

VICINITY MAP  
NOT TO SCALE

LEGEND

- PROPERTY LINE
- EXISTING INFRASTRUCTURE
- PROPOSED SIDEWALK (BROOM FINISH)
- EXISTING LIGHT POLE ☆
- DRIVE-THRU STACKING SPACE
- NEW CONCRETE PAVEMENT

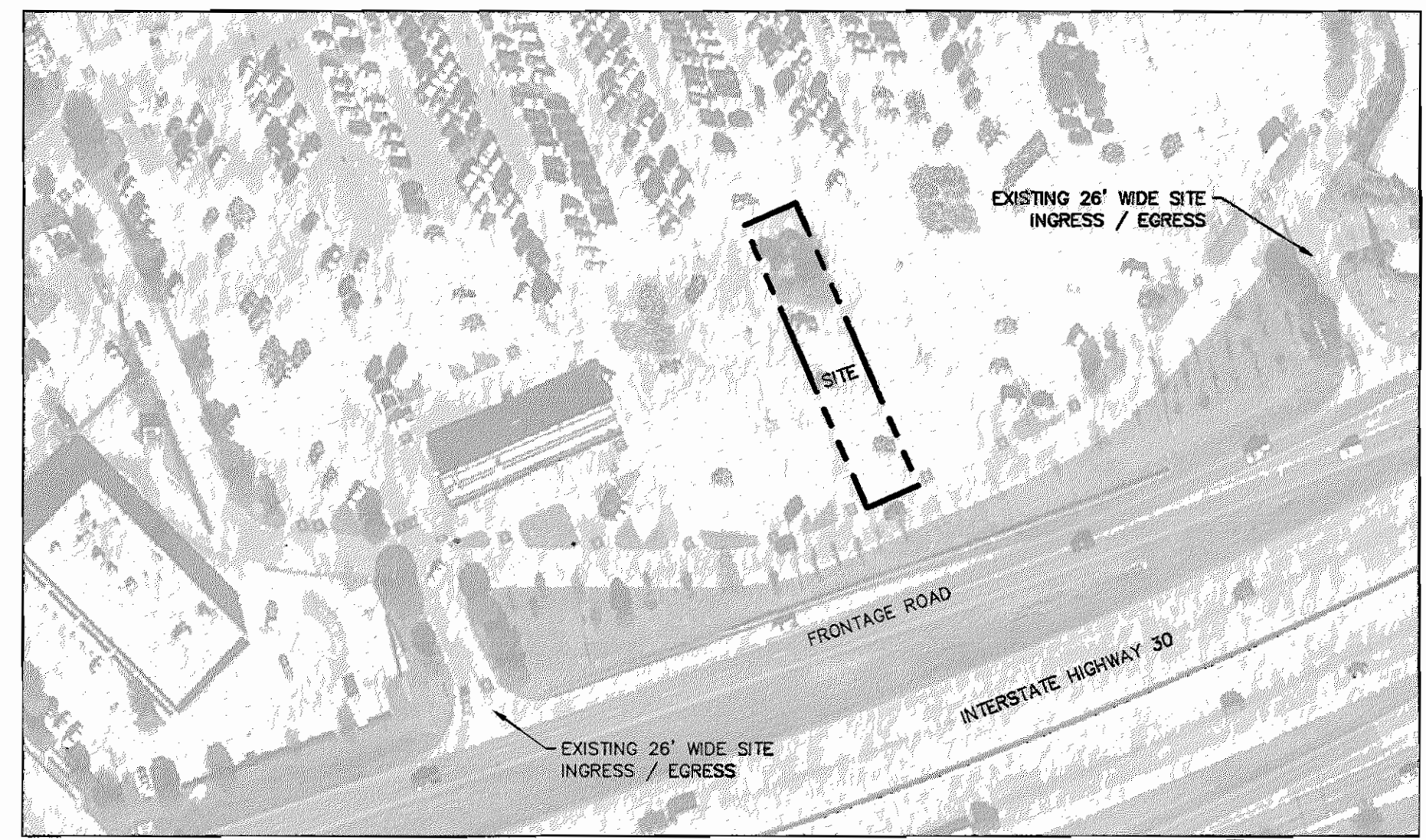
SITE AREA = 0.182 ACRES (7,939 SF)  
 IMPERVIOUS AREA PROPOSED = 6,109 SF (77% OF SITE)  
 IMPERVIOUS AREA ALLOWED = 6,748 SF (85% OF SITE)

SITE ZONING - C (COMMERCIAL) AND IH-30 OV (IH-30 OVERLAY)  
 PROPOSED USE - RESTAURANT WITH DRIVE-THRU WINDOW (NO SEATING)

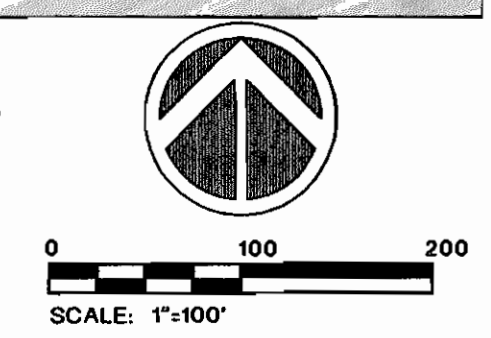
BUILDING AREA = ±519 SF (18' TALL)  
 THERE ARE NO EXISTING BUILDINGS WITHIN 100 FEET OF THE PROPOSED LEASE SITE

PARKING REQUIRED = 1 SPACE/100 SF = 6 SPACES  
 PARKING PROVIDED = 6 SPACES + 1 VAN ACCESSIBLE SPACE

NO FREESTANDING LIGHT FIXTURES ARE PROPOSED.  
 EXISTING WALMART LIGHTS ARE ADJACENT TO SITE. REFER TO BUILDING PLANS FOR BUILDING LIGHTS / SIGNS.



AREA SURROUNDING PROJECT SITE



NO.	DATE	REVISION DESCRIPTION

**SITE PLAN**

**DUNAWAY**

500 Bailey Avenue • Suite 400  
 Rockwall, TX 75087  
 Tel: 972-385-7121  
 Fax: 972-385-7457  
 TX REG. P-11141

Seattle's Best Coffee  
 Near the NEC of IH 30 Frontage  
 Road and White Hills Drive  
 Rockwall, Rockwall County, Texas

