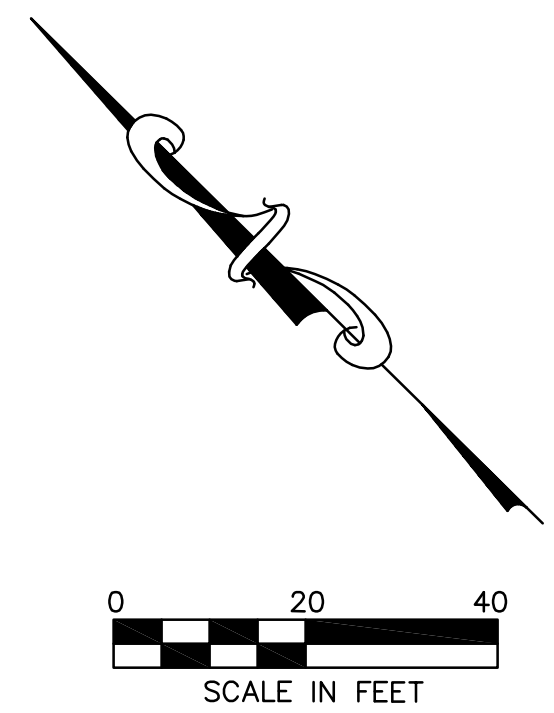
1/4" = 1'-0"

PARKING REQUIREMENTS

- OFFICE 4,918 SF @ 1/300 = 16
- 16 PARKING SPACES REQUIRED
- 19 PARKING SPACES PROVIDED
- 1 HANDICAP PARKING SPACE REQUIRED FOR PARKING DF 0-25
- 2 HANDICAP PARKING SPACES PROVIDED

NOTE: ALL DIMENSIONS ARE TO FACE OF CURB

ANDREWS DRIVE
(60' R.O.W.)



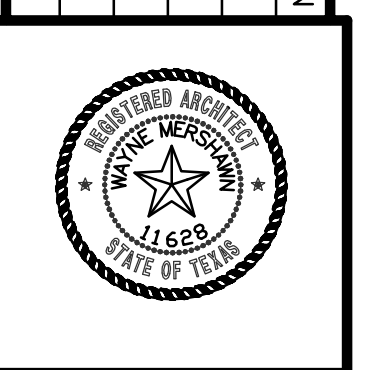
ALLIANCE ADDITION PH. 2
BEING A 16.073 AC. TRACT OF LAND SITUATED IN THE
W.W. FORD SURVEY, ABST. NO. 80
IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
WHITTLE DEVELOPMENT CO.
PO BOX 369
ROCKWALL, TEXAS 75087
9727752526

