

**VICINITY MAP**  
SCALE: N.T.S.

Zoning: Planned Development District (PD-10)  
Single Family Residential

TOTAL ACRES 41.551

TOTAL TRACT TWO RESIDENTIAL LOTS 76

DENSITY 2.7 ul/ac.  
(27,530 gross res.)

OPEN SPACE ACRES 10.359

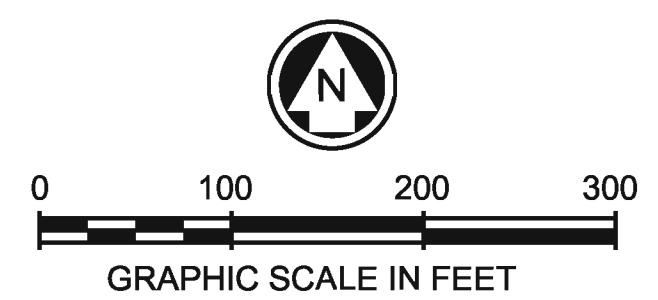
**PD SITE PLAN  
OF  
TOWNSEND VILLAGE  
PD-10 ZONING**

BEING A 41.551 ACRE TRACT OF LAND LOCATED  
IN THE N.M. BALLARD SURVEY, ABSTRACT NO. 48  
JOSEPH CADLE SURVEY, ABSTRACT NO. 65  
SITUATED IN CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

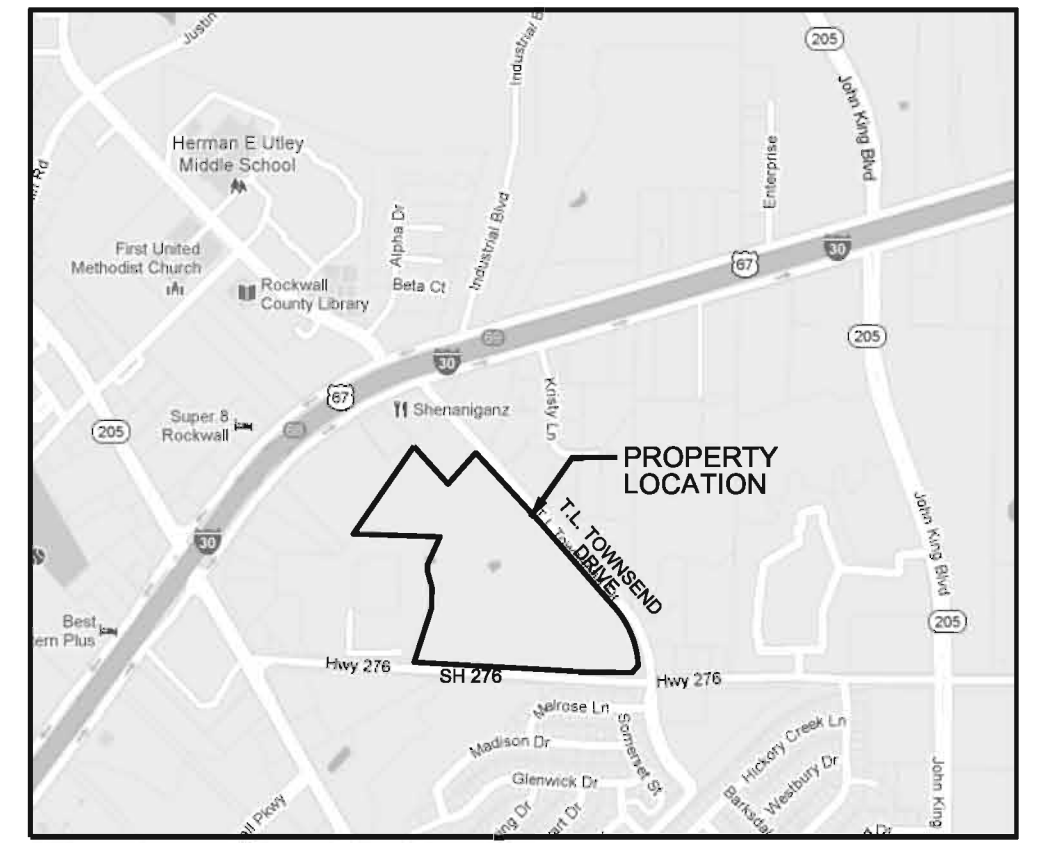
**OWNER**  
CADG ROCKWALL 41, LLC  
1221 N. I-35 E, SUITE 200  
CARROLLTON, TEXAS 75006  
PHONE: 469-892-7200  
FAX: 817-886-3626