STATE OF TEXAS  
 KYLON M. WILSON  
 77520  
 LICENSED PROFESSIONAL ENGINEER

DATE: 12-5-12

JOB No. B000606

DRAWN BY: DDP

DESIGNED BY: DDP

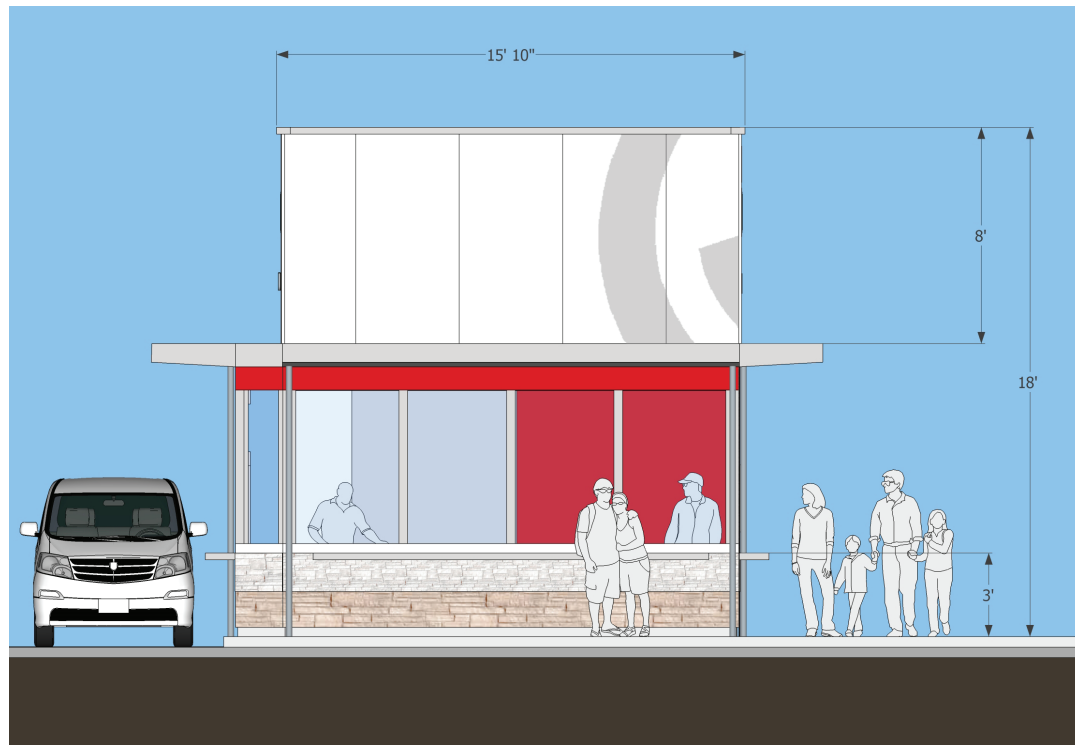
CHECKED BY: KMW

DATE: NOVEMBER 16, 2012

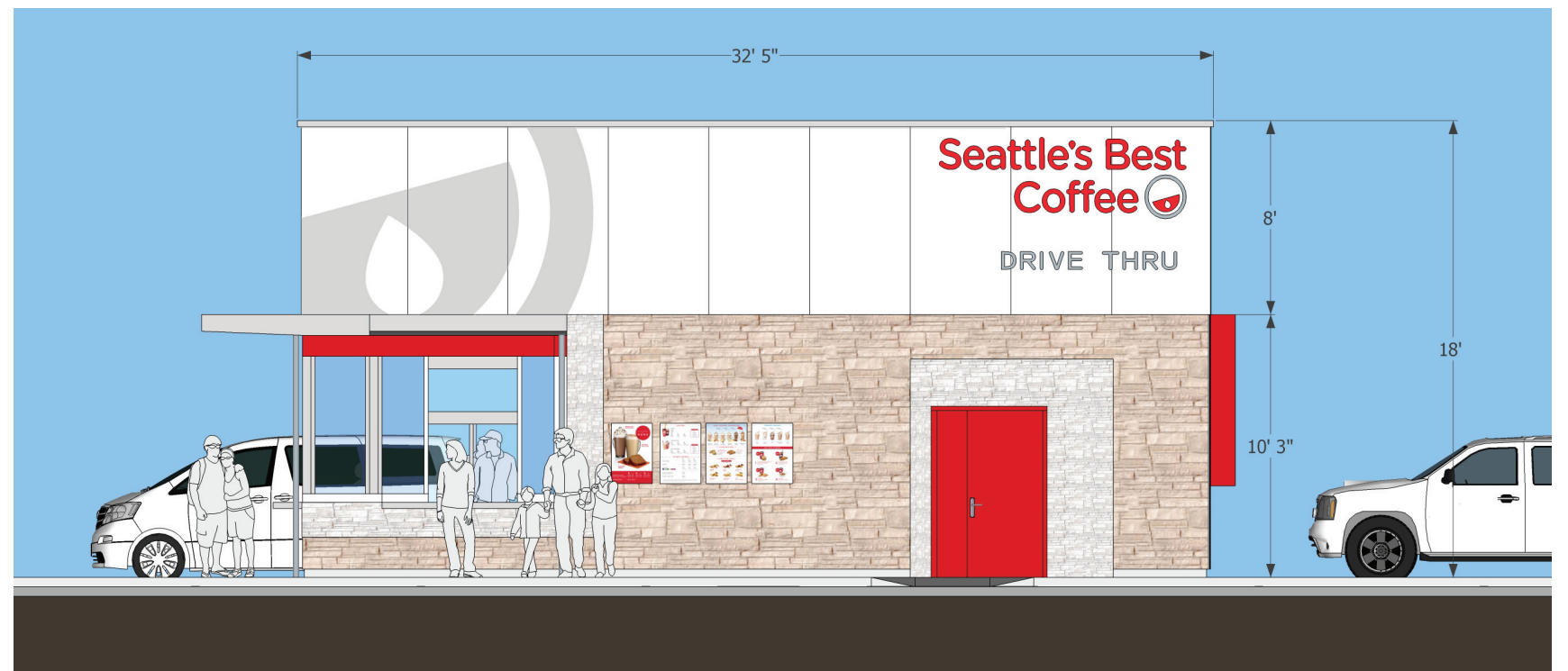
SCALE: 1"=20'

SHEET: 1

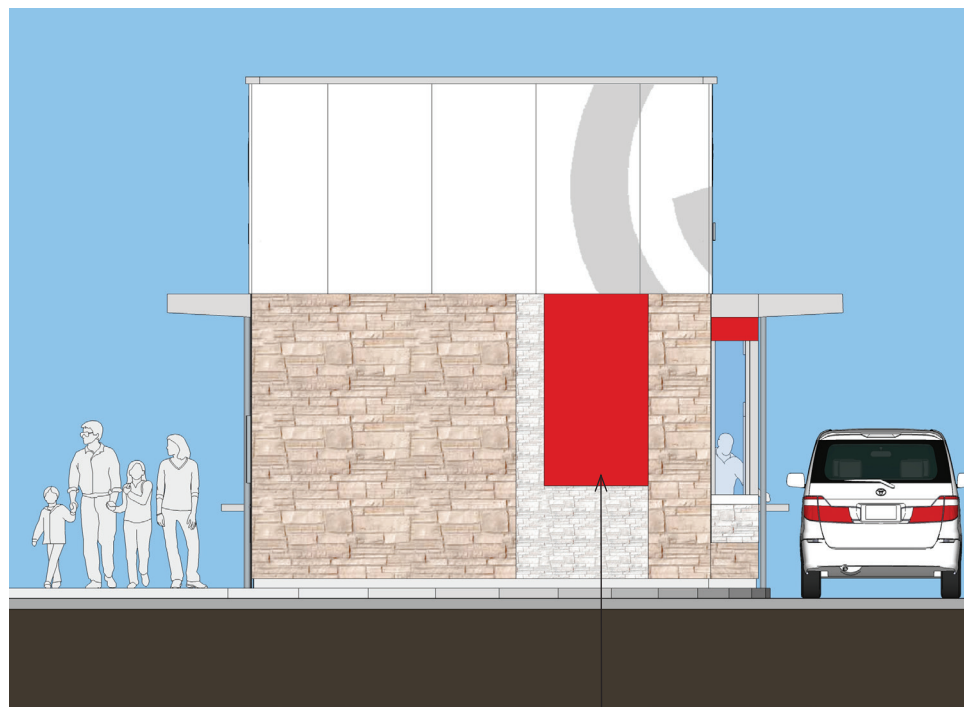
EXHIBIT "A"