CASE #
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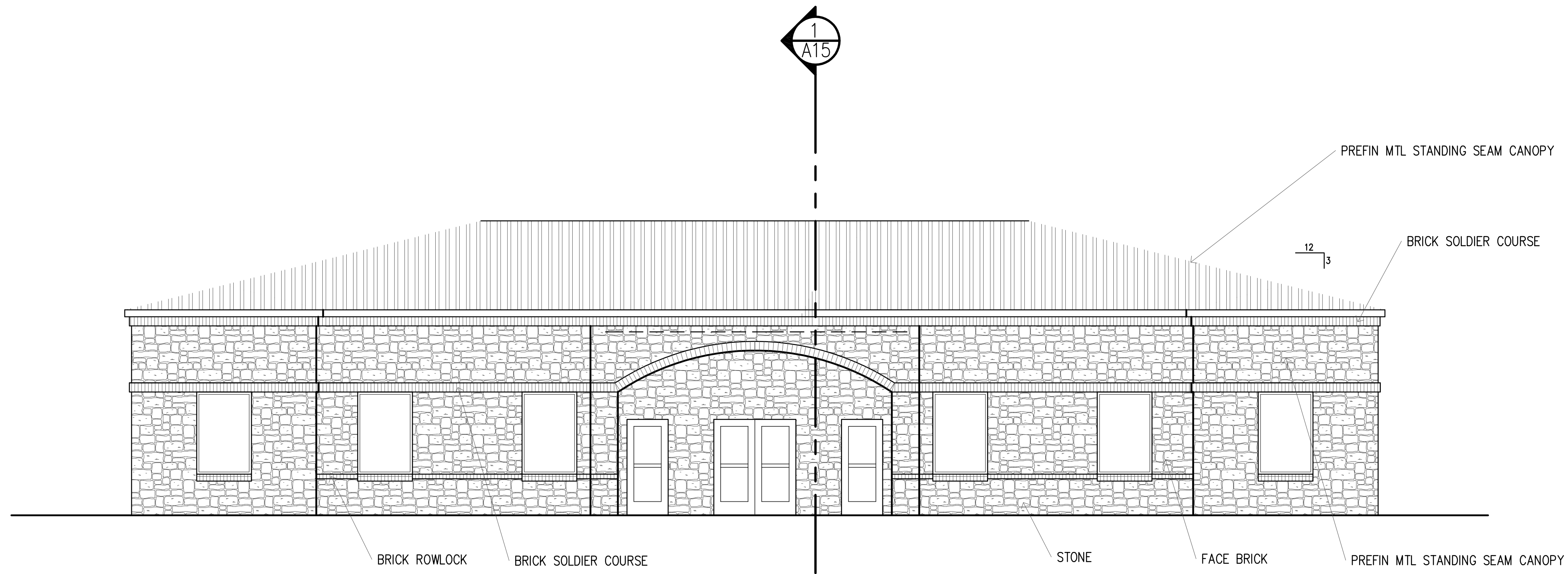
MERSHAWN ARCHITECTS
 MEDICAL COMMERCIAL CHURCHES
 RESIDENTIAL RESTAURANTS INSTITUTIONAL ARCHITECTS
 2313 RIDGE ROAD #103
 ROCKWALL, TEXAS 75087
 PHONE: 972-722-9302
 FAX: 972-249-0201

