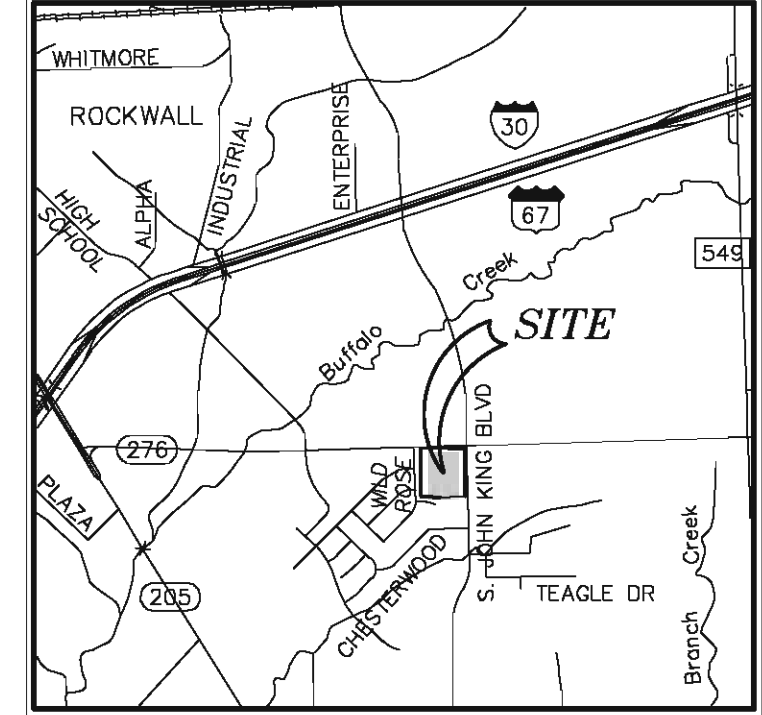


CAMBRIDGE COMPANIES, LTD. VOL. 99, PG. 1022 DRRCT

UNDEVELOPED PD-10 PLANNED DEVELOPMENT



SITE DEVELOPMENT DATA

BUILDING	56,990 SF/1.308 AC
120-BED NURSING HOME BUILDING	1,120 SF/0.026 AC
STORAGE BUILDING	58,110 SF/1.334 AC
GROSS FLOOR AREA	116,220 SF
PERCENT LOT COVERAGE	18.9%
PERCENT OPEN SPACE	47.0%
PERCENT OF SITE USED FOR OUTDOOR STORAGE	0.4%
MAX. BUILDING HEIGHT	31.5 FT
IMPERVIOUS AREA/OPEN SPACE	
TOTAL IMPERVIOUS AREA	153,052 SF/3.514 AC
TOTAL OPEN SPACE	136,044 SF/3.192 AC
TOTAL LOT AREA	292,096 SF/6.706 AC
PROVIDED PERCENT IMPERVIOUS AREA	52.4%
REQUIRED PERCENT IMPERVIOUS AREA	85.0% MAX.
PROVIDED PERCENT OPEN SPACE/LANDSCAPE	47.6%
REQUIRED PERCENT OPEN SPACE/LANDSCAPE	15.0% MIN.
PARKING/LOADING:	
REQUIRED PARKING [1 PS/6 BEDS + 1 PS/EMPLOYEES LARGE SHIFT(60)]	80 SPACES
REQUIRED ACCESSIBLE PARKING	4 SPACES
PROVIDED REGULAR PARKING (SIZE: 9'X20')	103 SPACES
PROVIDED ACCESSIBLE PARKING (SIZE: 11'X20')	8 SPACES
TOTAL PROVIDED PARKING SPACES	111 SPACES
LOADING AREA PROVIDED (SIZE: 12'X65')	2 SPACES
LOADING AREA REQUIRED (SIZE: 12'X65')	2 SPACES

- NOTES:**
- TYPICAL PARKING STALL IS 20' LONG X 9' WIDE.
 - ACCESSIBLE PARKING STALL IS 20' LONG X 11' WIDE.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURB RADI ARE 5' UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
 - REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
 - FIRE LANES SHALL BE PROPERLY MARKED WITH A SIX INCH RED STRIPE WITH FOUR INCH WHITE LETTERS STATING "FIRE LANE NO PARKING" EVERY TEN TO TWENTY FIVE FEET ALONG THE ENTIRE LENGTH OF THE FIRE LANE. FIRE LANE MARKINGS SHALL BE ON THE VERTICAL SURFACE OF THE CURB WHEN A CURB IS PRESENT.
 - PARKING STALL LINE SHALL BE A 4" SOLID WHITE STRIPE.
 - REFER TO PHOTOMETRIC PLAN FOR LIGHTING TYPE AND INTENSITY INFORMATION.
 - ALL UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL, GAS, AND TELEPHONE SHALL BE PLACED UNDERGROUND.
 - THERE SHALL BE AT LEAST 3' CLEARANCE AROUND FIRE HYDRANTS.
 - PROPOSED LIGHT FIXTURES SHALL BE 20 FT ABOVE FINISHED GRADE.
 - ALL SIDEWALK AND PAVEMENT WILL BE CONCRETE UNLESS OTHERWISE NOTED.
 - A SEPARATE PERMIT WILL BE REQUIRED FOR ALL SIGNS.
 - PROPOSED CONSTRUCTION TYPE IS VA (1-HOUR FIRE RATED) WITH AUTOMATIC FIRE SPRINKLER SYSTEM.
 - ALL DRIVES AND PARKING AREAS SHALL BE CONCRETE PAVEMENT.
 - ALL PROPOSED STORM SYSTEMS TO BE PRIVATE UNLESS OTHERWISE NOTED.
 - ON-SITE STORM RUNOFF FLOWS TOWARD AND DISCHARGES INTO DETENTION POND.

GENERAL UTILITY NOTES:

ALL EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE OWNER AND THE ENGINEER NEITHER ASSUMES NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY AFFECTED AND VERIFY THESE LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.

CALL 1-800-344-8377 (DIG-TESS) OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. MYCOSKIE MCINNIS ASSOCIATES, INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

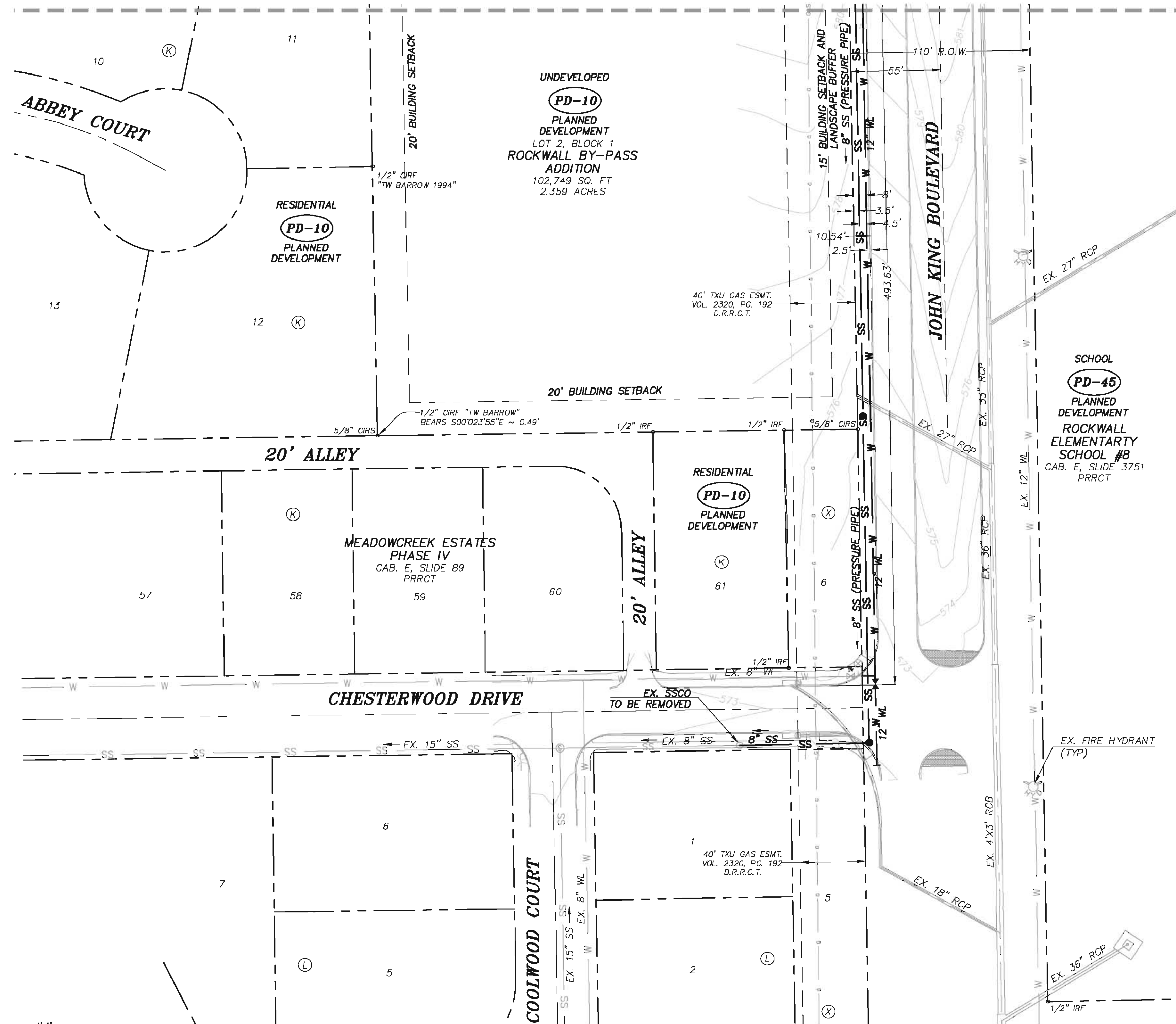
LEGEND:

FIRE LANE	EXISTING OVERHEAD ELECTRIC	OHE
TYPICAL ACCESSIBLE SPACE	EXISTING BURIED ELECTRIC	UGE
TRAFFIC SIGN	EXISTING BURIED TELEPHONE	UGT
EXISTING STORM DRAIN	EXISTING POWER POLE	PP
EXISTING STORM DRAIN INLET	EXISTING LIGHT POLE	LP
EXISTING SANITARY SEWER	PROPOSED AREA LIGHT	AL
EXISTING SEWER MANHOLE	UTILITY EASEMENT	U.E.
EXISTING WATER LINE	WATER EASEMENT	W.E.
EXISTING FIRE HYDRANT	PARKING SPACE	P/S
PROPOSED WATER LINE	ACCESSIBLE PARKING SPACE	H/C
PROPOSED FIRE HYDRANT	SIDEWALK	SW
FIRE DEPARTMENT CONNECTION (FDC)	BARRIER FREE RAMP	BFR
PROPOSED GAS LINE	FIRE LINE	FL
PROPOSED CABLE TELEVISION	ENTRY/EXIT LOCATION OF BUILDING	E