front



right



back

Heat Pump  
Mechanical Unit



left



drive-thru window view



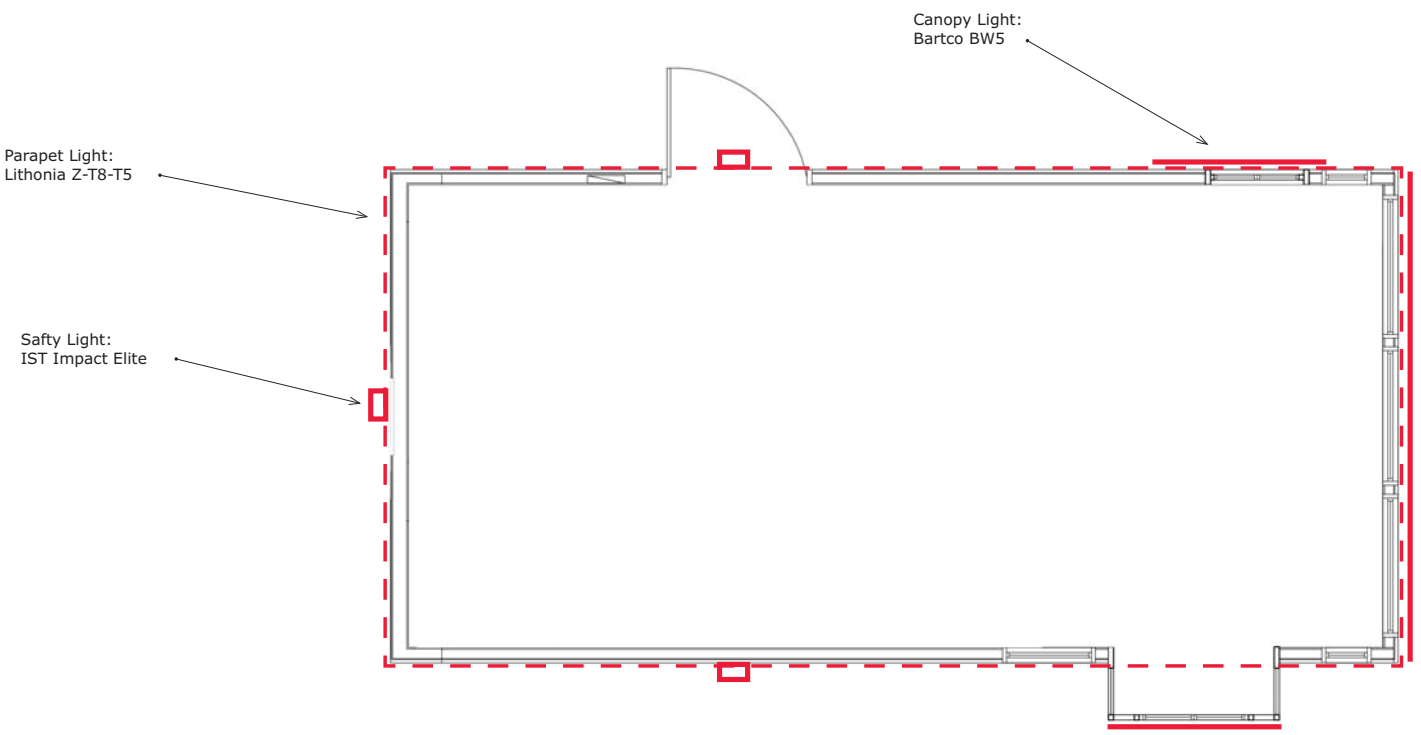
walk-up window view

Exterior Building Material Area Calculation:

Glazing & Entry Door: 13% of total area

Fiber-Concrete Masonry Panel: 45% of non-glazing area

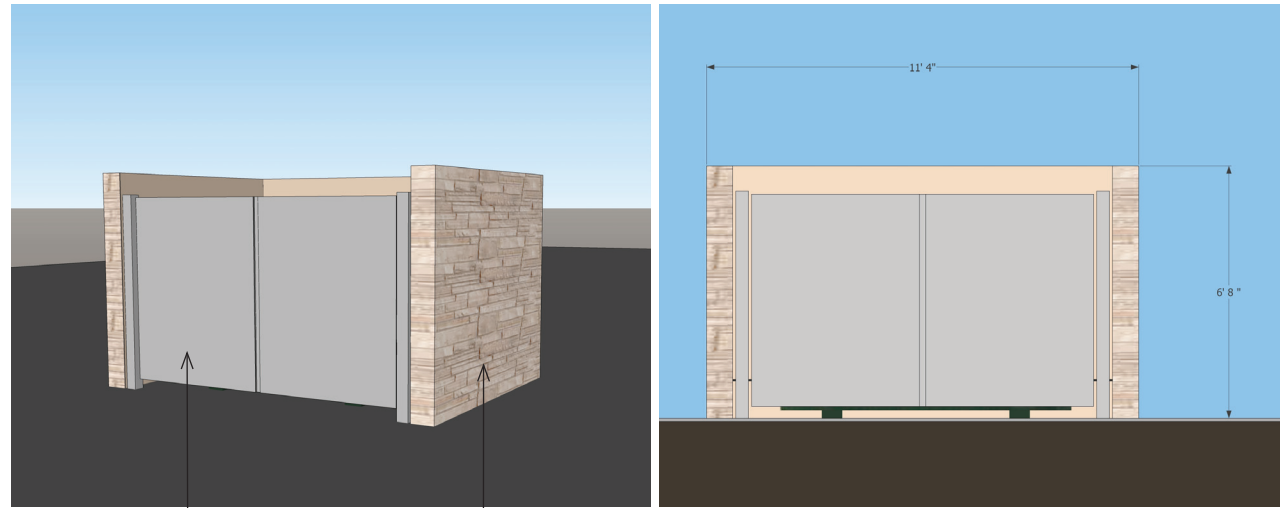
Stone Material: 53% of non-glazing area  
 33% cast Ledge Stone, 20% natural Austin Limestone