No.	Date	Revision	By
1	4.29.13	REVISED PER CITY COMMENTS	

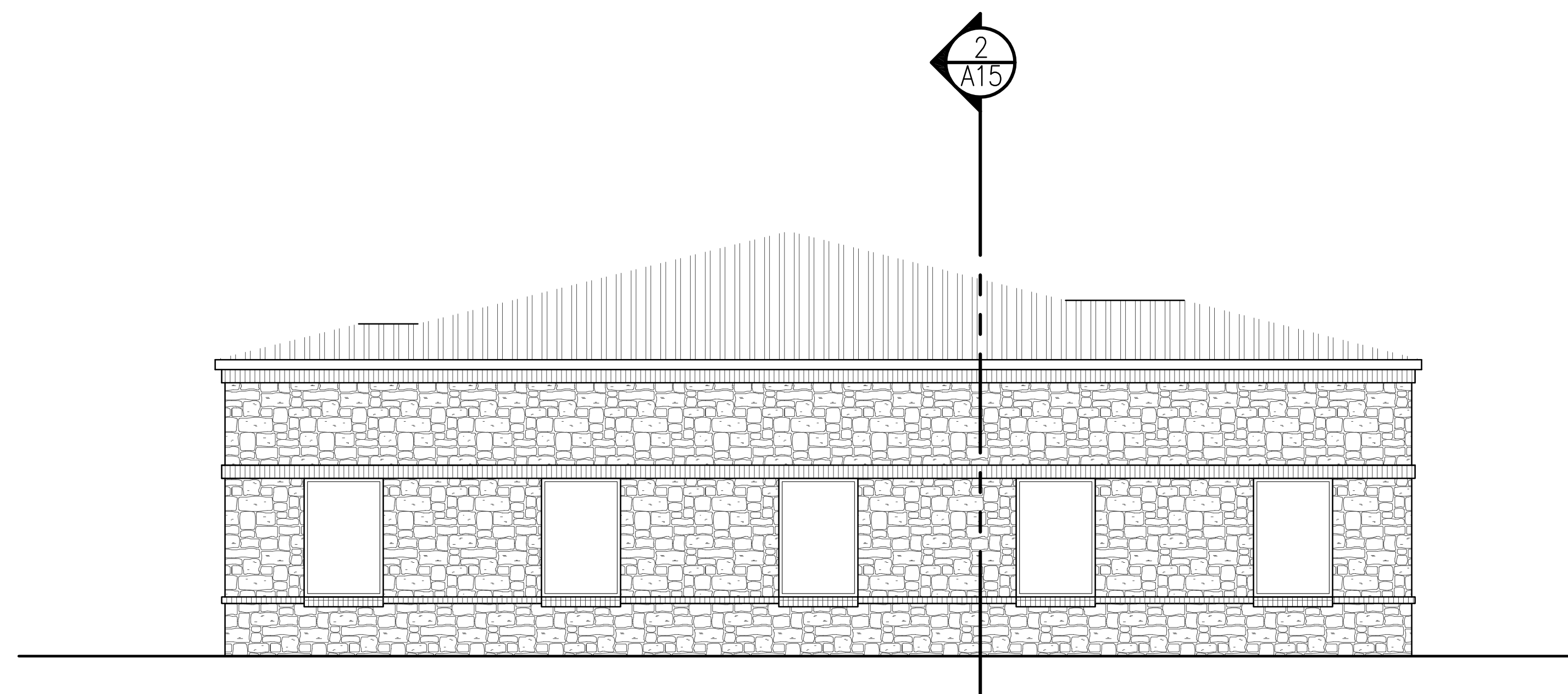


ALLIANCE IV OFFICE BUILDING
 ROCKWALL, TEXAS
SITE PLAN

Scale: 1" = 20'-0"
 Date:
 Project No.: 141009
 Designed: GW
 Drawn: GW
 Checked: WM
 SHEET **A1** OF **16**