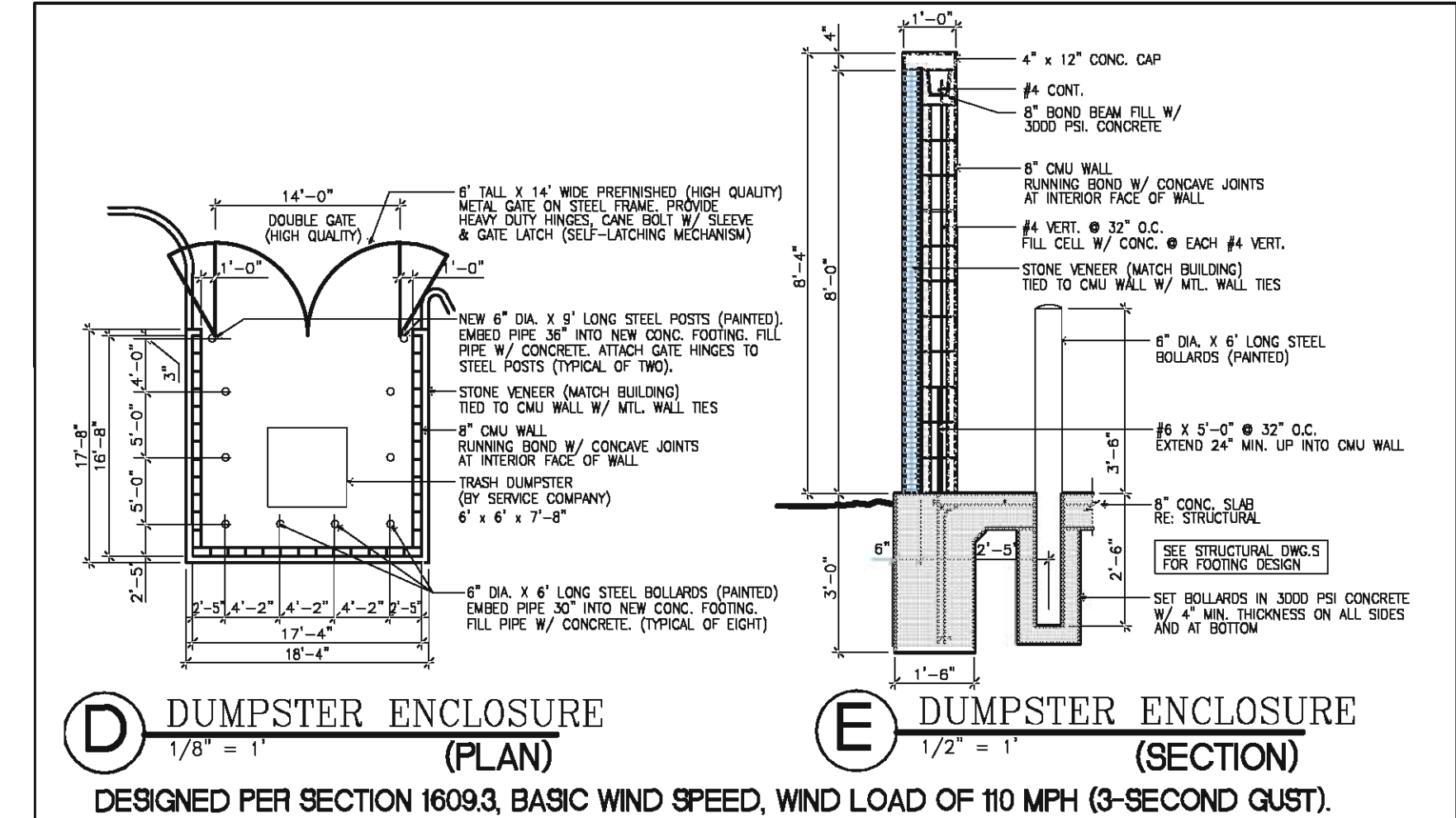
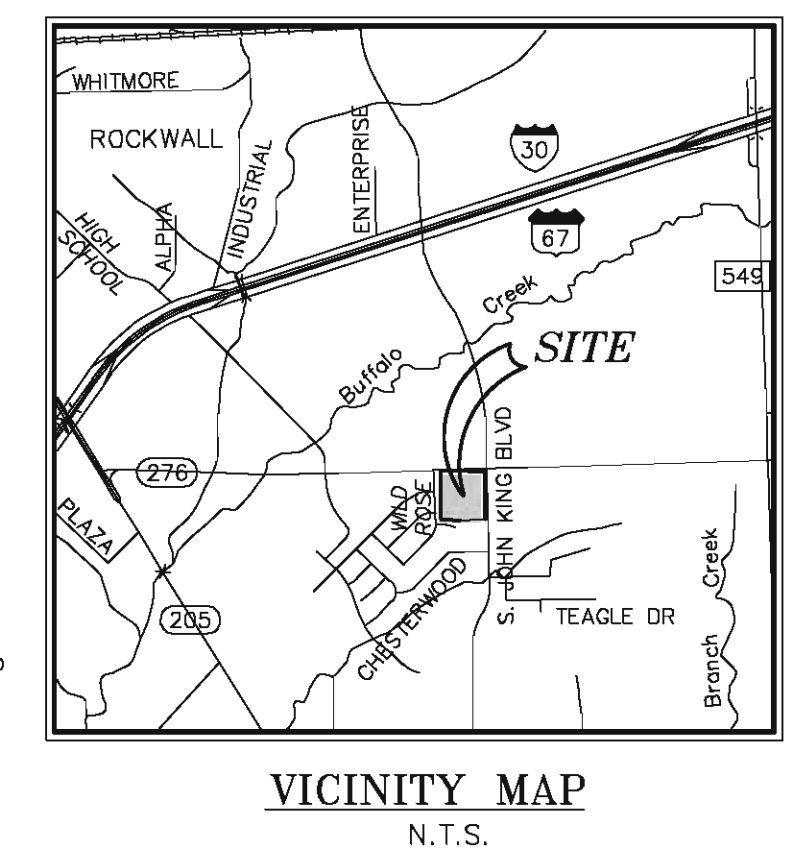
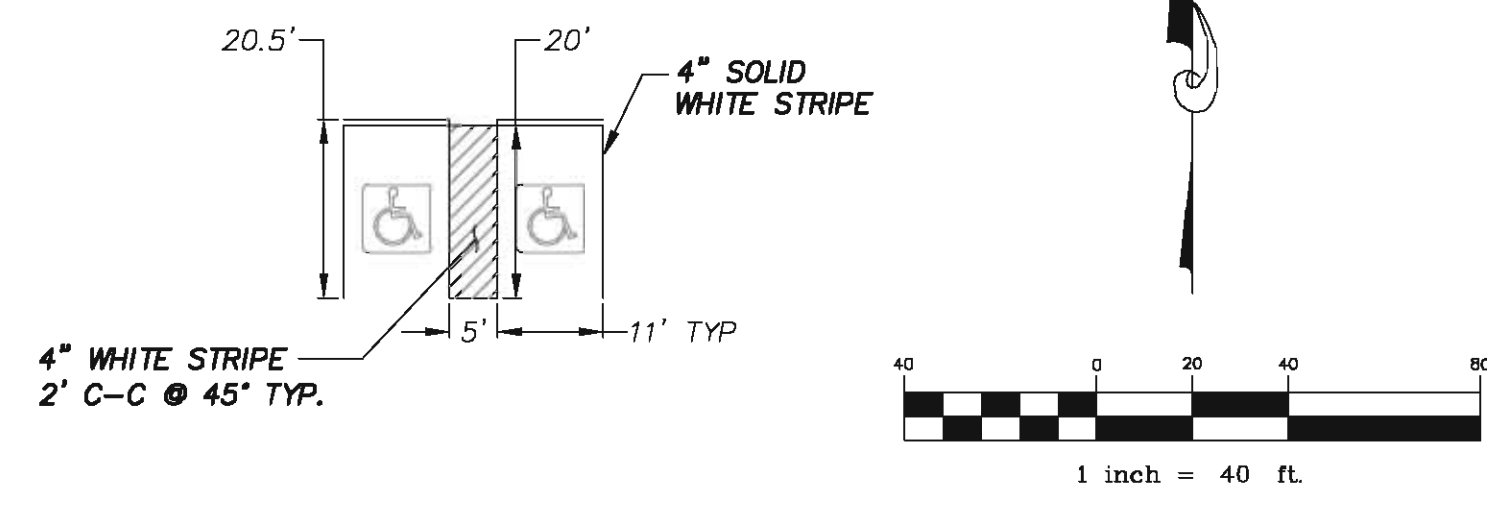
ARCHITECT:
WILLIAM STAFFORD
P.O. BOX 1166
FORT SMITH, AR 72902
TEL: (479) 783-5015

OWNER/DEVELOPER:
OAC SENIOR LIVING, LLC.
610 TOWSON AVENUE
FORT SMITH, AR 72901
TEL: (479) 783-5015
CONTACT: RICK GRIFFIN

SHEET A



TYPICAL ACCESSIBLE PARKING DETAIL



NOTES:

1. TYPICAL PARKING STALL IS 20' LONG X 9' WIDE.
2. ACCESSIBLE PARKING STALL IS 20' LONG X 11' WIDE.
3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
6. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
7. FIRE LANES SHALL BE PROPERLY MARKED WITH A SIX INCH RED STRIPE WITH FOUR INCH WHITE LETTERS STATING "FIRE LANE NO PARKING" EVERY TEN TO TWENTY FIVE FEET ALONG THE ENTIRE LENGTH OF THE FIRE LANE. FIRE LANE MARKINGS SHALL BE ON THE VERTICAL SURFACE OF THE CURB WHEN A CURB IS PRESENT.
8. PARKING STALL LINE SHALL BE A 4" SOLID WHITE STRIPE.
9. REFER TO PHOTOMETRIC PLAN FOR LIGHTING TYPE AND INTENSITY INFORMATION.
10. ALL UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL, GAS, AND TELEPHONE SHALL BE PLACED UNDERGROUND.
11. THERE SHALL BE AT LEAST 3' CLEARANCE AROUND FIRE HYDRANTS.
12. PROPOSED LIGHT FIXTURES SHALL BE 20 FT ABOVE FINISHED GRADE.
13. ALL SIDEWALK AND PAVEMENT WILL BE CONCRETE UNLESS OTHERWISE NOTED.
14. A SEPARATE PERMIT WILL BE REQUIRED FOR ALL SIGNS.
15. PROPOSED CONSTRUCTION TYPE IS VA (1-HOUR FIRE RATED) WITH AUTOMATIC FIRE SPRINKLER SYSTEM.
16. ALL DRIVES AND PARKING AREAS SHALL BE CONCRETE PAVEMENT.
17. ALL PROPOSED STORM SYSTEMS TO BE PRIVATE UNLESS OTHERWISE NOTED.
18. ON-SITE STORM RUNOFF FLOWS TOWARD AND DISCHARGES INTO DETENTION POND.
19. REFERENCE SHEET 1 (SITE PLAN - SHEET A) FOR LEGEND.

BENCHMARK:

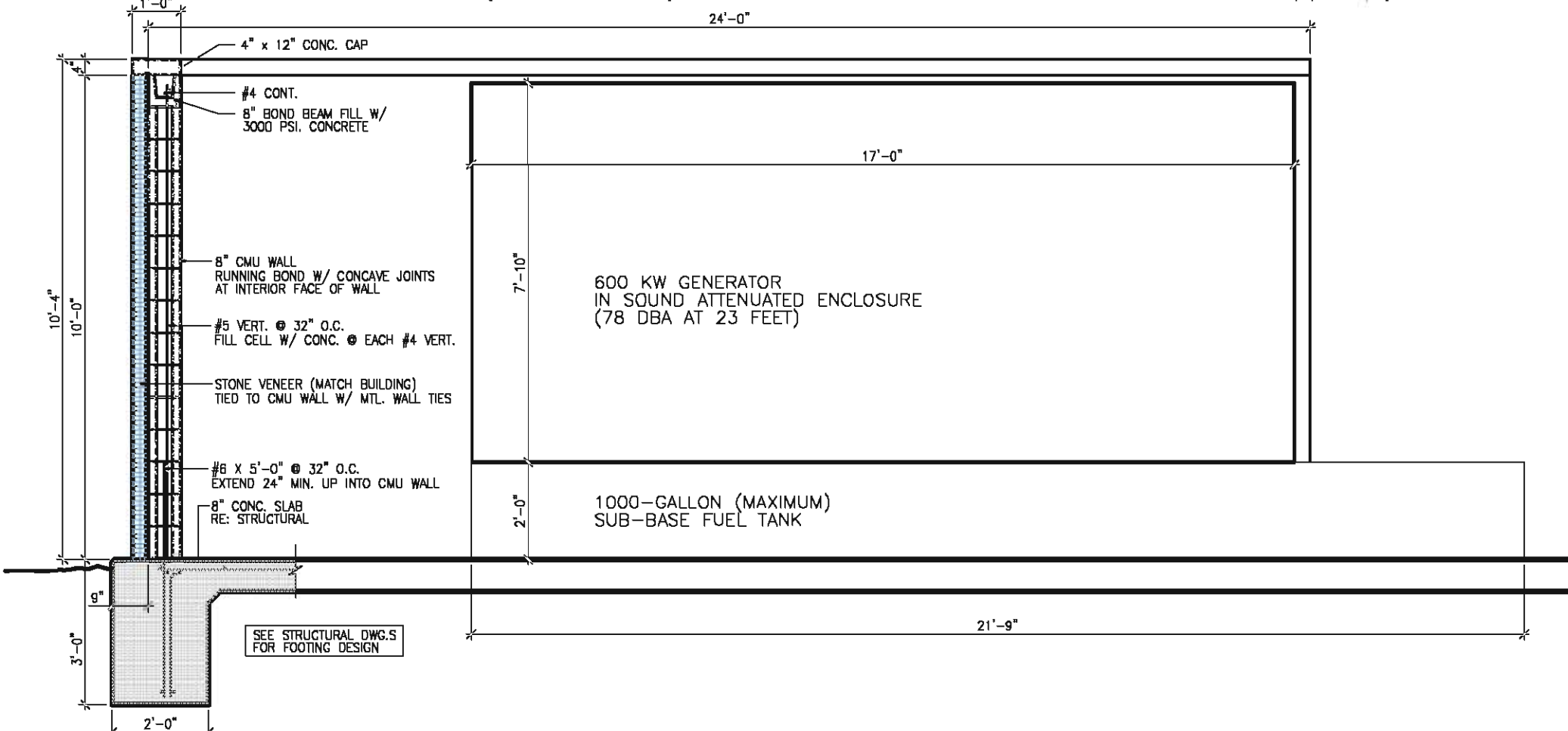
BM No. 1
City of Rockwall R-19. Brass monument at the northwest corner of Silverview & Diamond Way, ±500' south of SH 276.
Published NAVD88 Elev. 600.69'

BM No. 2
Box cut on top of the west curb line of SH 205 Bypass, on the south curb return of a driveway, 615' south of the centerline of SH 276, and 19' northeast of a 5/8" capped iron rod stamped "Mycoskie McInnis".
Elev. 581.15'

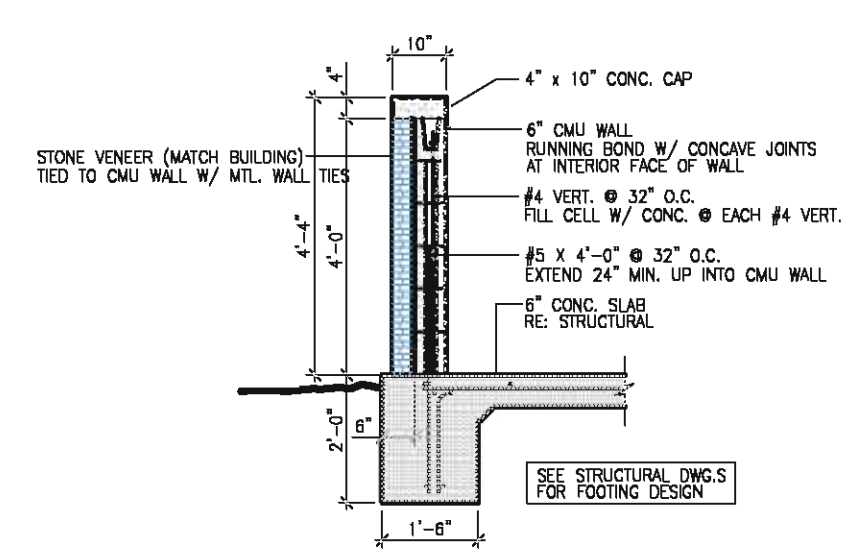
GENERAL UTILITY NOTES:

ALL EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE OWNER AND THE ENGINEER NEITHER ASSUMES NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY AFFECTED AND VERIFY THESE LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.