lighting plan



night time view



self-latching  
opaque gate

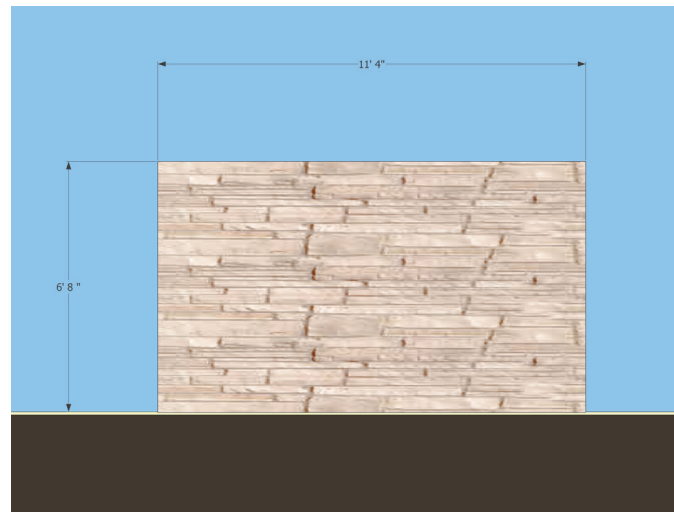
Ledger Stone  
to match building

front

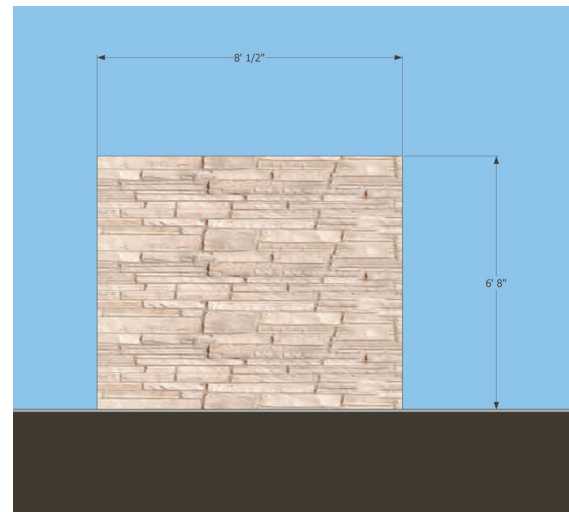


Austin White limestone saw cut 4 to 8 inches up close

natural Austin Limestone

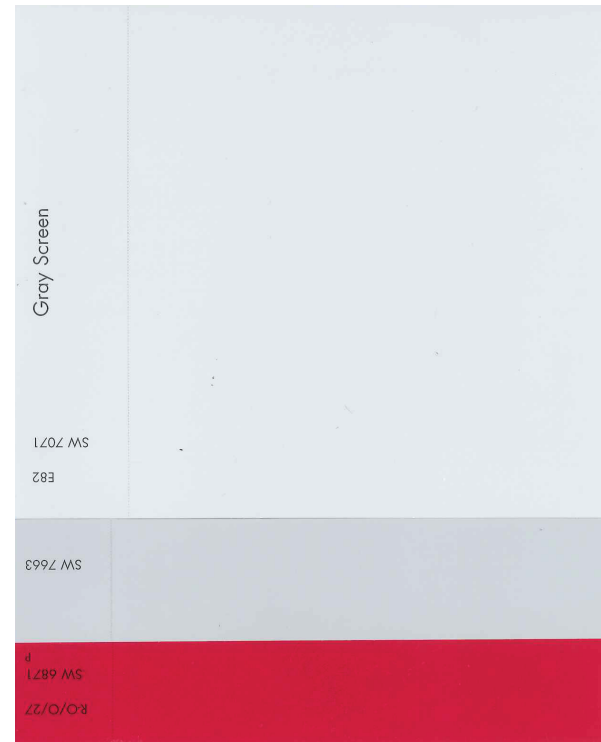


back



side

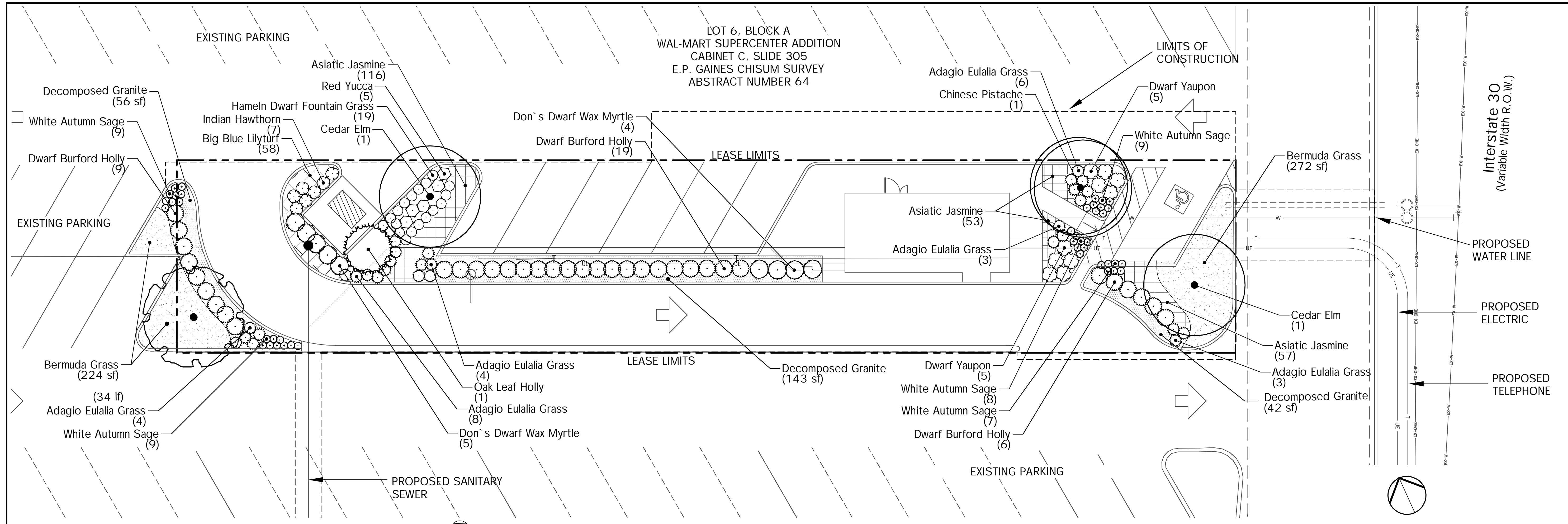
Trash Enclosure



paint colors



cast Ledger Stone



**PLANT SCHEDULE**

TREES	QTY	COMMON NAME	BOTANICAL NAME	GAL.	CONT.	HT.	SPREAD
	2	CEDAR ELM	ULMUS CRASSIFOLIA	3"	65 GAL	14'-16"	5'-7"
	1	CHINESE PISTACHE	PISTACIA CHINENSIS	3"	65 GAL	14'-16"	5'-7"
	1	OAK LEAF HOLLY	ILEX X 'OAK LEAF'	2"	45 GAL	5'-7"	2'-3"
	1	SHUMARD RED OAK	QUERCUS SHUMARDII	3"	65 GAL	14'-16"	5'-7"
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT.	SPREAD	SPACING
	9	DON'S DWARF WAX MYRTLE	MYRICA CERIFERA 'DON'S DWARF'	5 GAL	24" - 36"	24" - 36"	36" OC
	35	DWARF BURFORD HOLLY	ILEX CORNUTA 'BURFORDII NANA'	5 GAL	24" - 36"	24"	30" OC
	10	DWARF YAUPON	ILEX VOMITORIA 'NANA'	5 GAL	20"-24"	20"-24"	3' OC.
	7	INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'CLARA'	5 GAL	20"-24"	20"-24"	3' OC.
	5	RED YUCCA	HESPERALOE PARVIFLORA	5 GAL	18"-24"	18"-24"	24" OC
ANNUALS/PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT.	SPREAD	SPACING
	42	WHITE AUTUMN SAGE	SALVIA GREGGII 'WHITE'	1 GAL	10"-12"	12"	18" OC
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT.	SPREAD	SPACING
	30	ADAGIO EULALIA GRASS	MISCANTHUS SINENSIS 'ADAGIO'	5 GAL	18"-20"	16"-18"	3' OC.
	19	HAMELN DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	3 GAL	2'	16"-18"	24" OC
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	CONT./SPACING	HT.	SPREAD	REMARKS
	226	ASIATIC JASMINE	TRACHELOSPERMUM ASIATICUM 'ASIATIC'	4" POT@ 12" OC	9"	4'-6"	12" OC.
	501 SF	BERMUDA GRASS	CYNODON DACTYLON 'TIF 419'	SOLID SOD			
	58	BIG BLUE LILYTURF	LIRIOPE MUSCARI 'BIG BLUE'	4" POT@ 12" OC	4'-6"	4'-6"	12" OC.
OTHER	QTY	COMMON NAME	BOTANICAL NAME	CONT./SPACING	HT.	SPREAD	REMARKS
	227 SF	DECOMPOSED GRANITE	DECOMPOSED GRANITE	N/A	N/A	N/A	4" THICK LAYER

**SITE DATA:**  
 TOTAL SITE AREA 7929 SF OR .182 AC  
 STREET FRONTAGE 0 LF  
 ZONING IH 30 OVERLAY DISTRICT  
 ADJACENT ZONING RETAIL  
 TOTAL SF OF NEW BUILDING 524 SF

EXISTING TREES TO BE REMOVED ON SITE - 28 CAL. INCHES  
 TOTAL CAL INCHES TO BE REPLACED FOR NEW CONSTRUCTION - 12 CAL. INCHES