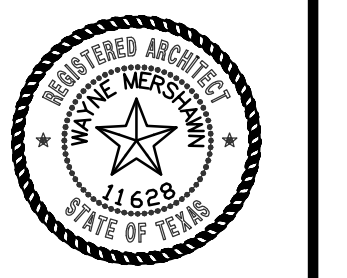
SOUTH ELEVATION



EAST ELEVATION

RESIDENTIAL RESTAURANTS
INSTITUTIONAL
MERSHAWN ARCHITECTS
MEDICAL COMMERCIAL
CHURCHES

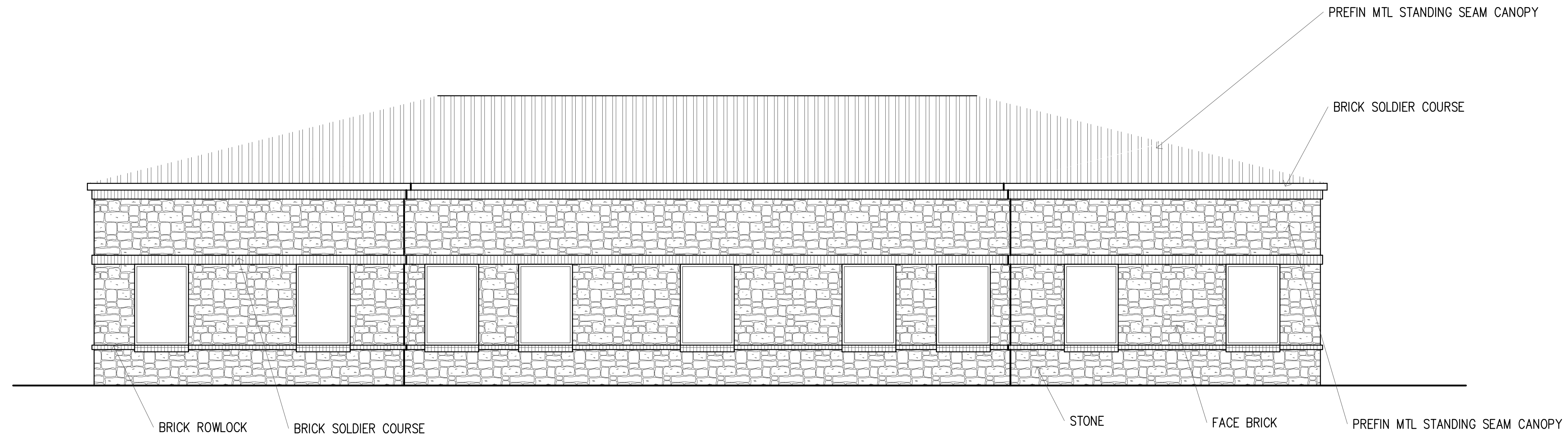
No.	Date	Revision	By



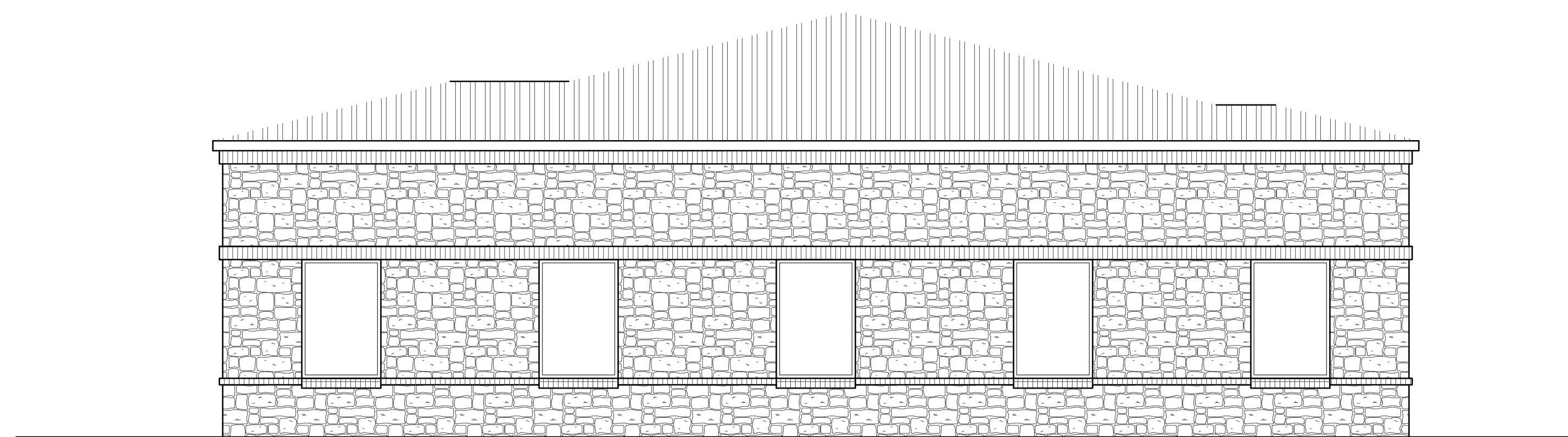
WHITTLE ALLIANCE IV
ROCKWALL, TEXAS
FLOOR PLAN

Scale:	3/16" = 1'-0"
Date:	
Project No.:	141009
Designed:	GW
Drawn:	GW
Checked:	WM