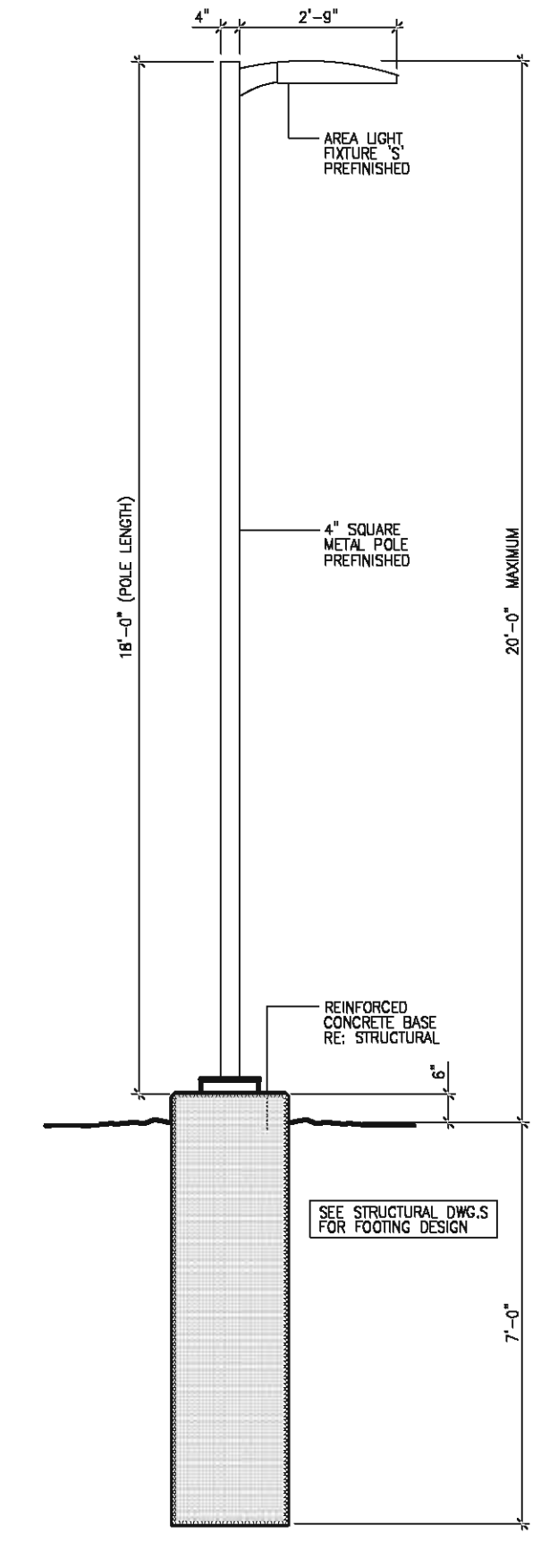
CALL 1-800-344-8377 (DIG-TESS) OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. MYCOSKIE MCINNIS ASSOCIATES, INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.



(G) GENERATOR SCREEN
1/2" = 1" (SECTION)



(F) CONDENSING UNIT SCREEN
1/2" = 1" (SECTION)



(H) AREA LIGHT DETAIL
1/2" = 1" (SECTION)

ARCHITECT:
WILLIAM STAFFORD
P.O. BOX 1166
FORT SMITH, AR 72902
TEL: (479) 783-5015

OWNER/DEVELOPER:
OAC SENIOR LIVING CENTER, LLC
610 TOWSON AVENUE
FORT SMITH, AR 72902
TEL: (479) 783-5015
CONTACT: RICK GRIFFIN

SUBMITTAL DATE: DECEMBER 04, 2012

OAC SENIOR LIVING, LLC.

SITE PLAN - SHEET B
ROCKWALL, TEXAS

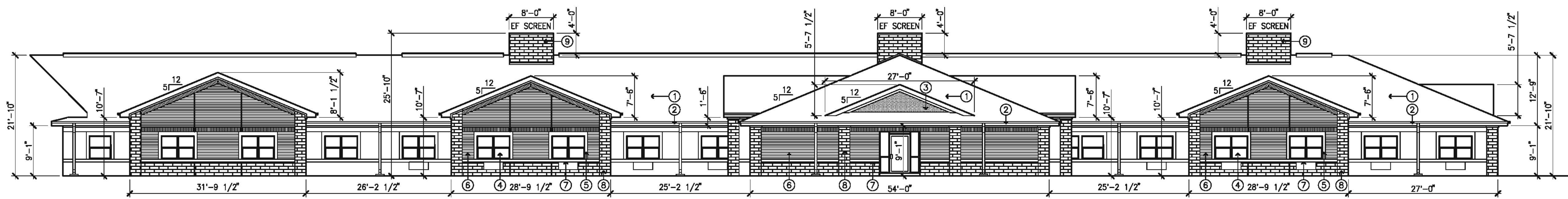
PROJECT TITLE:
OAC SENIOR LIVING, LLC.
SITE PLAN

mma
mycoskie-mcinis-associates
civil engineering surveying landscape architecture planning
type registration number: 1-2759
200 east ostrom
orlington, Texas 76010
817-469-1671
fax: 817-274-8757
www.mmotexas.com

PROJECT NUMBER: 2651-00-01
PROJECT MANAGER: J. SUMPTER
DRAWN BY: S. BELL
CHECKED BY: A. CASCO
ISSUE DATE: 12/05/2012

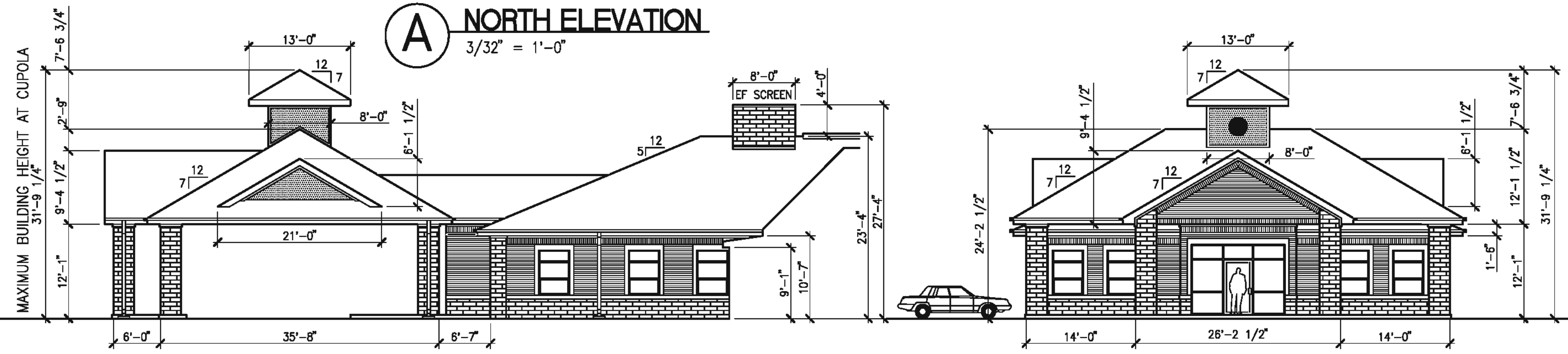
REV. DATE DESCRIP. BY
SHEET CONTENT:
SITE PLAN - SHEET B

SHEET NO:
2
COPYRIGHT © 2012 MMA, INC.



MASONRY REQUIREMENTS:
 STONE = 31 %
 BRICK = 59 %
 OTHER (EIFS/PREFINISHED) = 10 %

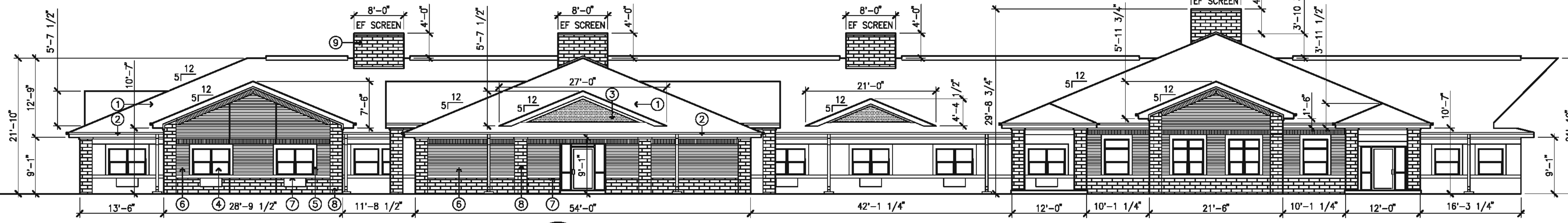
A NORTH ELEVATION
 3/32" = 1'-0"



B NW ELEVATION (COVERED DRIVE)
 3/32" = 1'-0"

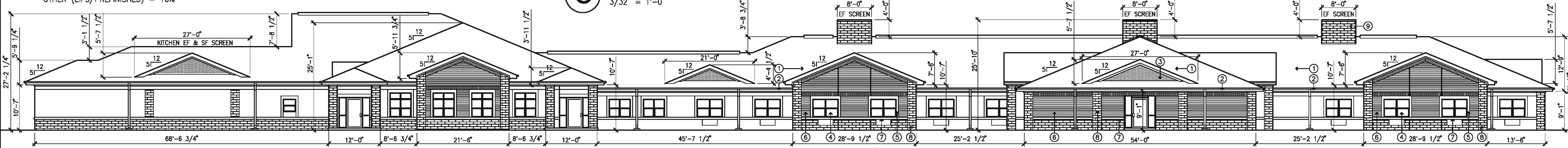
F NE ELEVATION (ENTRY)
 3/32" = 1'-0"

- LEGEND**
- FIBERGLASS SHINGLES
CERTAINTED LANDMARK PLUS
ARCHITECTURAL DESIGNER SHINGLES
COLOR: WEATHERED WOOD
 - FASCIA/SOFFIT/FRIEZE + GUTTER & DOWNSPOUTS
PREFINISHED VINYL OR ALUMINUM
COLOR: BEIGE
 - ROOF GABLE/CUPOLA
EIFS FINISH ON CEMENTIOUS BOARD
DRYVIT
COLOR: NAVAJO
 - WINDOW/STOREFRONT
WEATHER BARR WINDOWS AND DOORS
270 SERIES, VINYL FRAME WITH INSULATED GLASS
COLOR: BEIGE
 - WINDOW TRIM
EIFS FINISH ON BRICK
DRYVIT
COLOR: NAVAJO
 - BRICK
ACME BRICK
FINISH: BRENNER PASS (KING SIZE)
 - WATERTABLE
EIFS FINISH ON BRICK
DRYVIT
COLOR: NAVAJO
 - NATURAL/QUARRIED STONE
LONE STAR STONE
FINISH: LIBERTY CLASSIC STONE (COPPER)
 - EXHAUST FAN SCREEN
THIN SET STONE VENEER ON CEMENTIOUS BOARD
(FINISH TO MATCH BUILDING STONE VENEER)



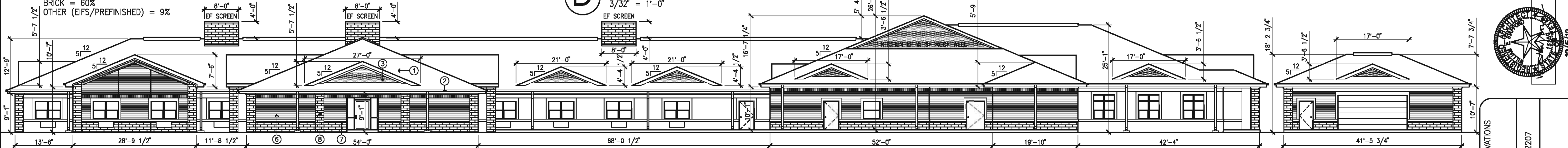
MASONRY REQUIREMENTS:
 STONE = 30 %
 BRICK = 60 %
 OTHER (EIFS/PREFINISHED) = 10 %