**LANDSCAPE REQUIREMENTS: REQUIRED PROVIDED**

**IH 30 OVERLAY DISTRICT REQUIREMENTS**

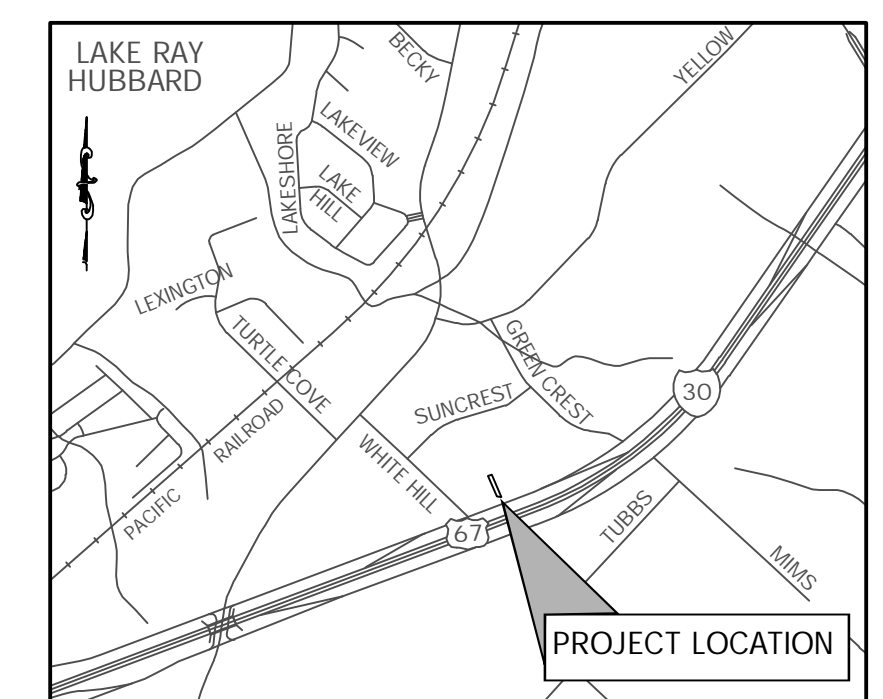
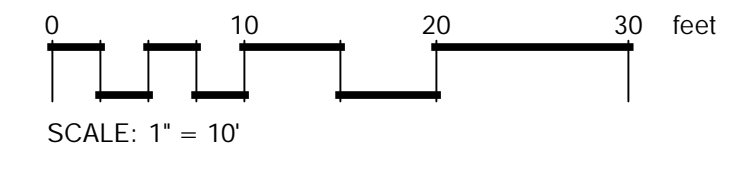
**BUFFER STRIP AND PLANTINGS**

BUFFER STRIP - 20' WIDTH	N/A	N/A
BUFFER STRIP PLANTINGS	3 CANOPY W/ 4 ACCENT TREES PER 100'	N/A

**ARTICLE VIII - LANDSCAPE REQUIREMENTS**

REQUIRED LANDSCAPE AREA 15% OF TOTAL SITE AREA .15 X 7929 SF = 1,189 SF	1,189 SF	1,786 SF
BUFFER STRIP - 10' WIDTH 1 TREE/ 50 LF	N/A	N/A
PARKING LOT LANDSCAPING (5% OF PARKING LOT AREA OR 200 SQ FT)	200 SQ FT	200 SQ FT
LOCATION OF LANDSCAPING TO BE LOCATED IN FRONT	50% OF LANDSCAPING	YES

\* NOTE: THIS PROJECT IS FULLY CONTAINED WITHIN THE WALMART PROPERTY AND THE PROPERTY LEASE LIMITS DO NOT EXTEND TO INTERSTATE 30 R.O.W. THE BUFFER STRIP PLANTINGS FOR THE ADJACENT FRONTAGE WAS INSTALLED WHEN THE WALMART SITE WAS CONSTRUCTED



**SITE MAP**

NO.	DATE	REVISION DESCRIPTION

**LANDSCAPE PLAN**

**DUNAWAY**

550 Bailey Avenue • Suite 400  
 Fort Worth, Texas 76107  
 Tel: 817-335-1121  
 Fax: 817-335-1123  
 (TOLL FREE) 1-800-335-1121

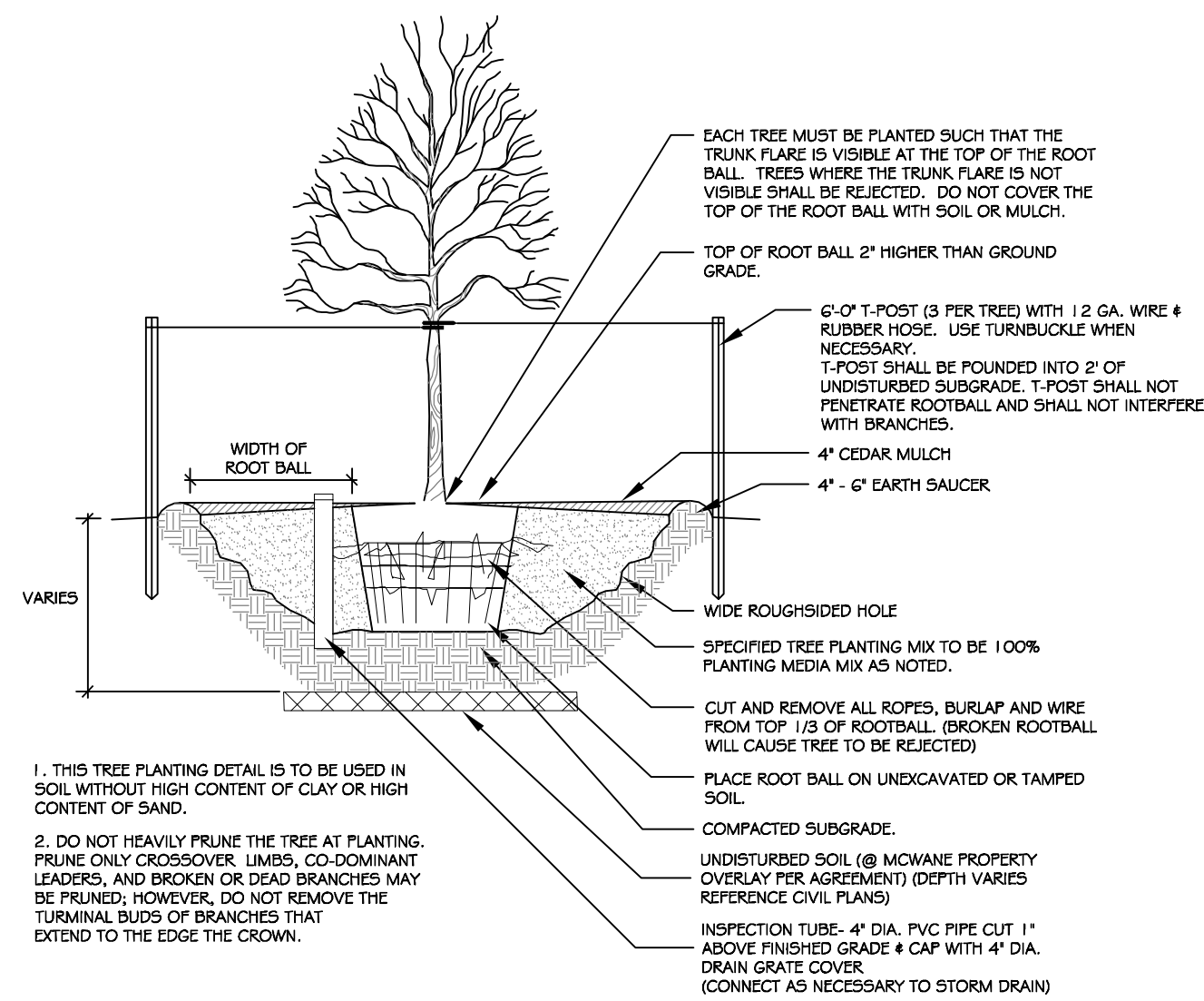
Seattle's Best Coffee  
 Near the NEC of IH 30 Frontage  
 Road and White Hills Drive  
 Rockwall, Rockwall County, Texas