SHEET
A6 OF
16



NORTH ELEVATION



WEST ELEVATION

RESIDENTIAL RESTAURANTS
INSTITUTIONAL
MERSHAWN ARCHITECTS
MEDICAL COMMERCIAL
CHURCHES

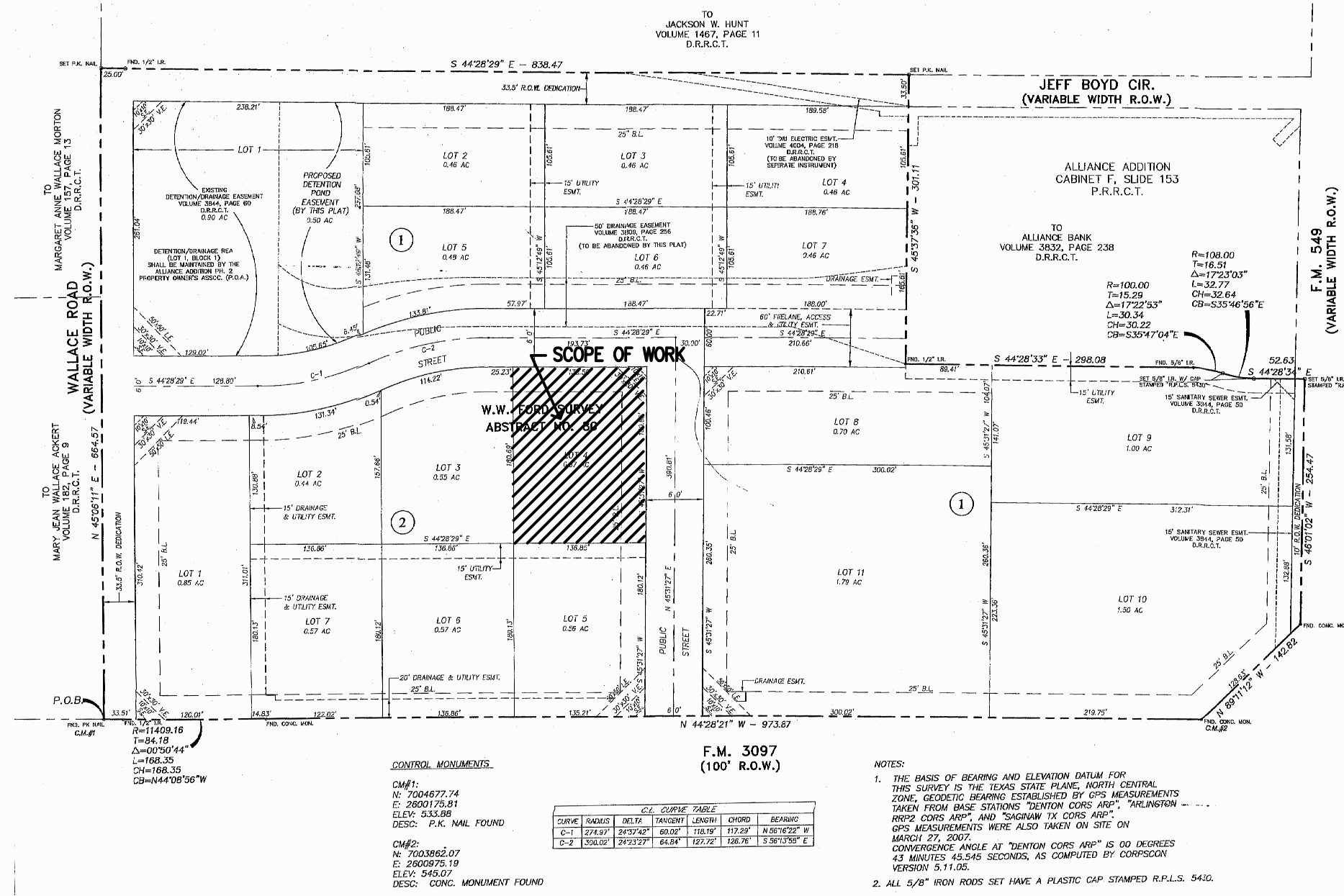


WHITTLE ALLIANCE IV
ROCKWALL, TEXAS

FLOOR PLAN

Scale: 3/16" = 1'-0"
Date:
Project No.: 141009
Designed: GW
Drawn: GW
Checked: WM