C EAST ELEVATION
 3/32" = 1'-0"



MASONRY REQUIREMENTS:
 STONE = 31 %
 BRICK = 60 %
 OTHER (EIFS/PREFINISHED) = 9 %

D SOUTH ELEVATION
 3/32" = 1'-0"



MASONRY REQUIREMENTS:
 STONE = 30 %
 BRICK = 60 %
 OTHER (EIFS/PREFINISHED) = 10 %

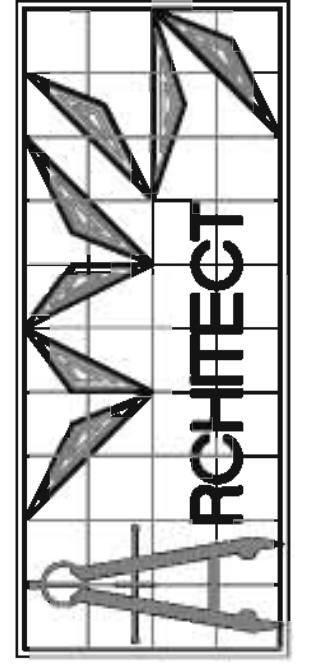
E WEST ELEVATION
 3/32" = 1'-0"

- MECHANICAL SCREENING:**
- ROOFTOP MOUNTED EXHAUST FANS: CONTAINED IN DECORATIVE CHIMNEY
 - GROUND MOUNTED CONDENSING UNITS: BEHIND 4' TALL MASONRY WALLS
(REFER TO ARCHITECTURAL RENDERING)
 - GROUND MOUNTED GENERATOR: BEHIND 10' TALL MASONRY WALL
(REFER TO ARCHITECTURAL RENDERING)
 - KITCHEN EXHAUST & SUPPLY FANS: IN ROOF WELL
(REFER TO ARCHITECTURAL RENDERING)

- ARCHITECTURAL ELEMENTS:**
- CANOPIES (COVERED DRIVE & PORCHES)
 - RECESSES & PROJECTIONS
 - PEAKED ROOF FORMS
 - ARCHITECTURAL DETAILS (WATERTABLE, WINDOW TRIM)
 - OFFSETS & REVEALS TO EXPRESS ARCHITECTURAL BAYS (STONE PILASTER AT CORNERS)
 - VARIED ROOF HEIGHTS

G WEST ELEVATION
 3/32" = 1'-0"
STORAGE BUILDING

REVISED: 12/5/12

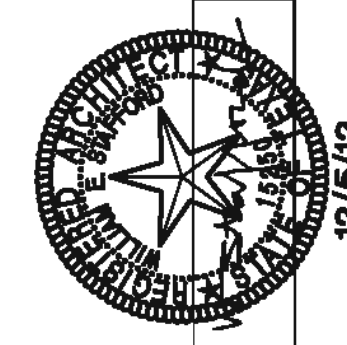


William Stafford, Architect

120-BED SKILLED NURSING FACILITY:

OAC SENIOR LIVING, LLC
 ROCKWALL, TEXAS

P.O. BOX 1166
 FORT SMITH, AR 72902
 (479) 783-5015 FAX: (479) 783-8397



BUILDING ELEVATIONS
 ARTICULATION
 PROJECT: 12207
 REVISIONS:

12/5/12

A 6



(A) NORTH ELEVATION



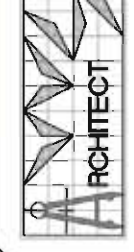
(C) EAST ELEVATION



(D) SOUTH ELEVATION



(E) WEST ELEVATION



William Stafford, Architect

P.O. BOX 1166
FORT SMITH, AR 72502
(479) 783-5015 FAX: (479) 783-8397

120-BED SKILLED NURSING FACILITY:
OAC SENIOR LIVING, LLC
ROCKWALL, TEXAS ROCKWALL COUNTY

BUILDING ELEVATIONS
COLOR RENDERING
PROJECT: 12207
REVISIONS:
11/16/12



PLANT MATERIAL NOTES:

1. ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS, MATCHING CHARACTER, AND FULL BRANCHING STRUCTURE.
2. ALL SHRUBS TO BE FULL AND UNIFORM BY SPECIES WITH MATCHING CHARACTER AND BRANCHING STRUCTURE.
3. ALL PLANT VARIETIES MUST COME FROM A SAME SOURCE SUPPLIER IN ORDER TO MAINTAIN A CONSISTENT APPEARANCE.
4. ALL B&B TREES MUST BE OF NURSERY STOCK CONDITION.
5. ALL CONTAINER GROWN MATERIAL MUST BE OF NURSERY STOCK CONDITIONS, WITH A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER, TO MAINTAIN A FIRM BALL WHEN THE CONTAINER IS REMOVED, BUT SHALL NOT HAVE EXCESSIVE ROOT GROWTH ENCIRCLING THE INSIDE OF THE CONTAINER.
6. ALL PLANT MATERIAL SHALL COMPLY WITH THE MINIMUM REQUIREMENTS AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN, TEXAS ASSOCIATION OF NURSERYMEN STANDARDS AND/OR AS STATED IN THE PLANT SCHEDULE, WHICHEVER IS MORE STRINGENT.

IRRIGATION NOTES:

1. ALL LANDSCAPE PLANTINGS PROPOSED IN THIS PLAN WILL BE IRRIGATED WITH AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM.
2. IRRIGATION SYSTEM WILL BE EQUIPPED WITH A RAIN AND FREEZE SENSOR CAPABLE OF SHUTTING DOWN THE SYSTEM WHEN DICTATED BY RAINFALL OR FREEZING CONDITIONS.
3. IRRIGATION SYSTEM DESIGN WILL MEET ALL REQUIREMENTS OF THE CITY OF ARLINGTON, THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY, AND ALL APPLICABLE PLUMBING CODES.
4. IRRIGATION DESIGN DRAWINGS WILL BE SUBMITTED UNDER A SEPARATE COVER AT A LATER DATE FOR IRRIGATION PERMITTING.

TREE PLANTING NOTE:

1. ALL TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SANITARY SEWER AND STORM SEWER LINES.

GENERAL UTILITY NOTES:

1. ALL EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE OWNER AND THE ENGINEER NEITHER ASSUMES NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY AFFECTED AND VERIFY THESE LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
2. CALL 1-800-344-8377 (DIG-TESS) OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. MYCOSKIE MCINNIS ASSOCIATES, INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

DEVELOPER:

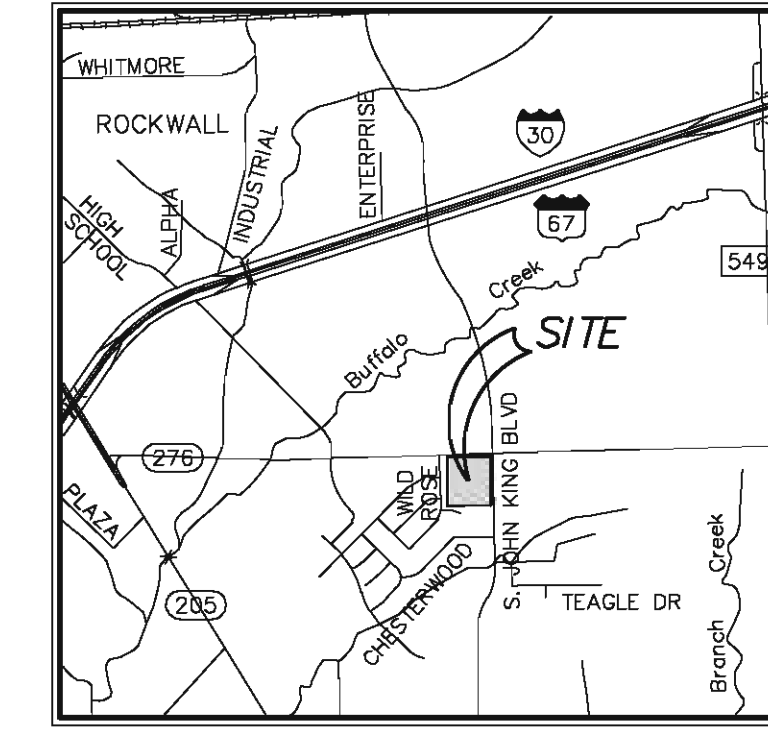
OAC SENIOR LIVING
CENTER, LLC
610 TOWSON AVENUE
FORT SMITH, AR 72902
TEL: (479) 783-5015
CONTACT: RICK GRIFFIN

**CIVIL ENGINEER/
LANDSCAPE ARCHITECT:**

MYCOSKIE MCINNIS ASSOCIATES
200 EAST ABRAM
ARLINGTON, TEXAS
TEL: (817) 469-1671
CONTACT: JACOB SUMPTER

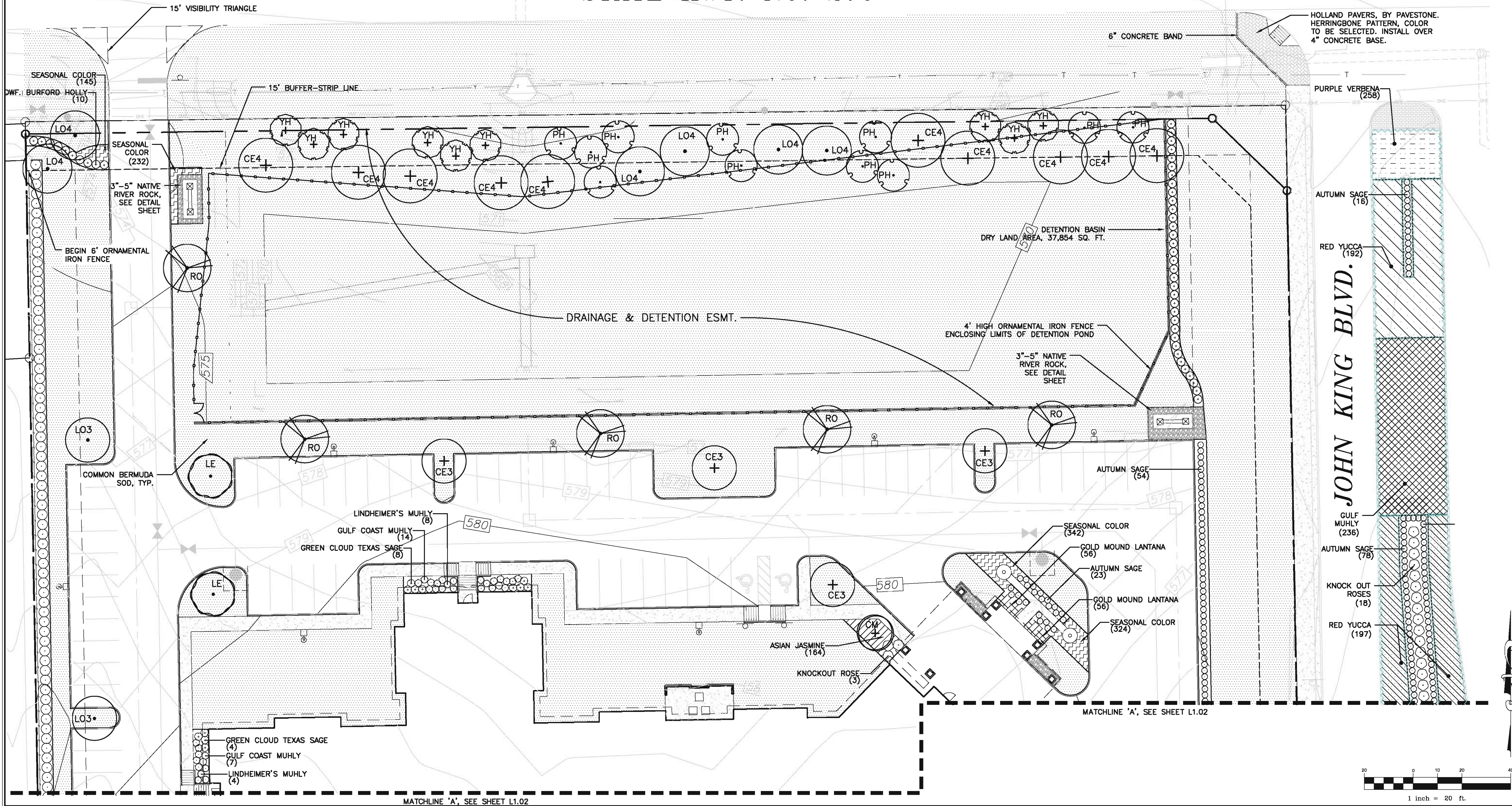
LEGAL DESCRIPTION

LOT 1, BLOCK 1, OAC - ROCKWALL
AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS,
BEING 6.775 ACRES OF LAND LOCATED IN THE W. H. BAIRD SURVEY ~
ABSTRACT NO. 25, IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
NOVEMBER, 2012



VICINITY MAP
N.T.S.