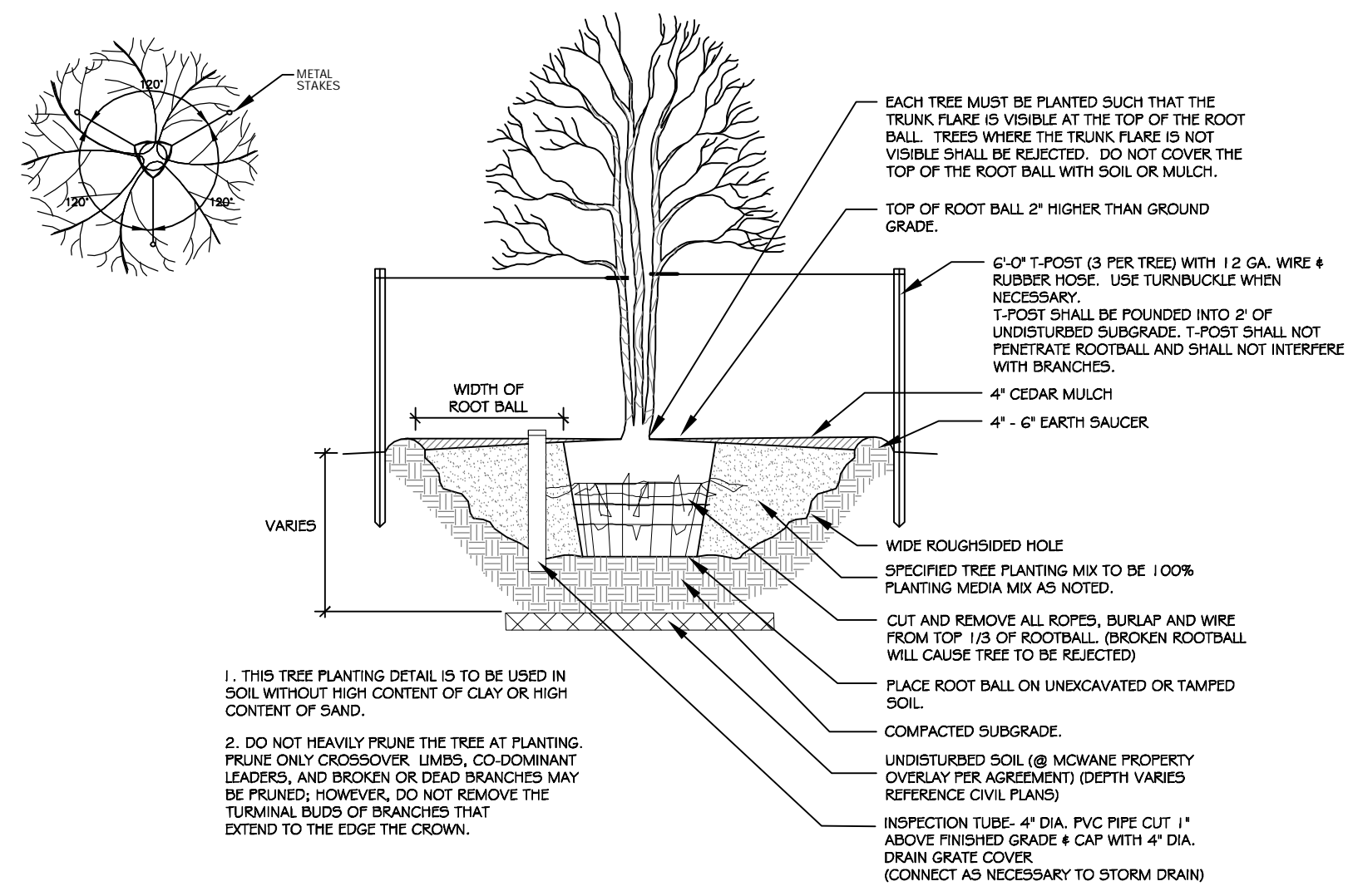
DATE:	12/05/12
JOB No.	B000606
DRAWN BY:	ACH
DESIGNED BY:	AGB
CHECKED BY:	AGB
DATE:	NOVEMBER 27, 2012
SCALE:	AS SHOWN
SHEET:	L2

**Landscape Architect**  
 Dunaway Associates  
 Representative, Adam Brewster  
 550 Bailey Ave.  
 Fort Worth, TX 76107  
 817-335-1121

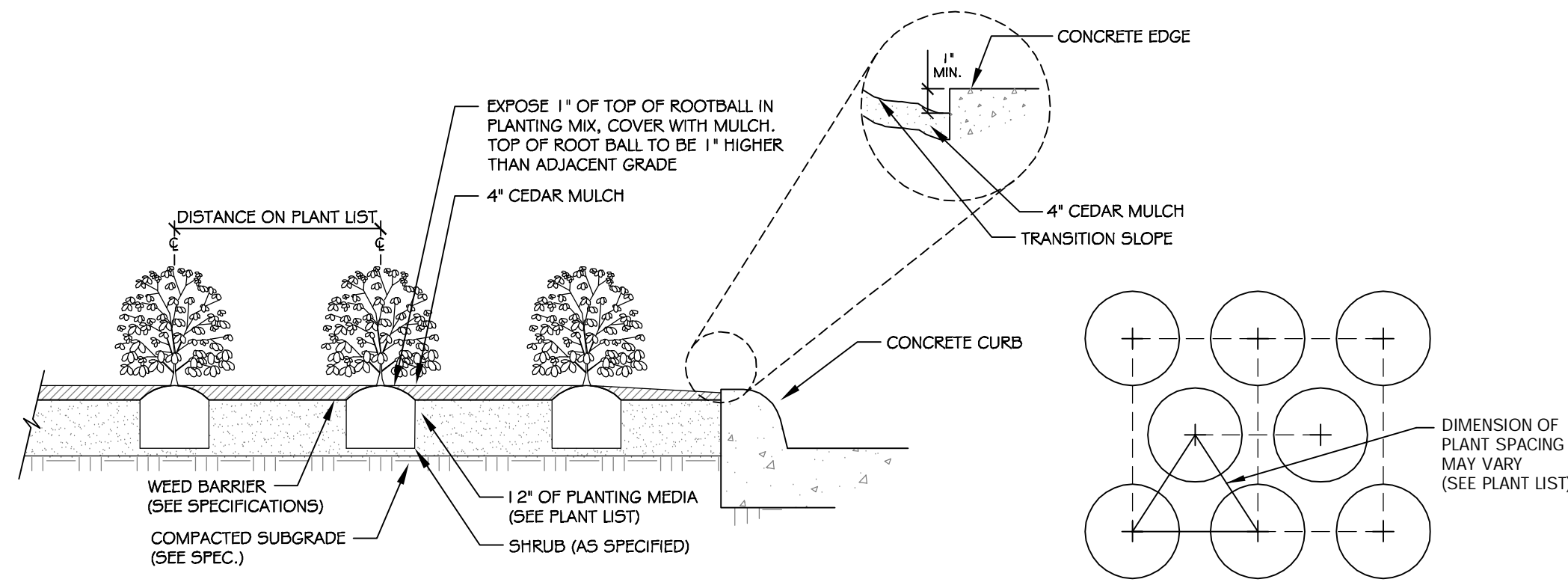
**Owner/Developer**  
 Seattle's Best Coffee  
 Contact: Rita Lang  
 2401 Utah Ave South  
 Suite 800  
 Seattle, WA  
 phone: 206-318-6925