SHEET
A7 OF
16



		REQUIRED	PROVIDED
1.	STREET TREES 1 CANOPY PER 50'	6	6
2.	SITE TREES - ONE TREE W/ A CALIPER OF AT LEAST 2" FOR EACH 20,000 SF OF PARKING. 1 PER EVERY TEN REQ. PARKING SPACES	2	2
3.	LANDSCAPE BUFFER	15'	15'
4.	SCREENING OF OFF STREET PARKING	YES	YES
5.	TOTAL LANDSCAPE AREA 20% REQUIRED	3,725 SF	11,713 SF

KEY PLAN

- BURR OAKS (2)
INSTALLED WITH A MIN. 4" CALIPER
- LIVE OAKS (4)
INSTALLED WITH A MIN. 4" CALIPER
- RED BUD (5)
4' HIGH @ INSTALLATION
- MEXICAN PLUM (4)
4' HIGH @ INSTALLATION
- INDIAN HAWTHORNE (40)
PARKING SCREEN
PLANTS SHALL BE A MINIMUM OF 5-GALLONS W/A MINIMUM HEIGHT @ PLANTING OF 15" & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.
- BOXWOOD BUSH (24)
PLANTS SHALL BE A MINIMUM OF 5-GALLONS W/A MINIMUM HEIGHT @ PLANTING OF 15" & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.

ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED, BERMUDA.

IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION.

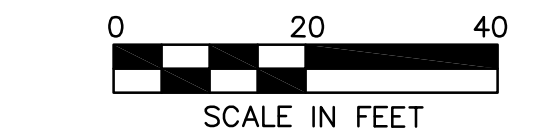
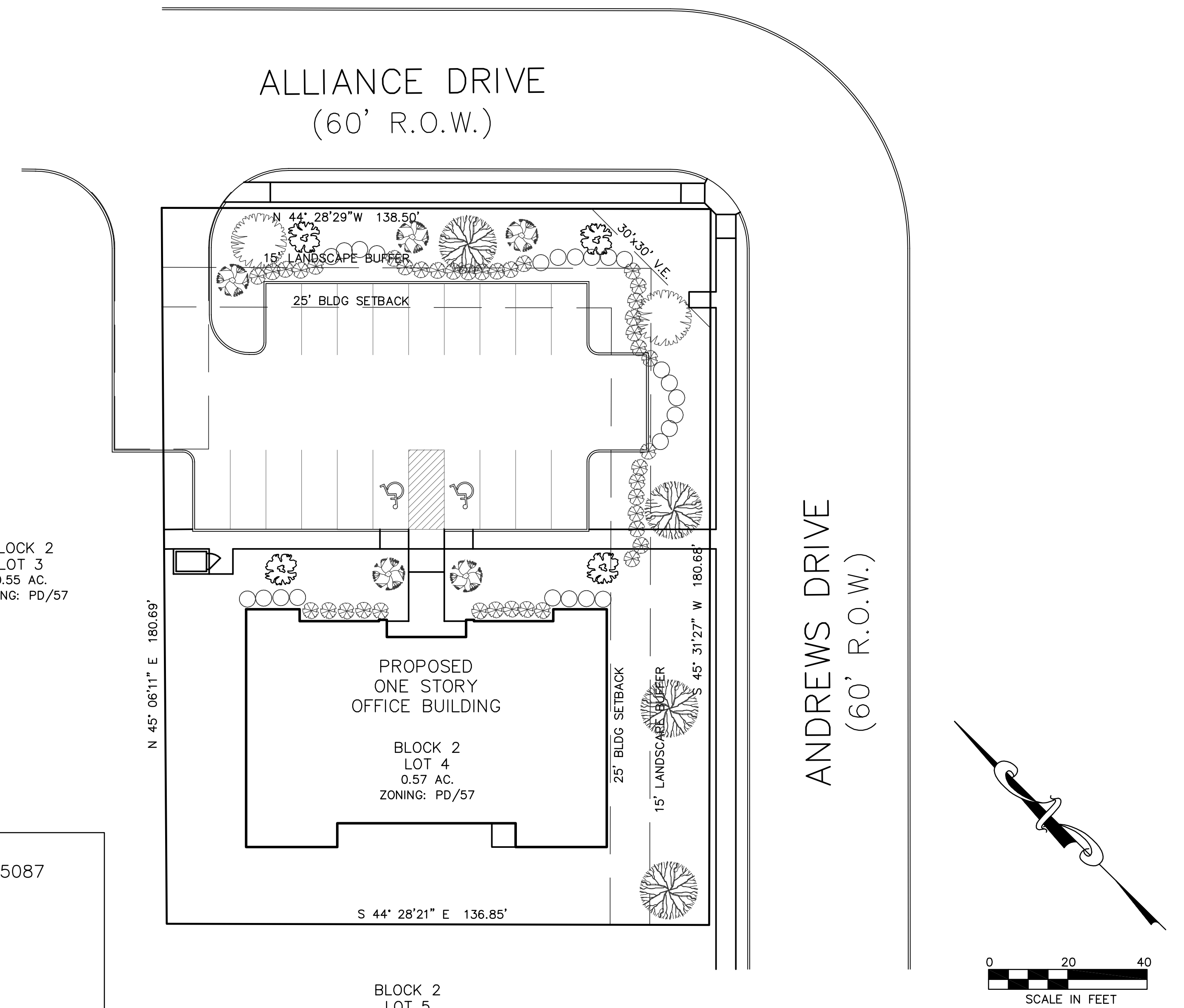
REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