STATE HWY. NO. 276



OAC SENIOR LIVING, LLC.
SITE PLAN
ROCKWALL, TEXAS

PROJECT TITLE:
**OAC SENIOR LIVING, LLC.
SITE PLAN**

mma
mycoskie mcinnis associates
civil engineering surveying landscape architecture planning
license registration number: 1 - 2759
200 east abram
arlington, texas 76010
817-469-1671
fax: 817-274-8757
www.mmotexas.com

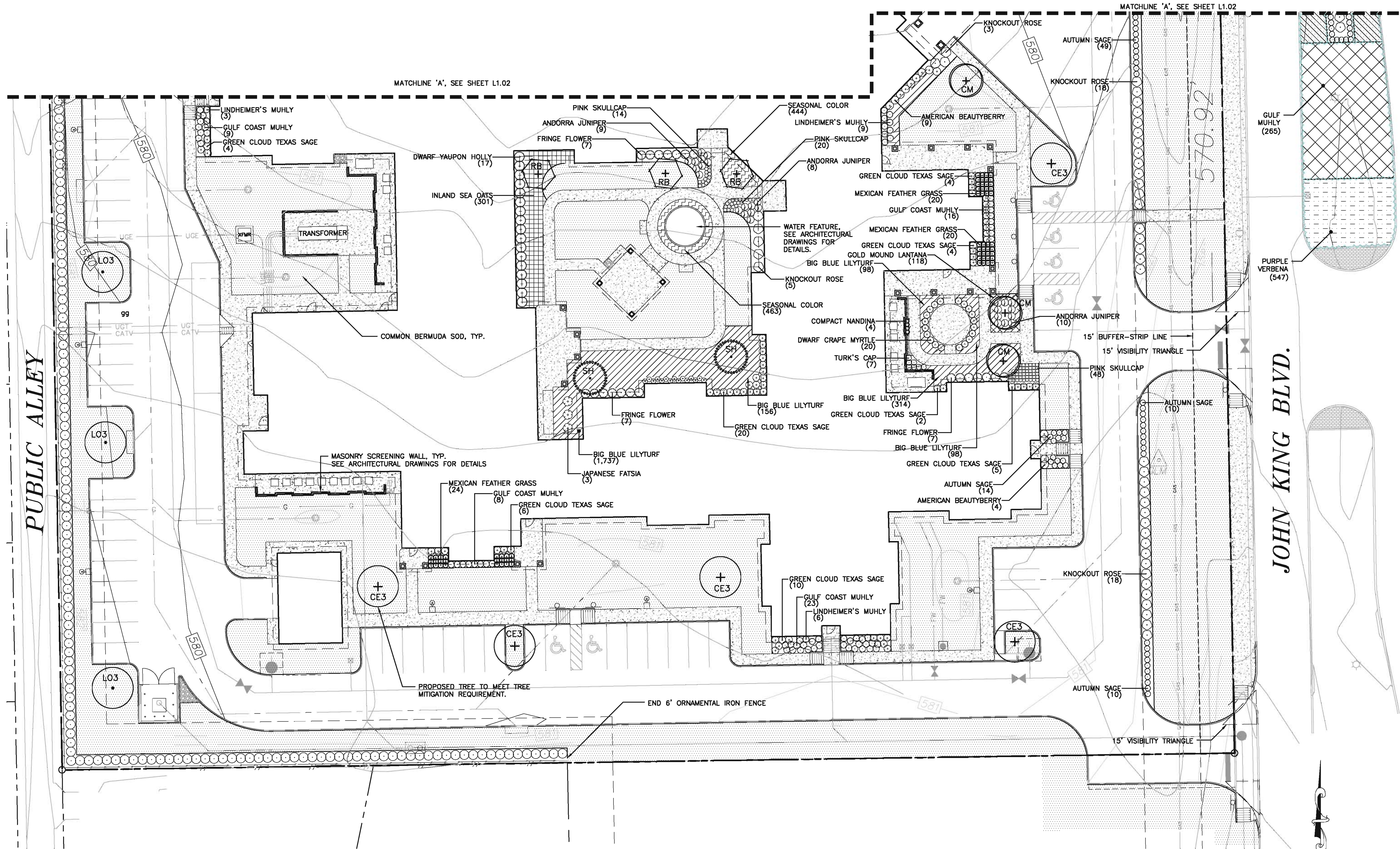
THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF REVIEW UNDER THE AUTHORITY OF DUWAINE JOINER, RLA NO. 2071 ON 12/05/2012 AND IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

PROJECT NUMBER: 2651-00-01
PROJECT MANAGER: J. SUMPTER
DRAWN BY: D. JOINER
CHECKED BY: C. MYCOSKIE
ISSUE DATE: 12/05/2012

REV. DATE DESCRIP. BY
SHEET CONTENT:
LANDSCAPE PLAN

SHEET NO:
L1.03
COPYRIGHT © 2012 MMA, INC.

PUBLIC ALLEY



OAC SENIOR LIVING, LLC.

SITE PLAN
ROCKWALL, TEXAS

PROJECT TITLE:
OAC SENIOR LIVING, LLC.
SITE PLAN

mma
mycoskie-morris-associates
civil engineering surveying landscape architecture planning
license registration number 1-2759
200 east abram
arlington, texas 76010
817-469-1871
fax: 817-274-8757
www.mmatexas.com

THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF REVIEW UNDER THE AUTHORITY OF DUWAINE JOINER, RLA NO. 2071 ON 12/05/2012 AND IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

PROJECT NUMBER: 2651-00-01
PROJECT MANAGER: J. SUMPTER
DRAWN BY: D. JOINER
CHECKED BY: C. MYCOSKIE
ISSUE DATE: 12/05/2012

REV.	DATE	DESCRIP.	BY
SHEET CONTENT:			
LANDSCAPE PLAN			

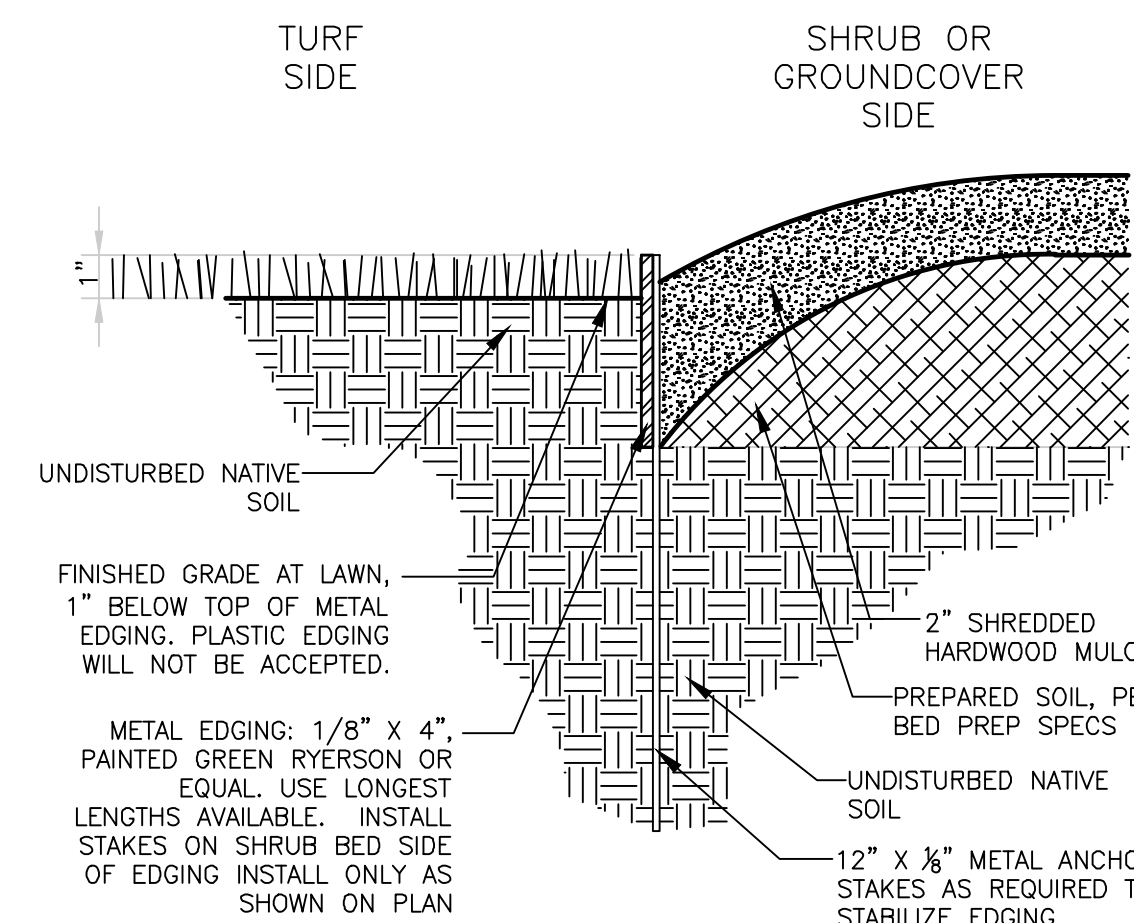
SHEET NO:
L1.04
COPYRIGHT © 2012 MMA, INC.