**DEVELOPER**  
LENART DEVELOPMENT COMPANY, LLC  
520 CENTRAL PARKWAY E, #104  
PLANO, TEXAS 75074  
PHONE: 972-422-9880

**PLANNER / ENGINEER**  
PELTON LAND SOLUTIONS, LLLP  
5751 KROGER DRIVE, SUITE 185  
KELLER, TX 76244  
PHONE: 817-562-3350  
10880 JOHN W. ELLIOT DR.  
SUITE 200  
FRISCO, TX 75033

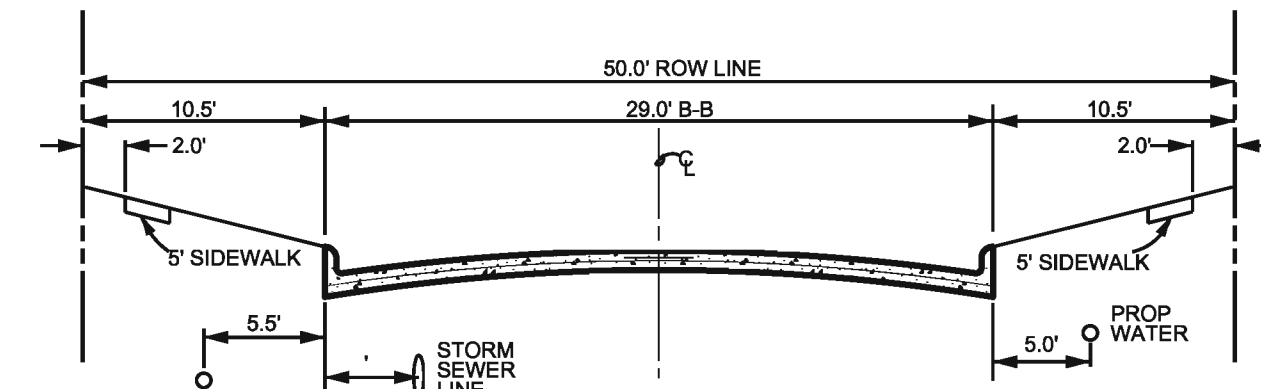


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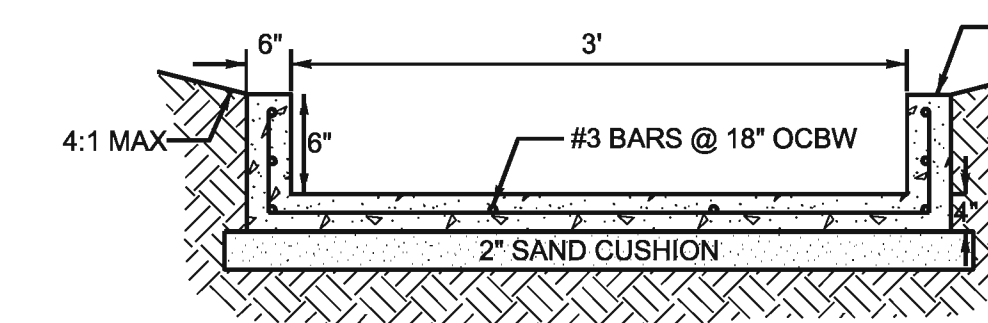


VICINITY MAP  
SCALE: N.T.S.

DRAINAGE AREA CALCULATIONS								
Area No.	Acres	Runoff Coeff	CA	T <sub>c</sub> (min.)	I <sub>s</sub> (in./hr.)	Q <sub>25</sub> (c.f.s.)	I <sub>100</sub> (in./hr.)	Q <sub>100</sub> (c.f.s.)
A-1	5.93	0.50	2.97	10.0	8.33	24.70	9.73	28.85
A-2	2.54	0.50	1.27	10.0	8.33	10.58	9.73	12.36
B-1	3.96	0.50	1.98	10.0	8.33	16.49	9.73	19.27



TYPICAL 50' ROW SECTION  
SCALE: N.T.S.