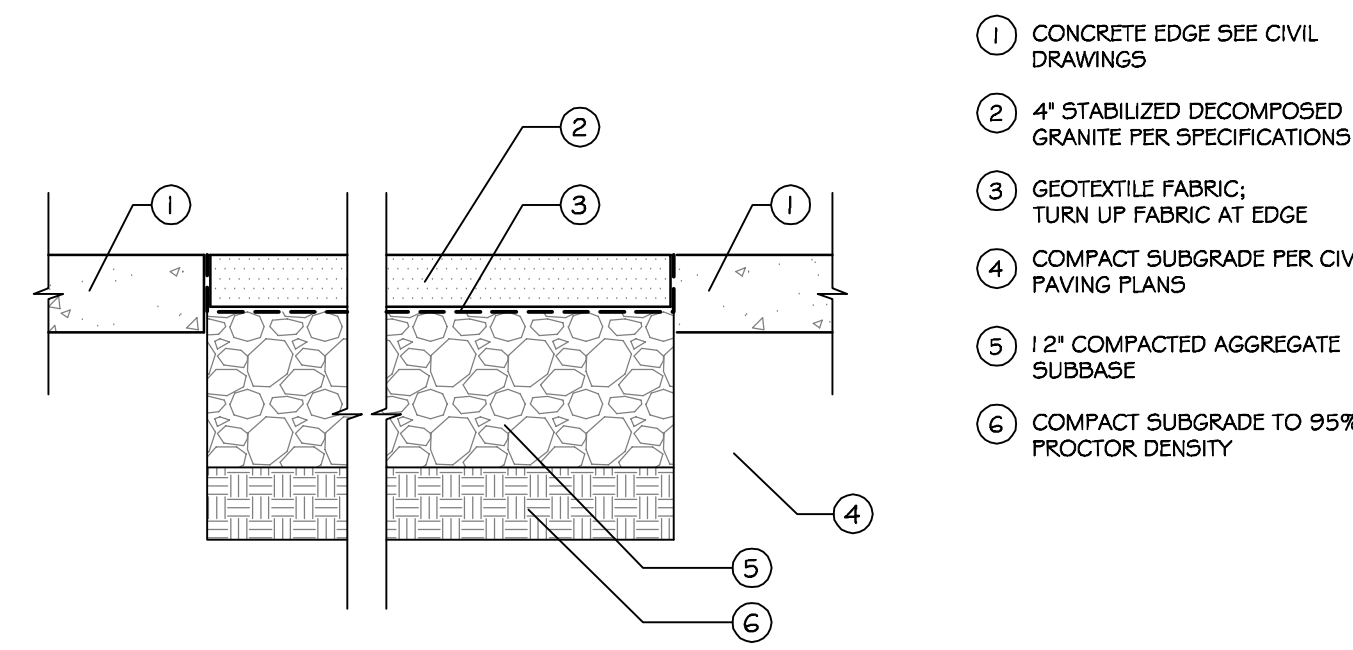
**A** TREE PLANTING & STAKING DETAIL  
NOT TO A SCALE