LANDSCAPE NOTES

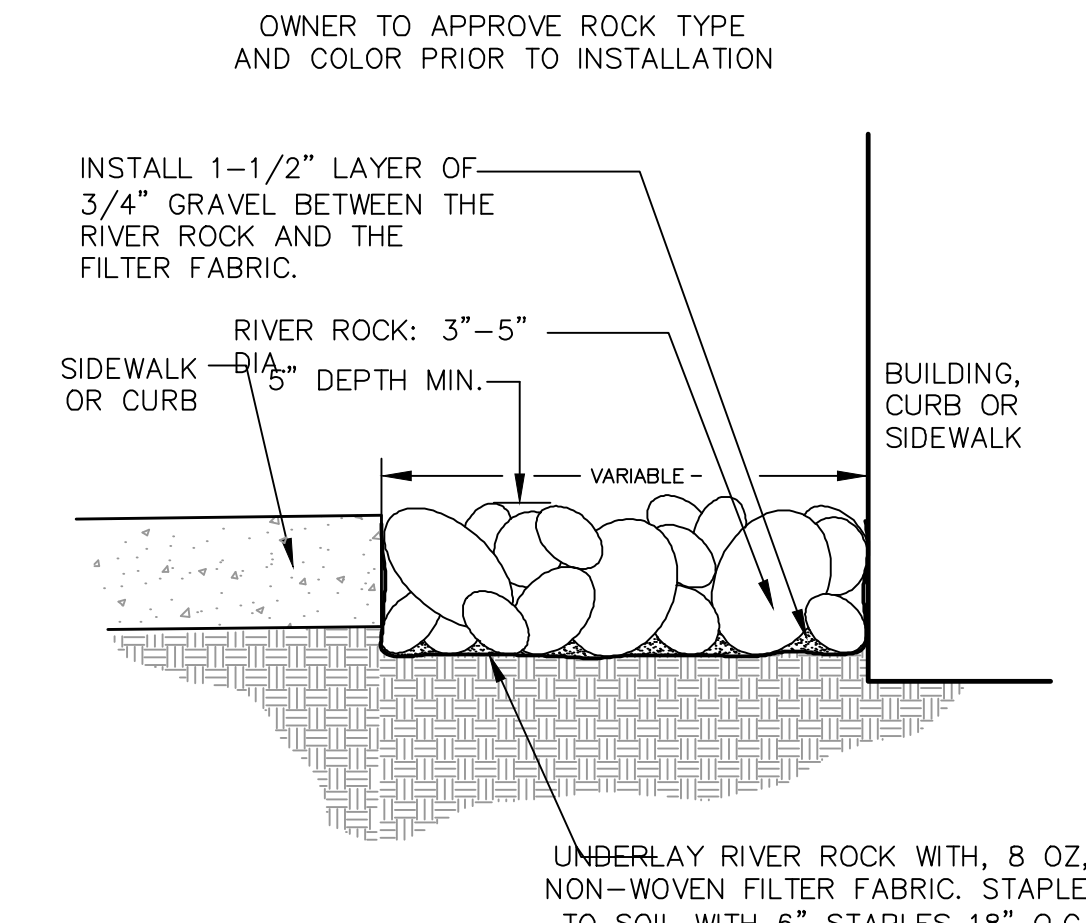
1. THE PROPERTY OWNER IS RESPONSIBLE FOR REGULAR WEEDING, MOWING, IRRIGATION, FERTILIZING, PRUNING AND OTHER MAINTENANCE OF ALL PLANTINGS. THE REQUIRED LANDSCAPING MUST BE MAINTAINED IN HEALTHY GROWING CONDITION AT ALL TIMES.
2. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK SHOWN ON THE LANDSCAPE PLANS.
3. ALL PROPOSED LANDSCAPING AND IRRIGATION SHALL BE INSTALLED PER LOCAL CITY ORDINANCES AND STATE REQUIREMENTS, WHICHEVER IS MORE STRINGENT. NOTIFY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
4. NO SPECIFIED PLANT MATERIAL SHALL BE PLANTED UNTIL THE LANDSCAPE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREAS.
5. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES AND LINE RUNS.
6. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES BASED ON THE DRAWING(S) AND ACTUAL FIELD DIMENSIONS. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY TO THE OWNER(S) AND SHALL NOT BE CONSIDERED ABSOLUTE. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
7. ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. NOTIFY LANDSCAPE ARCHITECT IF LAYOUT OF TREES, BEDS AND/OR PLANTS REQUIRE ALTERATION FROM LANDSCAPE PLAN. NOTIFICATION WILL BE REQUIRED PRIOR TO ALTERING LAYOUT.
9. TREES SHALL BE HANDLED BY ROOT BALLS ONLY. DO NOT DAMAGE BALL, TRUNK, OR LOOSEN TRUNK FROM BALL. TREE TRUNKS ARE TO BE PLANTED STRAIGHT AND MAY BE REQUIRED BY THE OWNER AND/OR LANDSCAPE ARCHITECT TO BE STAKED.
10. TREE ARE TO BE PLANTED WITH TRUNKS STRAIGHT AND MAY BE REQUIRED BY THE OWNER AND/OR LANDSCAPE ARCHITECT TO BE STAKED. ALL TREES REQUIRED TO BE STAKED AND GUYED SHALL CONTINUE TO BE SO THROUGH THE WARRANTY PERIOD AT WHICH TIME THE OWNER AND/OR LANDSCAPE ARCHITECT SHALL DETERMINE IF REMOVAL IS APPROPRIATE.
11. ALL TREES LOCATIONS SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
12. AT NO TIME WILL ANY PLANT MATERIAL BE ALLOWED TO SETTLE BEYOND TOP OF ROOT BALL OR POTTED SOIL LINE. SHOULD PLANT MATERIAL SETTLE, THE PLANT(S) WILL BE REPLANTED AT THE PROPER HEIGHT AND/OR REPLACED IF NECESSARY AT THE CONTRACTOR'S COST.
13. ALL PROPOSED BED AREAS SHALL BE TILLED TO A DEPTH OF 8", ADDING A 3" MIN. LAYER OF THE FOLLOWING SOIL AMMENDMENT: PROFESSIONAL COMPOST BY SOIL BUILDING SYSTEMS, 1770 "Y" STREET, DALLAS, TX 75229, 972-831-8181, www.SOILBUILDINGSYSTEMS.com, OR APPROVED EQUAL.
14. ALL BED AREAS SHALL BE SEPARATED FROM TURF AREAS USING 1/8"x4" STEEL EDGING. ALL ENDS OF STEEL EDGE RUNS SHALL HAVE A RADIUS OR 45° ANGLE TO ELIMINATE SHARP EDGES. HAND FILING MAY BE REQUIRED TO ACHIEVE A SMOOTH EDGE. TRIM STEEL EDGING AT A 45° ANGLE WHEN EDGING INTERSECTS WITH A WALK OR CURB. STEEL EDGING TO BE PAINTED GREEN.
15. THE LEVEL OF THE PLANTING BEDS AFTER THE ADDITION OF AMENDMENTS, SHOULD BE LEFT 3" ABOVE THE PROPOSED FINISHED GRADE TO ALLOW FOR COMPACTION AND SETTLEMENT.
16. ALL LANDSCAPE BEDS SHALL RECEIVE A 2" TOP DRESS LAYER OF SHREDDED HARDWOOD MULCH AND ALL TREE WELLS SHALL RECEIVE A 3" TOP DRESS LAYER OF SHREDDED HARDWOOD MULCH.
17. ALL LANDSCAPING LOCATED WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS OF THE GOVERNING MUNICIPALITY.
18. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY LANDSCAPE MATERIAL ON SITE.
19. APPLICABLE REFERENCES / STANDARDS / SPECIFICATIONS: AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE - STANDARDIZED PLANT NAMES, SECOND EDITION, 1942; AMERICAN ASSOCIATION OF NURSERYMEN: AMERICAN STANDARD OF NURSERY STOCK, 1973.
20. SHOULD EXISTING UTILITIES BE DAMAGED OR DISTURBED DURING CONSTRUCTION, NOTIFY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE AND PROPER AUTHORITIES FOR RESTORATION.
21. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR ONE YEAR FROM DATE OF WRITTEN FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
22. GUARANTEE DEFINITION: AT ANY AND ALL TIMES THROUGHOUT THE YEAR (WITHIN TWO WEEKS OF NOTIFICATION BY OWNER / LANDSCAPE ARCHITECT), ALL DEAD PLANTS (EXCEPT THOSE DEAD DUE TO OWNER NEGLIGENCE) AND ALL THOSE DETERMINED NOT TO BE IN A NORMAL VIGOROUS GROWING CONDITION, ARE TO BE REPLACED WITH SIMILAR SIZE AND TYPE PLANTS AT NO EXPENSE TO OWNER. REPAIR OR REPLACE OTHER DAMAGED PLANTS, LAWNS OR IRRIGATION SYSTEMS CAUSED DURING PLANT INSTALLATION OR REPLACEMENT AT NO EXPENSE TO OWNER.
23. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL DATE OF FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. CONTRACTOR SHALL CLEAN JOB SITE AT THE CONCLUSION OF EACH WORKDAY UNTIL DATE OF FINAL ACCEPTANCE.

SOD INSTALLATION NOTES

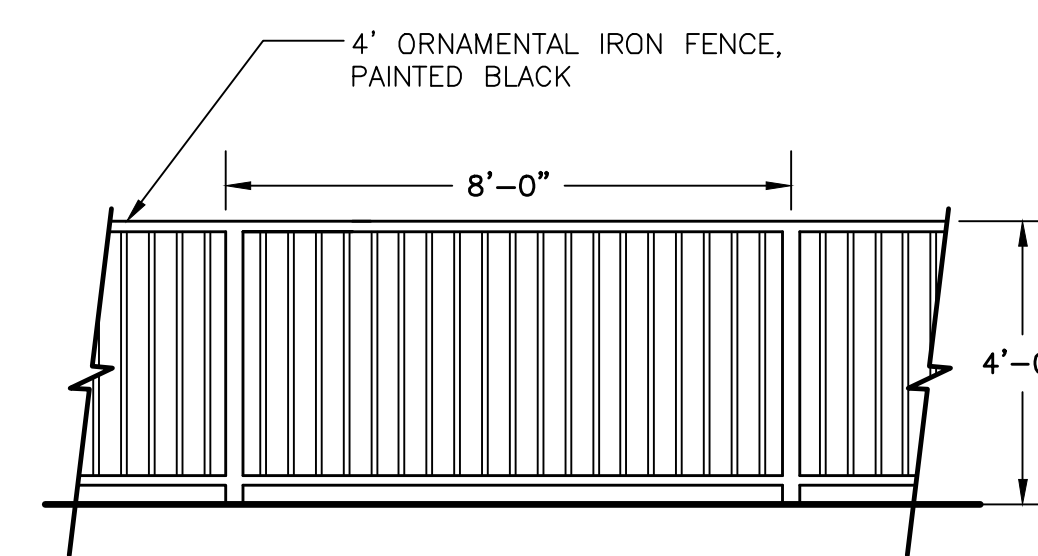
1. REMOVE FOREIGN MATERIALS, WEEDS, AND UNDESIRABLE PLANTS AND THEIR ROOTS.
2. REMOVE CONTAMINATED SUBSOIL.
3. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
4. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
5. IMPORTED TOP SOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM LAND SOIL FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
6. ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO TURF INSTALLATION.
7. ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY GRASS INSTALLATION.
8. SCARIFY SUBSOIL TO A DEPTH OF 2" WHERE TOPSOIL IS TO BE PLACED. REPEAT CULTIVATION IN AREAS WHERE EQUIPMENT, USED FOR HAULING AND SPREADING TOPSOIL, HAS COMPACTED SUBSOIL.
9. SPREAD TOPSOIL TO A MINIMUM DEPTH OF 2 INCHES OVER AREA TO BE SODDED. RAKE UNTIL SMOOTH. GRADE TO ELIMINATE ROUGH, LOW, OR SOFT AREAS, AND TO ENSURE POSITIVE DRAINAGE. FINAL GRADE 2" BELOW FINISH GRADE OF WALKS, DRIVEWAYS, CURBING AND EDGING.
10. FERTILIZER: FERTILIZER REQUIREMENTS SHALL BE DETERMINED BY A SOIL TEST INITIATED BY THE LANDSCAPE CONTRACTOR. AT MINIMUM, A SLOW RELEASE NITROGEN FERTILIZER WILL BE DISTRIBUTED UNIFORMLY TO THE SOD AFTER PLANTING AT A RATE OF 1 POUND PER 1,000 SF. NITROGEN FERTILIZER SHALL BE APPLIED ON A 3 TO 4 WEEK INTERVAL UNTIL A COVER IS OBTAINED. IF THE SOD IS PLANTED DURING DORMANCY, NO FERTILIZATION IS RECOMMENDED UNTIL THE FOLLOWING SPRING.
11. THE AREAS DESIGNATED TO RECEIVE SOD SHALL BE ROLLED WITH A MANUAL OR AUTOMATIC ROLLING DEVICE OF SUBSTANTIAL WEIGHT TO LEVEL ANY IRREGULARITIES IN THE FINISH GRADE. THIS ROLLING DEVICE SHALL NOT BE OF SUCH EXCESSIVE WEIGHT AS TO OVERLY COMPACT THE SOIL.
12. THE SOD SHALL BE DELIVERED TO THE SITE AND INSTALLED WITHIN 24 HOURS OF HARVEST.
13. THE FRESHLY INSTALLED SOD SHALL BE WATERED IMMEDIATELY FOLLOWING INSTALLATION TO INSURE PROPER SOIL AND SOD MOISTURE.
14. AFTER A LIGHT WATERING, ROLL THE SOD WITH A ROLLER TO ENSURE GOOD SOD TO SOIL CONTACT. THE ROLLING DEVICE SHALL NOT BE OF SUCH EXCESSIVE WEIGHT AS TO OVERLY COMPACT OR CRUSH THE SOD.
15. CONTRACTOR IS TO MAINTAIN THE SODDED AREAS UNTIL GRASS IS WELL ESTABLISHED AND EXHIBITS A VIGOROUS GROWING CONDITION FOR TWO CUTTINGS.
16. SOD SHALL NOT BE INSTALLED WHEN AIR OR SOIL TEMPERATURES ARE BELOW 32 DEGREES FAHRENHEIT.
17. RE-SODING: THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE WILL DESIGNATE AREAS TO BE REPLANTED. AREAS ON WHICH A STAND OF GROWING GRASS IS NOT PRESENT IN A REASONABLE LENGTH OF TIME SHALL BE PREPARED AND RE-SODING AS SPECIFIED FOR ORIGINAL PLANTING AT NO COST TO OWNER. A STAND SHALL BE DEFINED AS LIVE GRASS PLANTS FROM SOD COVERING NOT LESS THAN 90% OF ANY 10' X 10' AREA. REPLANTING REQUIRED BECAUSE OF FAULTY OPERATIONS OR NEGLIGENCE ON THE PART OF THE CONTRACTOR SHALL BE PERFORMED WITHOUT COST TO THE OWNER.



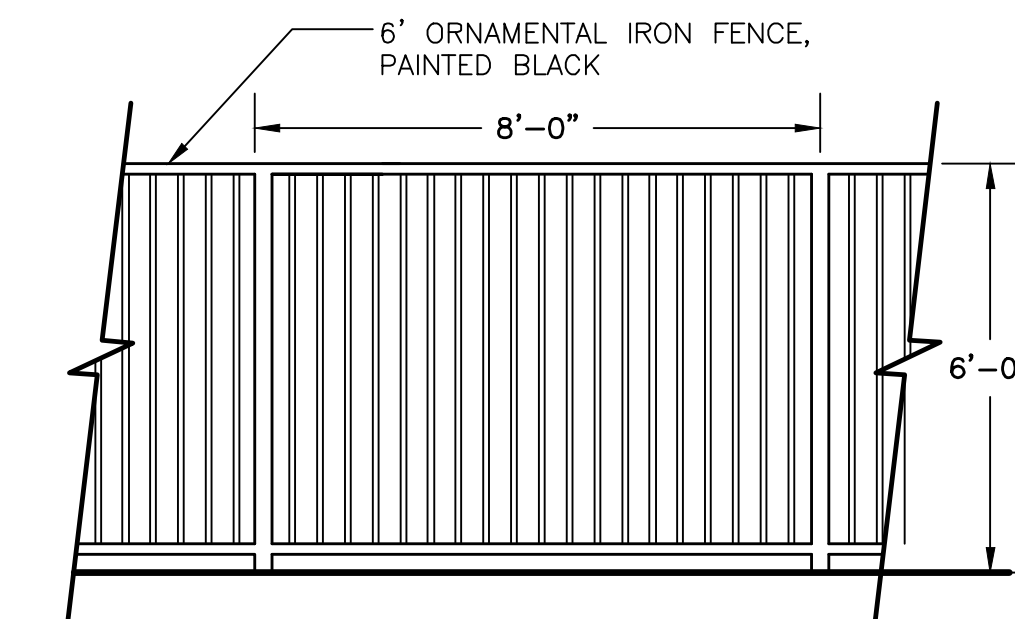
1 STEEL EDGING AT PLANTING BED
N.T.S.