CONCRETE FLUME  
NTS

Q<sub>100-25</sub> = 5.93 cfs  
(DIFFERENCE BETWEEN  
25 & 100 YR FLOWS)  
n = 0.013  
q = 0.29'  
V = 5.17 fps  
S = 1.0%

RESIDENTIAL  
C = 0.55 I<sub>s</sub> = 9.73 T<sub>c</sub> = 10 MIN  
I<sub>s</sub> = 8.33

LEGEND

- DRAINAGE AREA DIVIDE
- EXISTING CONTOURS
- DIRECTION OF FLOW
- AREA
- ACREAGE
- STORM DRAIN PIPE
- STORM DRAIN INLET

A PD SITE DRAINAGE PLAN  
OF  
TOWNSEND VILLAGE  
PD-10 ZONING

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DEVELOPER

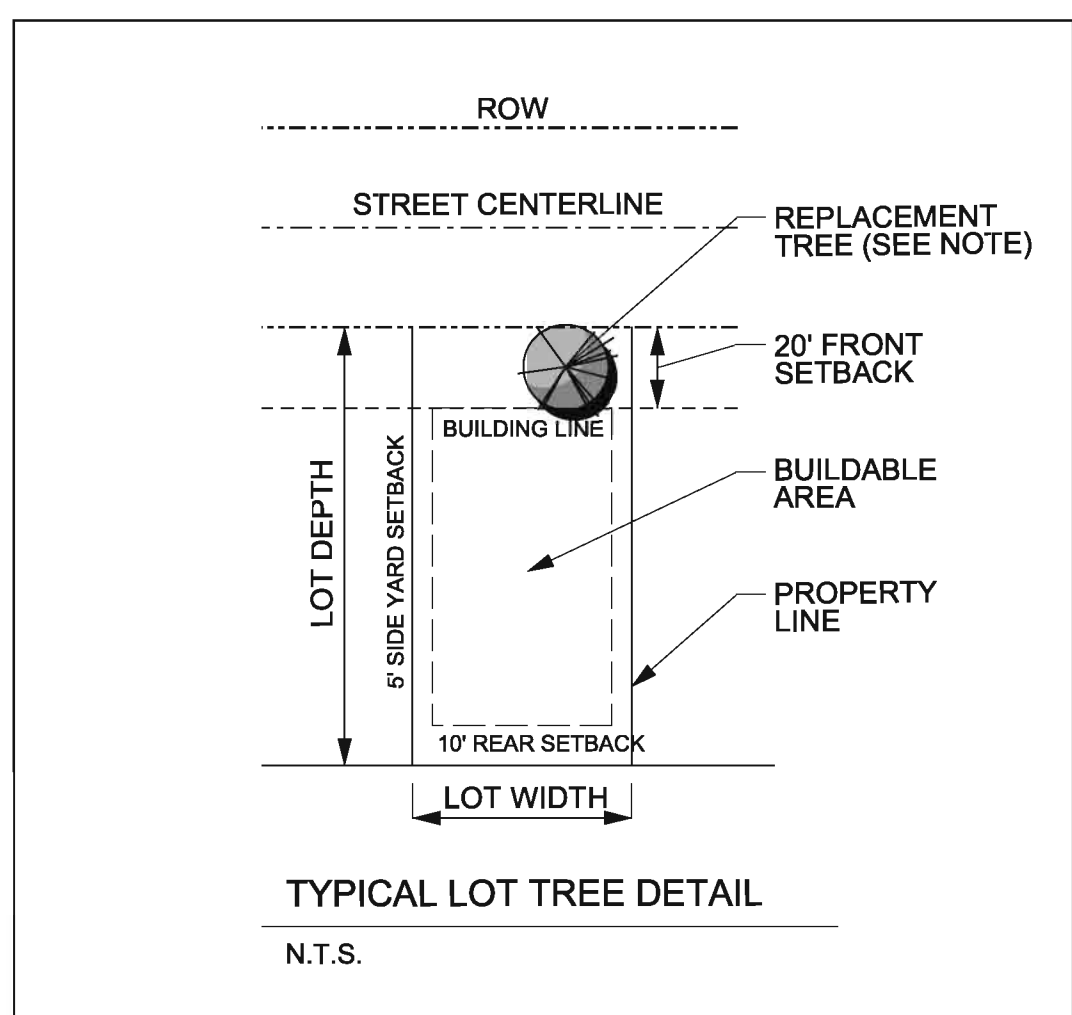
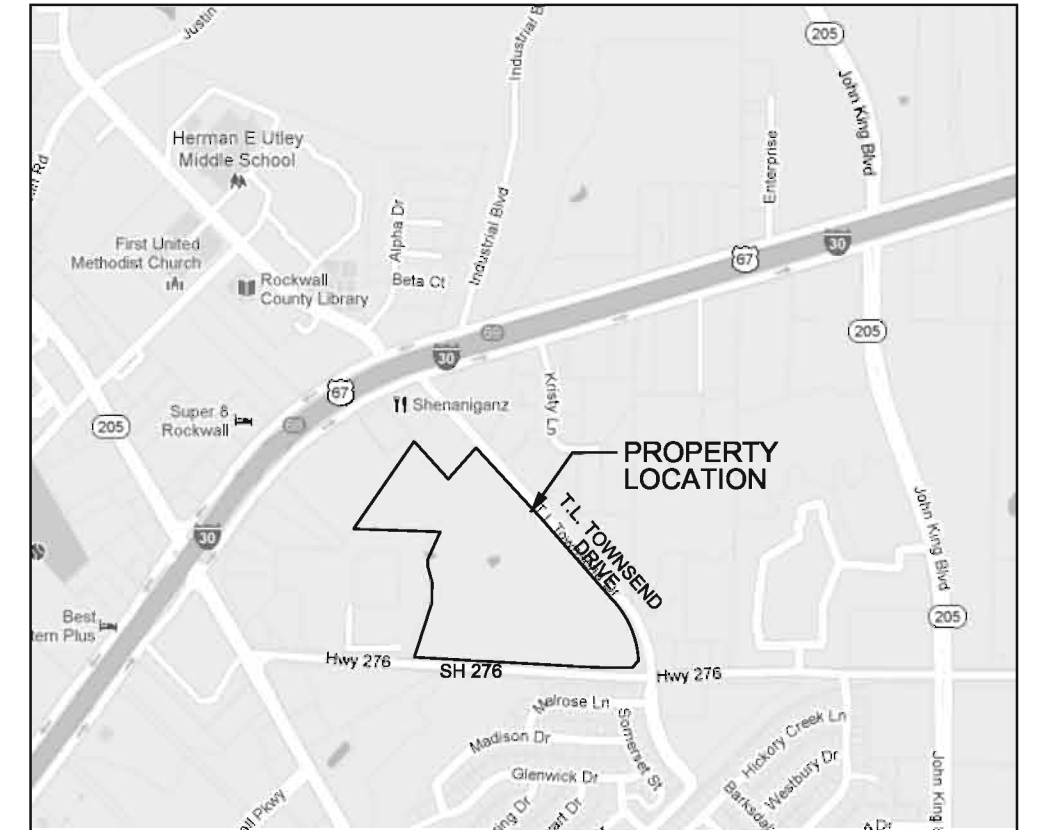
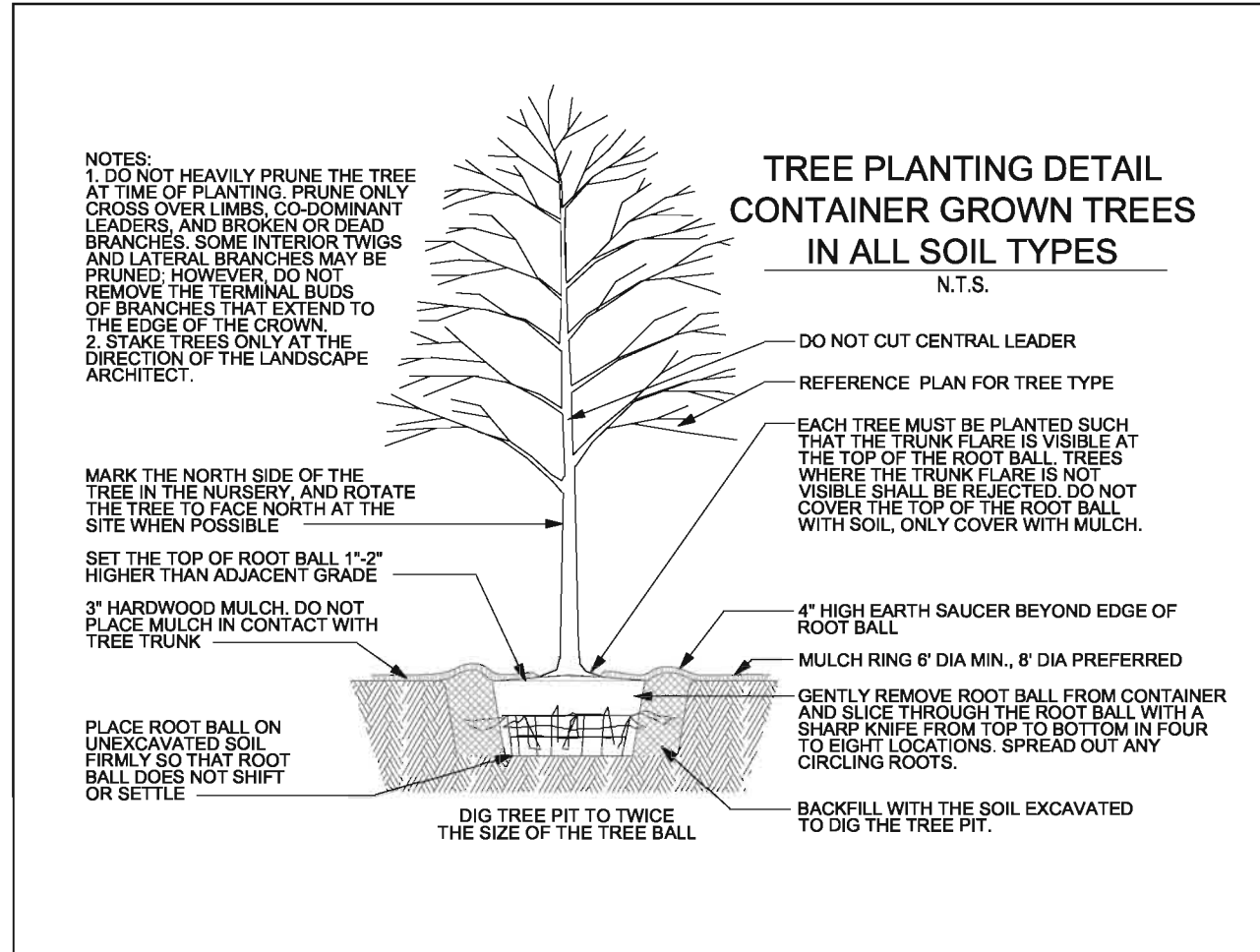
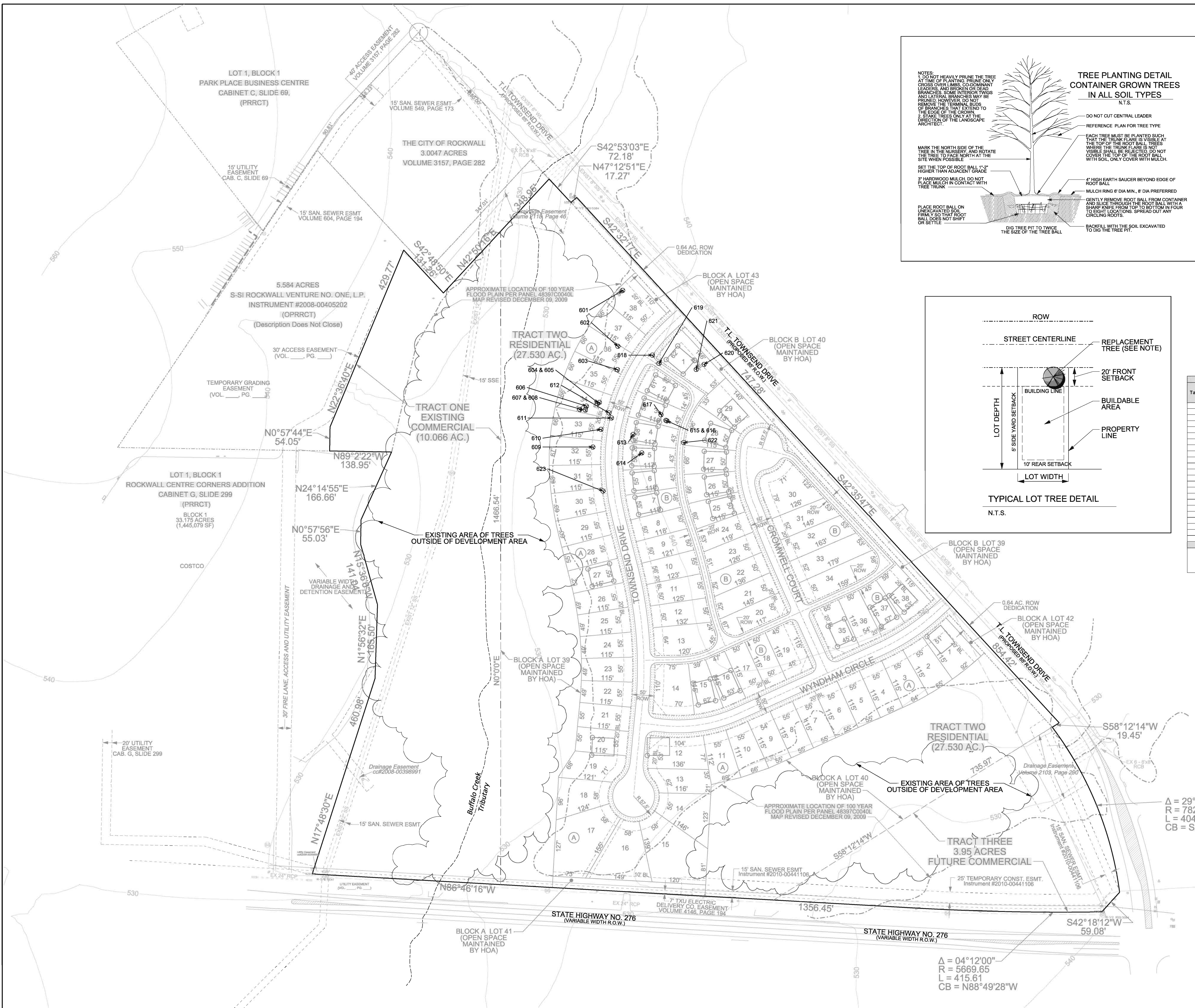
LENART DEVELOPMENT COMPANY, LLC  
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**TREESCAPE PLAN NOTES:**  