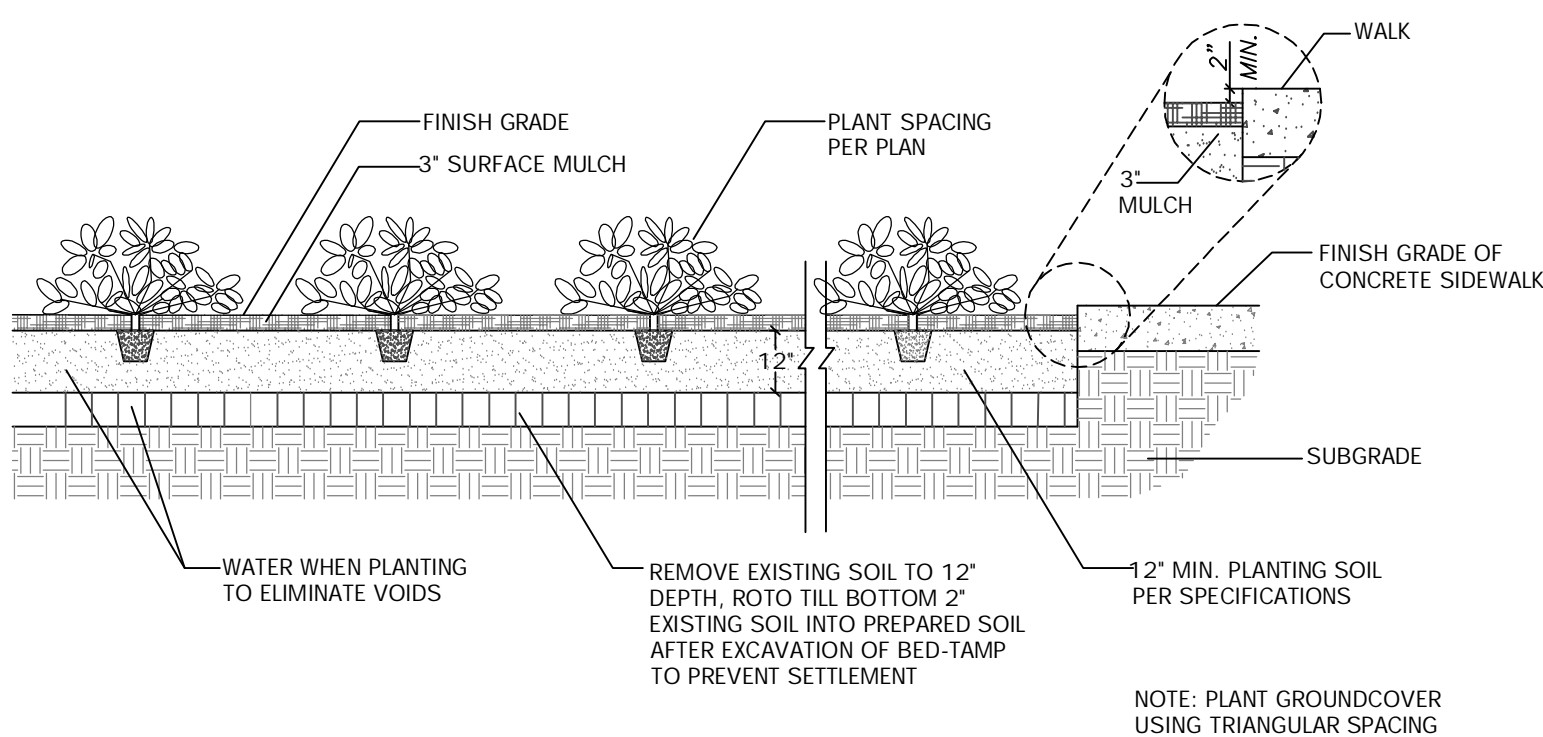
**B** MULTI-TRUNK TREE PLANTING & STAKING DETAIL  
NOT TO A SCALE



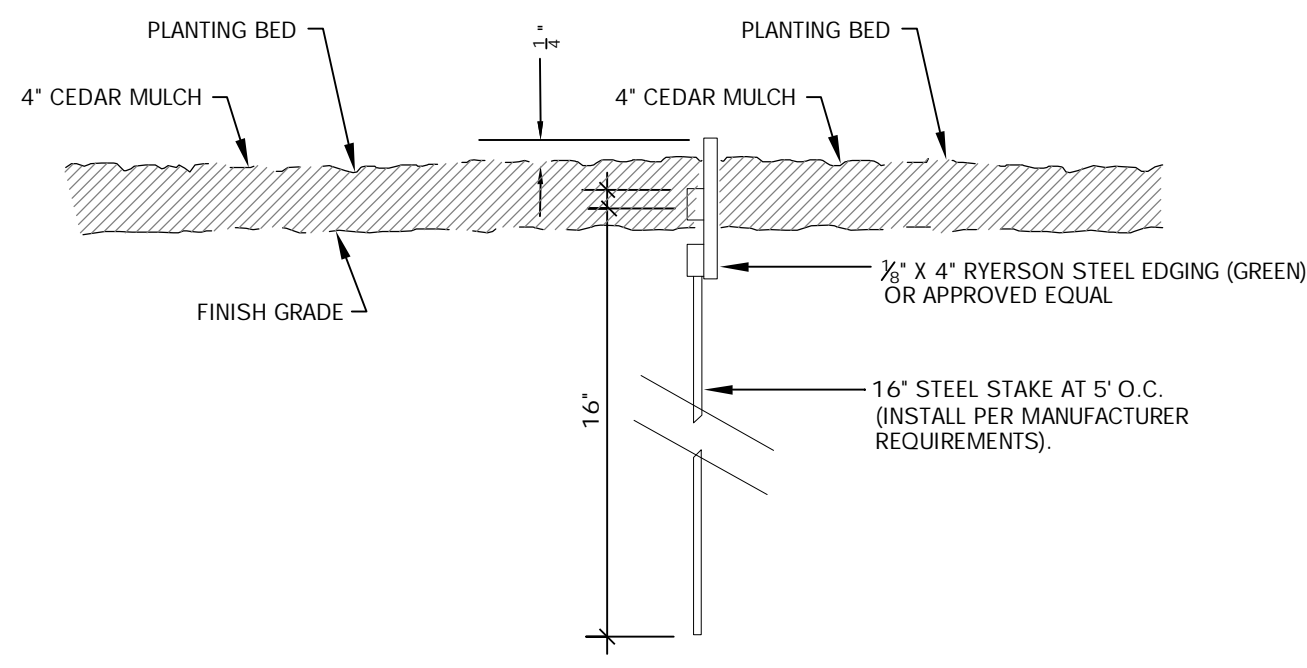
**C** SHRUB PLANTING DETAIL AND SPACING DIAGRAM  
NOT TO A SCALE



**D** DECOMPOSED GRANITE  
SCALE: 1" = 1'-0"



**E** GROUNDCOVER PLANTING DETAIL  
NOT TO SCALE



**F** STEEL EDGING DETAIL  
NOT TO SCALE

**LANDSCAPE NOTES:**

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER GROWN AS INDICATED IN THE PLANT LIST.
3. ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE BEFORE, DURING AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
6. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
7. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO THE UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
9. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
10. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
11. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING, INCLUDING BUT NOT LIMITED TO: WATERING, MOWING, EDGING, SPRAYING, MULCHING, WEEDING, FERTILIZING, ETC. OF THE PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER, AND AS STATED MAINTENANCE PERIOD.
12. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF TWO (2) YEARS FROM DATE OF ACCEPTANCE OF PROJECT. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
13. THE CONTRACTOR SHALL STAKE THE PROPOSED LOCATION OF ALL TREES AND PLANTING BEDS AND RECEIVE APPROVAL OF THE OWNER PRIOR TO INSTALLATION.
14. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
15. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOOLIATES PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE. THE REPLACEMENT MATERIAL SHALL MEET ALL PLANT LIST SPECIFICATIONS.
16. STANDARDS SET FORTH IN THE 'AMERICAN STANDARD FOR NURSERY STOCK' REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
17. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
18. THE CONTRACTOR IS CAUTIONED THAT LOCAL CITY STANDARDS MAY DIFFER FROM THOSE SHOWN HEREIN. CONSTRUCTION IS TO BE PERFORMED IN ACCORDANCE WITH LOCAL, CITY, STATE OR FEDERAL SPECIFICATIONS AND DETAILS SHOULD BE MORE STRINGENT THAN THOSE REPRESENTED HEREIN.
19. ALL SHRUB, GROUND COVER AND PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH MULCH TO A MINIMUM DEPTH OF FOUR INCHES.
20. IF LANDSCAPE CONTRACTOR DEMONSTRATES THAT ALL KNOWN RESOURCES HAVE BEEN EXHAUSTED FOR SPECIFIED PLANT MATERIAL AND AVAILABILITY OR QUALITY DOES NOT MEET OR EXCEED CRITERIA, CONTACT OWNER'S REPRESENTATIVE FOR ALTERNATIVE PLANT MATERIAL POSSIBILITIES.
21. PLANT MATERIALS  
-PLANTING MEDIA MIX:  
"VEGETABLE MIX" AS SUPPLIED BY LIVING EARTH OR AN APPROVED EQUAL.  
CONTACT: PAUL TOMASO, LIVING EARTH, 1902 CALIFORNIA CROSSING, DALLAS, TEXAS 75220, 972-869-4332.  
-MYCORRHIZAL SUPPLEMENT:  
"DIEHARD-TRANSPLANT," BY HORTICULTURAL ALLIANCE, INC. (800)628-6373, WWW.HORTICULTURALALLIANCE.COM. APPLY TO ALL PLANTINGS DURING THE PLANTING OPERATION AT THE RATES SPECIFIED BY THE MANUFACTURER. THE CONTRACTOR SHALL CALCULATE THE REQUIRED AMOUNT OF "DIEHARD TRANSPLANT," FOR THE PROJECT USING THE MANUFACTURER'S SPREADSHEET AND SUBMIT THE SPREADSHEET WITH THE PROJECT SUBMITTALS. THE CONTRACTOR SHALL SUBMIT RECEIPTS OF THE ACTUAL PURCHASE OF THE "DIEHARD TRANSPLANT," MATERIAL AT TIME OF PROJECT PURCHASE.  
-MULCH:  
"CEDAR MULCH" AS SUPPLIED BY LIVING EARTH OR AN APPROVED EQUAL.  
CONTACT: PAUL TOMASO, LIVING EARTH, 1902 CALIFORNIA CROSSING, DALLAS, TEXAS 75220, 972-869-4332.

1. CONCRETE EDGE SEE CIVIL DRAWINGS
2. 4" STABILIZED DECOMPOSED GRANITE PER SPECIFICATIONS
3. GEOTEXTILE FABRIC; TURN UP FABRIC AT EDGE
4. COMPACT SUBGRADE PER CIVIL PAVING PLANS
5. 12" COMPACTED AGGREGATE SUBBASE
6. COMPACT SUBGRADE TO 95% PROCTOR DENSITY

**GRASS SODDING/SEEDING NOTES:**

1. TURF AREAS NOTED SHALL BE SOLID SOD, CERTIFIED TIFWAY 419 BERMUDA, (CYNODON DACTYLON TIFWAY 419).
2. OVERSEEDING - FOR ANY SOD LAID BETWEEN SEPT. 15 THRU APRIL 15, HAND OVERSEED ANNUAL RYE AT 10 LBS./1000 S.F. FOR ALL SODDED AREAS SHOWN ON PLAN.
3. BID SHOULD INCLUDE BOTH STEPS (SODDING AND OVERSEEDING) IF PROJECT POSSESSION DATE OCCURS BETWEEN SEPT.15 AND APRIL 15.
4. ALL UNSURFACED AREAS ARE TO RECEIVE TWELVE INCHES OF TOPSOIL, SOD/SEED, MULCH, AND WATERED UNTIL HEALTHY STAND OF GRASS IS OBTAINED.
5. PROVIDE TEMPORARY IRRIGATION AS NEEDED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED OR UNTIL PERMANENT IRRIGATION IS FUNCTIONAL.
6. ALL SEEDING (NATIVE LAWN MIX) TO BE APPLIED USING FLEXTERRA HIGH PERFORMANCE-FLEXIBLE GROWTH MEDIUM (HP-FGM) OR AN APPROVED EQUAL AS SUPPLIED BY PROFILE PRODUCTS LLC, 800-508-8681.

**IRRIGATION NOTES:**

1. ALL PLANTED AREAS SHALL BE WATERED WITH AN UNDERGROUND IRRIGATION SYSTEM. THE IRRIGATION SYSTEM SHALL BE AUTOMATICALLY CONTROLLED WITH A FULLY PROGRAMMABLE ET BASED CONTROLLER WITH RAIN AND FREEZE SENSORS.
2. THE IRRIGATION SYSTEM AND INSTALLATION SHALL MEET ALL OF THE APPROPRIATE REQUIREMENTS OF THE LOCAL MUNICIPALITY.

**LANDSCAPE NOTES AND DETAILS**

550 Bailey Avenue • Suite 400  
Fort Worth, Texas 76107  
Tel: 817-332-1121  
Fax: 817-332-1127  
www.dunaway.com

Seattle's Best Coffee  
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