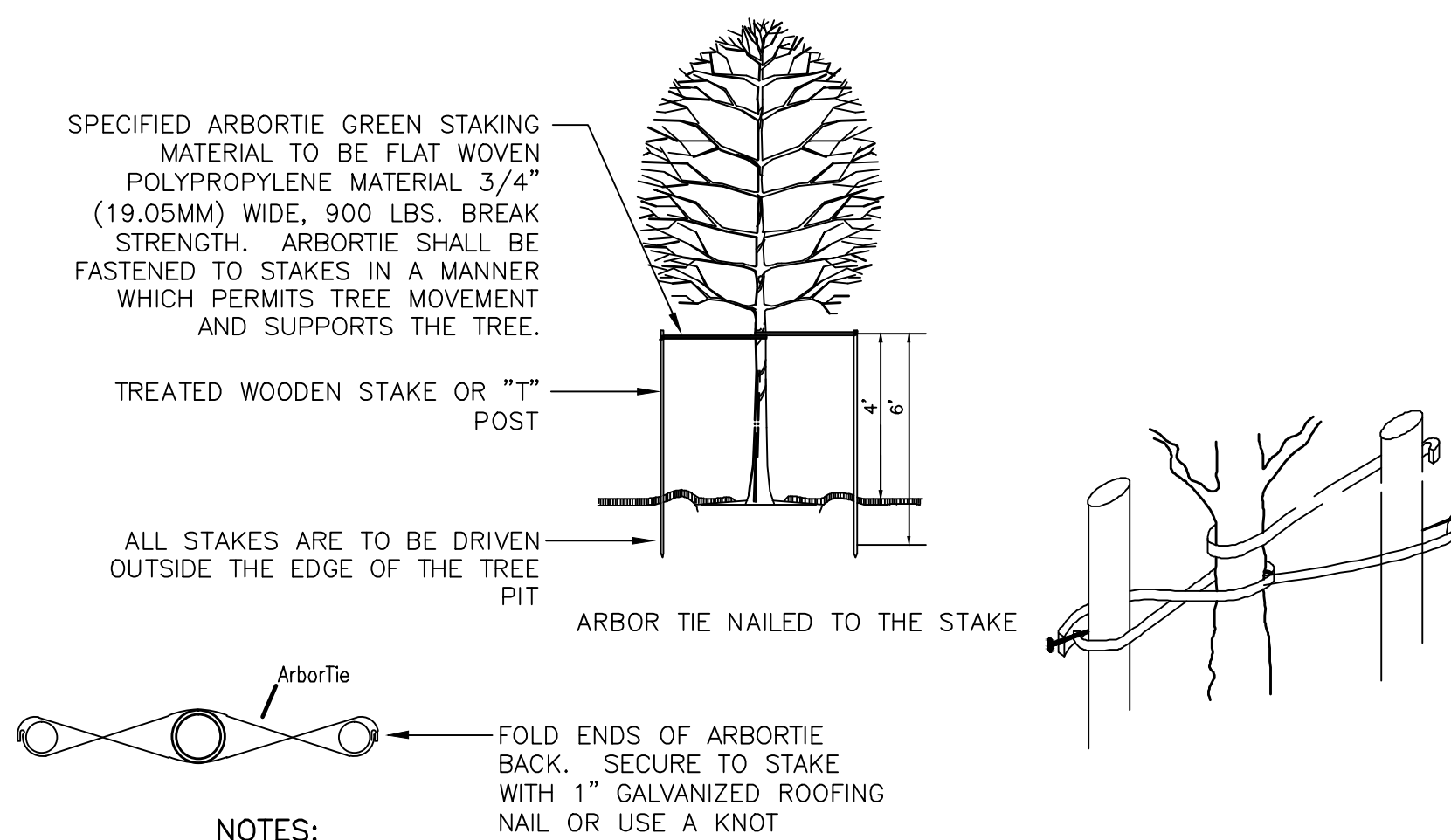
2 RIVER ROCK
N.T.S.



3 4' FENCING AT DETENTION POND
N.T.S.

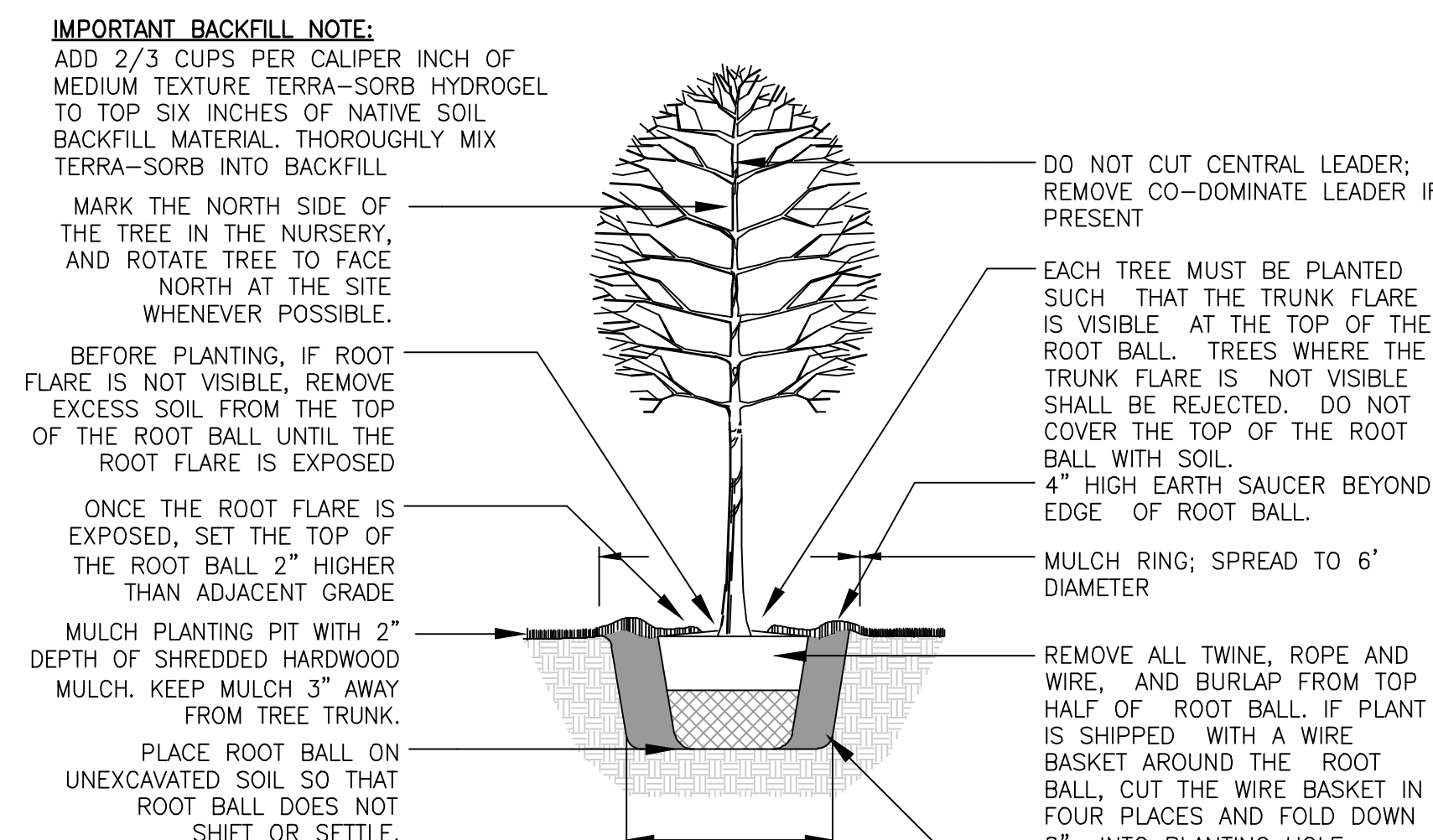


4 6' FENCING AT RESIDENTIAL ADJACENCY
N.T.S.



- NOTES:**
1. USE GREEN ARBOR TIE MATERIAL TO ASSURE UPRIGHT TREE POSITION AND STABILITY.
 2. TIGHTEN ARBOR TIE ONLY ENOUGH TO KEEP FROM SLIPPING AND TO ALLOW FOR SOME TRUNK MOVEMENT.
 3. REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN A SUFFICIENT ROOT SYSTEM TO OVERCOME STAKING. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

5 TREE STAKING DETAIL
N.T.S.



- NOTES:**
1. DO NOT HEAVILY PRUNE THE TREE AT TIME OF PLANTING.
 2. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 3. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. SEE STAKING DETAIL.

6 TREE PLANTING DETAIL IN ALL SOIL TYPES
N.T.S.

OAC SENIOR LIVING, LLC.

**SITE PLAN
ROCK WALL, TEXAS**

PROJECT TITLE:
**OAC SENIOR LIVING, LLC.
SITE PLAN**

mima
mycoskie mcinnis associates
civil engineering surveying landscape architecture planning
license registration number: 1 - 2759
200 east o'brien
arlington, texas 76010
817-469-1671
fax: 817-274-8757
www.mimatexas.com

THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF REVIEW UNDER THE AUTHORITY OF DUWANE JOINER, RLA NO. 2071 ON 12/05/2012 AND IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

PROJECT NUMBER: 2651-00-01
PROJECT MANAGER: J. SUMPTER
DRAWN BY: D. JOINER
CHECKED BY: C. MYCOSKIE
ISSUE DATE: 12/05/2012

REV. DATE DESCRIP. BY

SHEET CONTENT:
**LANDSCAPE
DETAILS**

SHEET NO:
L1.05

COPYRIGHT © 2012 M.M.A. INC.

PLANT LEGEND

SHRUBS	QTY	COMMON NAME	CONT
	13	AMERICAN BEAUTYBERRY	3 GAL.
	27	ANDORRA JUNIPER	3 GAL.
	206	AUTUMN SAGE	3 GAL.
	15	CAST IRON PLANT	1 GAL.
	4	COMPACT NANDINA	3 GAL.
	20	DWARF CRAPE MYRTLE	3 GAL.
	17	DWARF YAUPON HOLLY	3 GAL.
	44	DWF. BURFORD HOLLY	2 GAL.
	21	FRINGE FLOWER	3 GAL.
	67	GREEN CLOUD TEXAS SAGE	5 GAL.
	77	GULF COAST MUHLY	2 GAL.
	3	JAPANESE FATSIA	5 GAL.
	65	KNOCKOUT ROSE	3 GAL.
	30	LINDHEIMER'S MUHLY	3 GAL.
	64	MEXICAN FEATHER GRASS	1 GAL.
	82	PINK SKULLCAP	1 GAL.
	194	SILVERBERRY	5 GAL.
	7	TURK'S CAP	1 GAL.
SHRUB AREAS	QTY	COMMON NAME	CONT
	501	GULF COAST MUHLY	1 GAL. @ 36" OC
	805	PURPLE VERBENA	4" POTS @ 18" OC
	388	RED YUCCA	1 GAL. @ 36" OC
GROUND COVERS	QTY	COMMON NAME	CONT
	164	ASIAN JASMINE	4" POTS @ 12" OC
	2,395	BIG BLUE LILYTURF	4" POTS @ 12" OC
	144,413 SF	COMMON BERMUDA	SOLID SOD
	230	GOLD MOUND LANTANA	4" POTS @ 12" OC
	301	INLAND SEA OATS	1 GAL. @ 18" OC
	1,950	SEASONAL COLOR	4" POTS @ 8" OC

PLANT MATERIAL NOTES:

- ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS, MATCHING CHARACTER, AND FULL BRANCHING STRUCTURE.
- ALL SHRUBS TO BE FULL AND UNIFORM BY SPECIES WITH MATCHING CHARACTER AND BRANCHING STRUCTURE.
- ALL PLANT VARIETIES MUST COME FROM A SAME SOURCE SUPPLIER IN ORDER TO MAINTAIN A CONSISTENT APPEARANCE.
- ALL B&B TREES MUST BE OF NURSERY STOCK CONDITION.
- ALL CONTAINER GROWN MATERIAL MUST BE OF NURSERY STOCK CONDITIONS, WITH A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER, TO MAINTAIN A FIRM BALL WHEN THE CONTAINER IS REMOVED, BUT NOT SHALL HAVE EXCESSIVE ROOT GROWTH ENCIRCLING THE INSIDE OF THE CONTAINER.
- ALL PLANTS MATERIAL SHALL COMPLY WITH THE MINIMUM REQUIREMENTS AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN, TEXAS ASSOCIATION OF NURSERYMEN STANDARDS AND/OR AS STATED IN THE PLANT SCHEDULE, WHICHEVER IS MORE STRINGENT.

TREE LEGEND

TREES	CODE	QTY	COMMON NAME	CONT	CAL.	SIZE
	UC2	8	CEDAR ELM, 3"	B & B OR CONTAINER	3" CAL.	9'-10' HT.
	UC	10	CEDAR ELM, 4"	B & B OR CONTAINER	4" CAL.	10'-12' HT.
	UL	2	LACEBARK ELM, 3"	B & B OR CONTAINER	3" CAL.	9'-10' HT.
	QV	5	LIVE OAK, 3"	B & B OR CONTAINER	3" CAL.	9'-10' HT.
	LO	6	LIVE OAK, 4"	B & B OR CONTAINER	4" CAL.	10'-12' HT.
	CR	4	OKLAHOMA REDBUD			8'-9' HT.
	LL	4	PINK CREPE MYRTLE			8'-9' HT.
	ID	11	POSSUMHAW HOLLY			6'-8' HT.
	IS	2	SAVANNAH HOLLY			8'-9' HT.
	RO	5	SHUMARD RED OAK, 4"	B & B OR CONTAINER	4" CAL.	10'-12' HT.
	IV	9	YAUPON HOLLY			6'-8' HT.