1. ALL REPLACEMENT TREES WILL BE A MINIMUM OF THREE CALIPER INCHES MEASURED SIX INCHES ABOVE THE ROOT BALL WHEN PLANTED.  
2. ALL REPLACEMENT TREES WILL BE SELECTED FROM THE APPROVED LIST CITED IN ARTICLE IX (TREE PRESERVATION) SECTION 7 (TREE REPLACEMENT CREDITS) OF PART III OF THE CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE.  
3. REPLACEMENT TREES WILL BE LOCATED WITHIN THE FRONT YARD AREA OF EACH RESIDENTIAL LOT PER TYPICAL.  
4. ALL REPLACEMENT TREES WILL BE MAINTAINED IN A HEALTHY GROWING CONDITION FOR A MINIMUM OF TWO YEARS AFTER PLANTING.  
5. REPLACEMENT TREES WILL NOT BE PLANTED WITHIN AN AREA SUCH THAT THE MATURE ROOT ZONE WILL INTERFERE WITH UNDERGROUND PUBLIC UTILITY LINES, AND/OR WHERE THE MATURE CANOPY OF THE TREE WILL INTERFERE WITH OVERHEAD UTILITY LINES.  
6. REPLACEMENT TREES WILL NOT BE PLANTED WITHIN FIVE FEET OF A FIRE HYDRANT, WATER OR SEWER LINE.