LOT 4, BLOCK 2 - CARUTH LAKE DEVELOPMENT INC
PO BOX 369 ROCKWALL, TEXAS 75087
(972) 771-5253

1. ZONING: PD-57 - BUSINESS OCCUPANCY
2. PROPOSED USE: OFFICE
3. PROPERTY AREA (GROSS): 24,829.2 SF 0.57 AC
4. BUILDING AREA: 4,918 SF
5. BUILDING HEIGHT: SINGLE STORY - 21'-0"
6. LOT COVERAGE: 19.8% F.A.R. = 0.020:1
7. PARKING REQUIRED: 1 SPACE/300 SF 4,918 SF/300 = 17 SPACES REQUIRED
8. HANDICAP REQUIRED 1 ACCESSIBLE IN 0-25 SPACES
2 ACCESSIBLE PROVIDED
9. TOTAL PARKING PROVIDED: 19 SPACES
10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 13,116 SF



ALLIANCE ADDITION PH. 2
BEING A 16.073 AC. TRACT OF LAND SITUATED IN THE W.W. FORD SURVEY, ABST. NO. 80 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
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PO BOX 369
ROCKWALL, TEXAS 75087
9727715253

CASE #

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MEDICAL COMMERCIAL CHURCHES
MERSHAWN
 ARCHITECTS
 INSTITUTIONAL RESTAURANTS
 ARCHITECTS