LANDSCAPE AND SCREENING DATA

LOCATION	ELEMENT	REQUIRED	PROVIDED
JOHN KING BLVD. AND HWY 276 R.O.W. FRONTAGE	BUFFER-STRIP	15' LANDSCAPE BUFFER-STRIP WITH: 1) BERM OR SHRUBS, MIN. HT. OF 30" ALONG FRONTAGE. 2) (3) 4" CANOPY TREES PER 100 L.F. OF FRONTAGE. 3) (4) 4' HT. ACCENT TREES PER 100 L.F. OF FRONTAGE. REQ'D: BERM AND / OR SHRUBS ALONG THE ENTIRE LENGTH OF R.O.W. FRONTAGE. REQ'D: HWY. 276 = 516 L.F. = 16 CANOPY TREES, 21 ACCENT TREES REQ'D: JOHN KING BLVD. = 535 L.F. = 16 CANOPY TREES, 21 ACCENT TREES	HWY 276: 16 CANOPY TREES, 21 ACCENT TREES. BERMS ARE NOT POSSIBLE BECAUSE OF GRADING FOR THE DETENTION POND. JOHN KING BLVD: SCREENING SHRUBS. PLANTING TREES IN THE ATMOS EASEMENT IS PROHIBITED.
PARKING LOT	LANDSCAPE AREA	5% OF PARKING AREA MUST BE PROVIDED AS LANDSCAPE AREA *PARKING AREA: 188,064 SQ. FT., 5% = 9,403 SQ. FT. REQ'D: 9,403 SQ. FT. OF LANDSCAPE AREA IN PARKING AREA	9,610 SQ. FT. OF LANDSCAPE AREA PROVIDED IN PARKING LOT
PARKING LOT	TREES REQUIRED	(1) TREE PER 10 SPACES. 111 SPACES/10 = 11 TREES REQ'D: 11 TREES WITHIN PARKING AREA	15 TREES WITHIN PARKING AREA
PARKING LOT	TREE LOCATIONS	REQ'D: EACH PARKING SPACE MUST BE WITHIN 80' OF A REQUIRED TREE	EACH PARKING SPACE IS WITHIN 80' OF A REQUIRED TREE.
FULL SITE	LANDSCAPE AREA	MINIMUM OF 15% OF LOT TO BE PROVIDED AS LANDSCAPE AREA. LOT AREA = 292,096 SQ. FT. 15% = 43,814 SQ. FT. REQ'D: 43,814 SQ.FT. OF LANDSCAPE AREA.	139,038 SQ. FT. (47.6%) OF LANDSCAPE AREA PROVIDED
STORMWATER DETENTION AREA	TREES	ONE (1), TREE PER 750 SF OF DRY LAND AREA. DRY LAND AREA = 37,854 SQ. FT./750 = 50 REQ'D: 50 TREES IN DETENTION AREA.	50 TREES IN DETENTION AREA
RESIDENTIAL ADJACENCY	SCREENING	REQ'D: MASONRY FENCE, 6' HT.	6' ORNAMENTAL IRON FENCE, LARGE EVERGREEN SHRUBS PLANTED 48" O.C.

OAC SENIOR LIVING, LLC.

SITE PLAN
ROCKWALL, TEXAS

PROJECT TITLE:
OAC SENIOR LIVING, LLC.
SITE PLAN

mima

mycoskie+mcinnis+associates
civil engineering surveying landscape architecture planning
texas registration number: 1 - 2759
200 east abram
arlington, texas 76010
817-489-1671
fax: 817-274-8757
www.mmatexas.com

THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF REVIEW UNDER THE AUTHORITY OF DUWAIN JOINER, RLA NO. 2071 ON 12/05/2012 AND IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

PROJECT NUMBER: 2851-00-01
PROJECT MANAGER: J. SUMPTER
DRAWN BY: D. JOINER
CHECKED BY: C. MYCOSKIE
ISSUE DATE: 12/05/2012

REV. DATE DESCRIP. BY

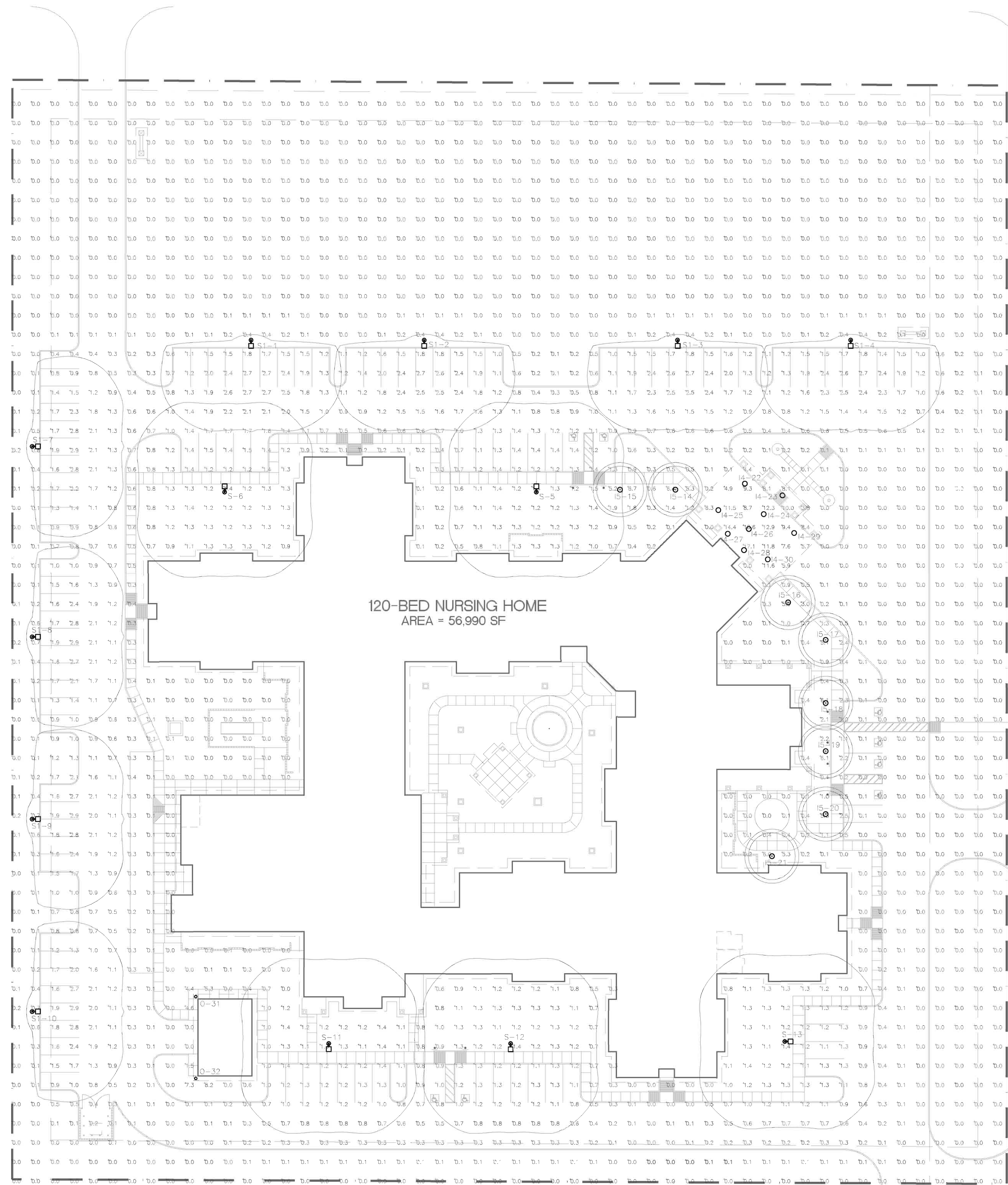
SHEET CONTENT:
LANDSCAPE DATA

SHEET NO:
L1.02

COPYRIGHT © 2012 MMA, INC.

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
○	I4	9	LITHONIA LF8N 2/42TRT MVOLT F803A	8" OPEN DOWNLIGHT WITH SPECULAR REFLECTOR	(2) F42TRT	8HF_2_42TRT_ MVOLT_F803A .les	3200	0.81	93
○	I5	8	LITHONIA KBR6 50M R5 1206 LPI	6 IN ROUND BOLLARD	(1) 50MH	KBR6_50M_R5 .les	3400	0.81	72
○	O	2	LITHONIA LF8N 2/26DTT MVOLT F802AZ	8" OPEN DOWNLIGHT	(2) F26DTT	LF8N_2_26DTT_ MVOLT_F802AZ .les	1800	0.81	62
□	S	5	LITHONIA DSX1 LED 2 JOB700/40K SR5 MVOLT SPA DBXD 18FT POLE	LED SHOEBOX TYPE V	LED	DSX1_LED_2_ JOB700_40K_ SR5_MVOLT1 .es	Absolute	0.81	142.8
□	S1	6	LITHONIA DSX1 LED 2 JOB700/40K SR4 MVOLT HS SPA DBXD 18FT POLE	LED SHOEBOX TYPE V HOUSE SIDE SHIELD	LED	DSX1_LED_2_ JOB700_40K_ SR4_MVOLT_ HS.les	Absolute	0.81	142.8

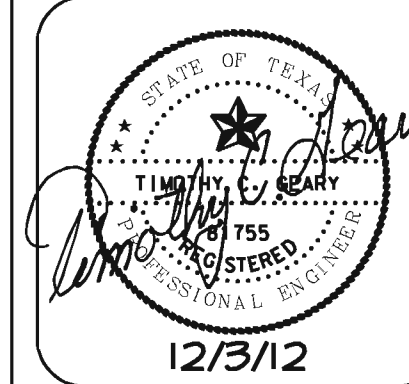
LUMINAIRE LOCATIONS							
No.	Label	X	Y	Z	MH	Orientation	Tilt
1	S1	124.1	436.2	18.0	18.0	180.0	0.0
2	S1	214.1	436.3	18.0	18.0	180.0	0.0
3	S1	345.7	436.2	18.0	18.0	180.0	0.0
4	S1	435.7	436.2	18.0	18.0	180.0	0.0
5	S	272.3	357.2	18.0	18.0	0.0	0.0
6	S	110.3	357.2	18.0	18.0	0.0	0.0
7	S1	10.3	381.0	18.0	18.0	90.0	0.0
8	S1	10.3	282.0	18.0	18.0	90.0	0.0
9	S1	10.3	187.2	18.0	18.0	90.0	0.0
10	S1	10.3	87.1	18.0	18.0	90.0	0.0
11	S	164.5	70.6	18.0	18.0	180.0	0.0
12	S	258.9	70.6	18.0	18.0	180.0	0.0
13	S	401.4	71.6	18.0	18.0	90.0	0.0
14	I5	344.6	358.5	4.0	4.0	0.0	0.0
15	I5	315.8	358.5	4.0	4.0	0.0	0.0
16	I5	403.2	299.9	4.0	4.0	0.0	0.0
17	I5	422.6	280.4	4.0	4.0	0.0	0.0
18	I5	422.8	247.6	4.0	4.0	0.0	0.0
19	I5	422.7	222.6	4.0	4.0	0.0	0.0
20	I5	422.8	190.0	4.0	4.0	0.0	0.0
21	I5	394.8	168.0	4.0	4.0	0.0	0.0
22	I4	380.7	361.6	12.0	12.0	0.0	0.0
23	I4	400.3	355.5	12.0	12.0	0.0	0.0
24	I4	390.5	345.8	12.0	12.0	0.0	0.0
25	I4	367.0	347.8	12.0	12.0	0.0	0.0
26	I4	382.7	338.0	12.0	12.0	0.0	0.0
27	I4	371.8	335.5	12.0	12.0	0.0	0.0
28	I4	380.3	327.0	12.0	12.0	0.0	0.0
29	I4	406.4	336.0	12.0	12.0	0.0	0.0
30	I4	392.6	322.1	12.0	12.0	0.0	0.0
31	O	95.4	52.5	9.0	9.0	0.0	0.0
32	O	95.4	95.0	9.0	9.0	0.0	0.0



1 Site Lighting Photometric Plan
1"=30'-0"



Timothy C. Geary, P.E.
5502 Welsh Lane Suite 102
Rogers, AR 72756
Phone: (479) 464-8006
E-mail: tgeary@gearyeng.com
Reg. # F-10249



William Stafford, Architect

P.O. BOX 1166
FORT SMITH, AR 72902
(479) 783-5015 FAX: (479) 783-8397

120-BED SKILLED NURSING FACILITY:
OAC SENIOR LIVING, LLC
ROCKWALL, TEXAS

SITE LIGHTING
PHOTOMETRIC PLAN
PROJECT: 12207
GE# 12028
REVISIONS:

11/1/12
MEP2