Protected and Feature Tree Removal Summary

Tag Number	Species	Multiple Trunks	Diameter at Breast Height (DBH)	Condition	Tree Type	Action	Mitigation (Inches)
601	Sugar Hackberry	No	14	Good	Protected	Remove	7
602	Sugar Hackberry	No	19	Good	Protected	Remove	9.5
603	Sugar Hackberry	No	13	Good	Protected	Remove	6.5
604	Sugar Hackberry	No	12	Good	Protected	Remove	6
605	Sugar Hackberry	No	16	Good	Protected	Remove	8
606	Sugar Hackberry	Yes	19	Good	Protected	Remove	9.5
607	Sugar Hackberry	No	12	Good	Protected	Remove	6
608	Sugar Hackberry	No	12	Good	Protected	Remove	6
609	Sugar Hackberry	Yes	17	Good	Protected	Remove	8.5
610	Sugar Hackberry	No	12	Good	Protected	Remove	6
611	Sugar Hackberry	No	14	Good	Protected	Remove	7
612	Sugar Hackberry	No	4	Good	Protected	Preserve	N/A
613	Sugar Hackberry	No	12	Good	Protected	Remove	6
614	Sugar Hackberry	No	19	Good	Protected	Remove	9.5
615	Sugar Hackberry	No	12	Good	Protected	Remove	6
616	Sugar Hackberry	No	14	Good	Protected	Remove	7
617	Sugar Hackberry	No	13	Good	Protected	Remove	6.5
618	Sugar Hackberry	No	20	Good	Protected	Remove	10
619	Sugar Hackberry	No	20	Good	Protected	Remove	10
620	Sugar Hackberry	No	32	Good	Feature	Remove	64
621	Sugar Hackberry	Yes	20	Good	Protected	Remove	10
622	Sugar Hackberry	No	12	Good	Protected	Remove	6
623	Eastern Red Cedar	No	14	Good	Protected	Remove	7
<b>Total (Inches)</b>							<b>222</b>

Replacement Tree Summary			
Quantity	Size	Condition	Total Replacement
78	3 inch	Contaminated	234 inches

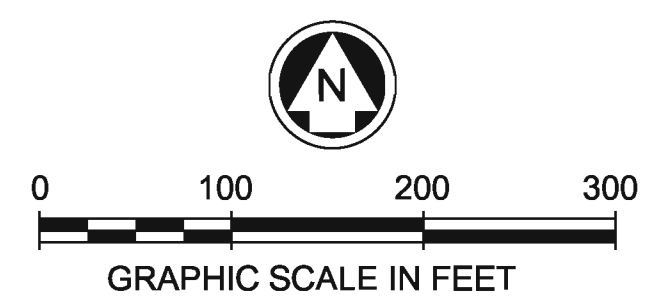
A TREESCAPE PLAN  
OF  
**TOWNSEND VILLAGE**  
PD-10 ZONING