2313 RIDGE ROAD #103
 ROCKWALL, TEXAS 75087
 PHONE: 972-722-9302
 FAX: 972-249-2081

No.	Date	By

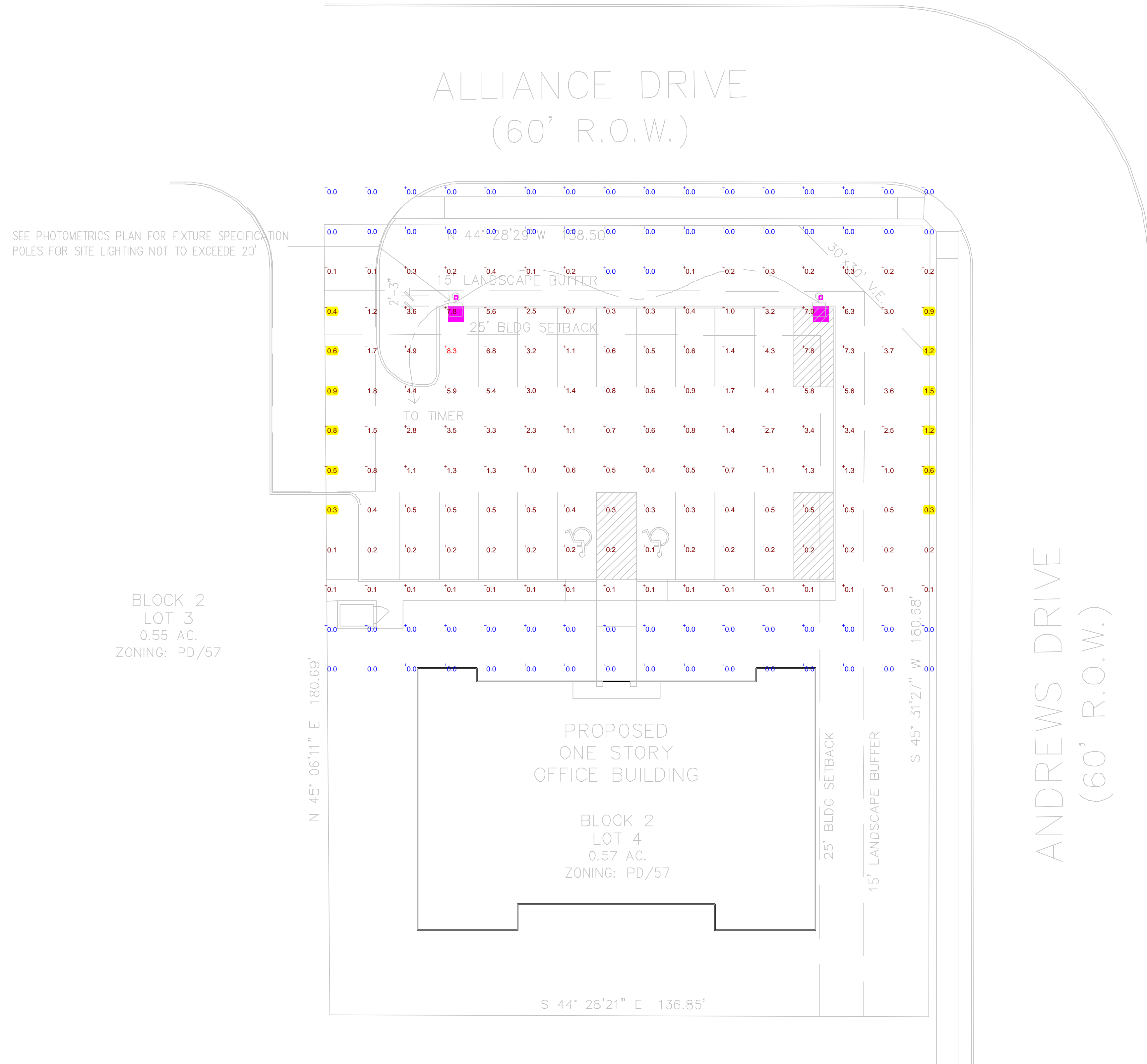
ALLIANCE IV OFFICE BUILDING
 ROCKWALL, TEXAS
LANDSCAPE PLAN

Scale: 1" = 20'-0"
 Date: _____
 Project No.: 141009
 Designed: GW
 Drawn: GW
 Checked: WM
 SHEET **A2** OF **16**

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.0 fc	8.3 fc	0.0 fc	N / A	N / A

LUMINAIRE SCHEDULE						
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens LLF
■	A	2	KAD 400M SR4SC (PULSE START)	Area Luminaire, 400W MH, High Performance SR4SC Sharp Cutoff, Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION	38000 0.75

NOTES
 1. FIXTURES MOUNTED AT 17.5'



BLOCK 2
 LOT 5
 0.56 AC.
 ZONING: PD/57

Plan View
 Scale 1" = 16'