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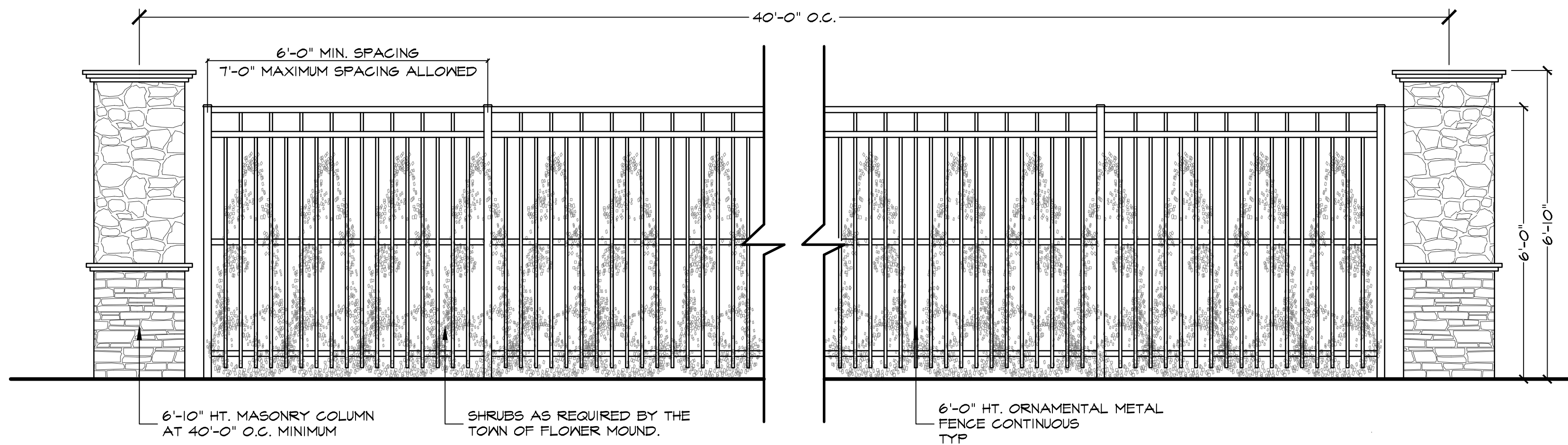
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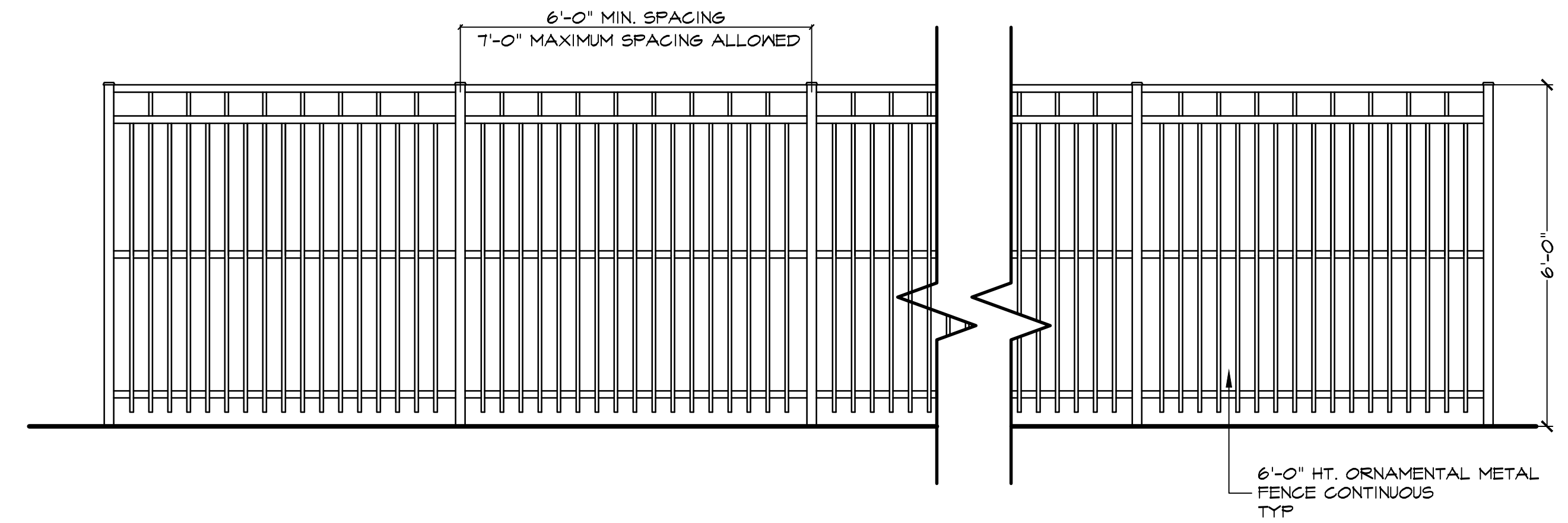


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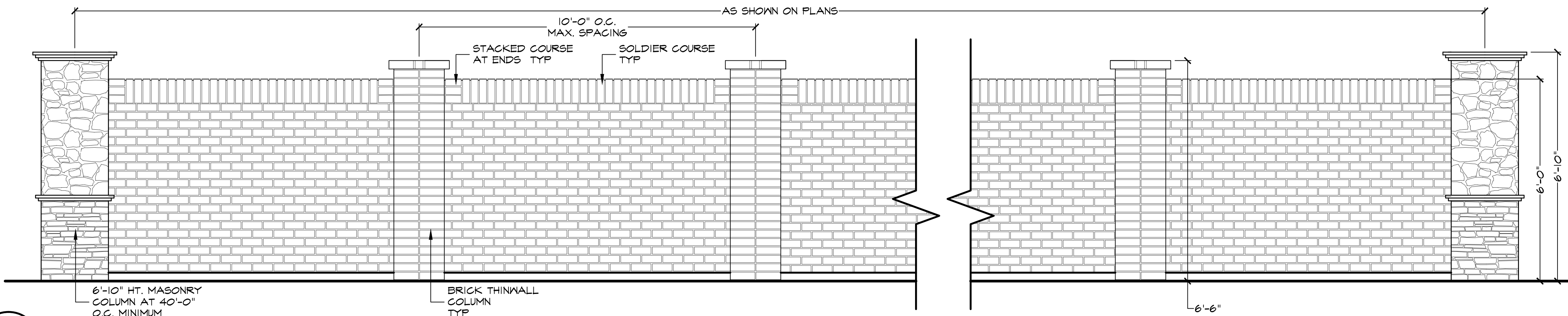
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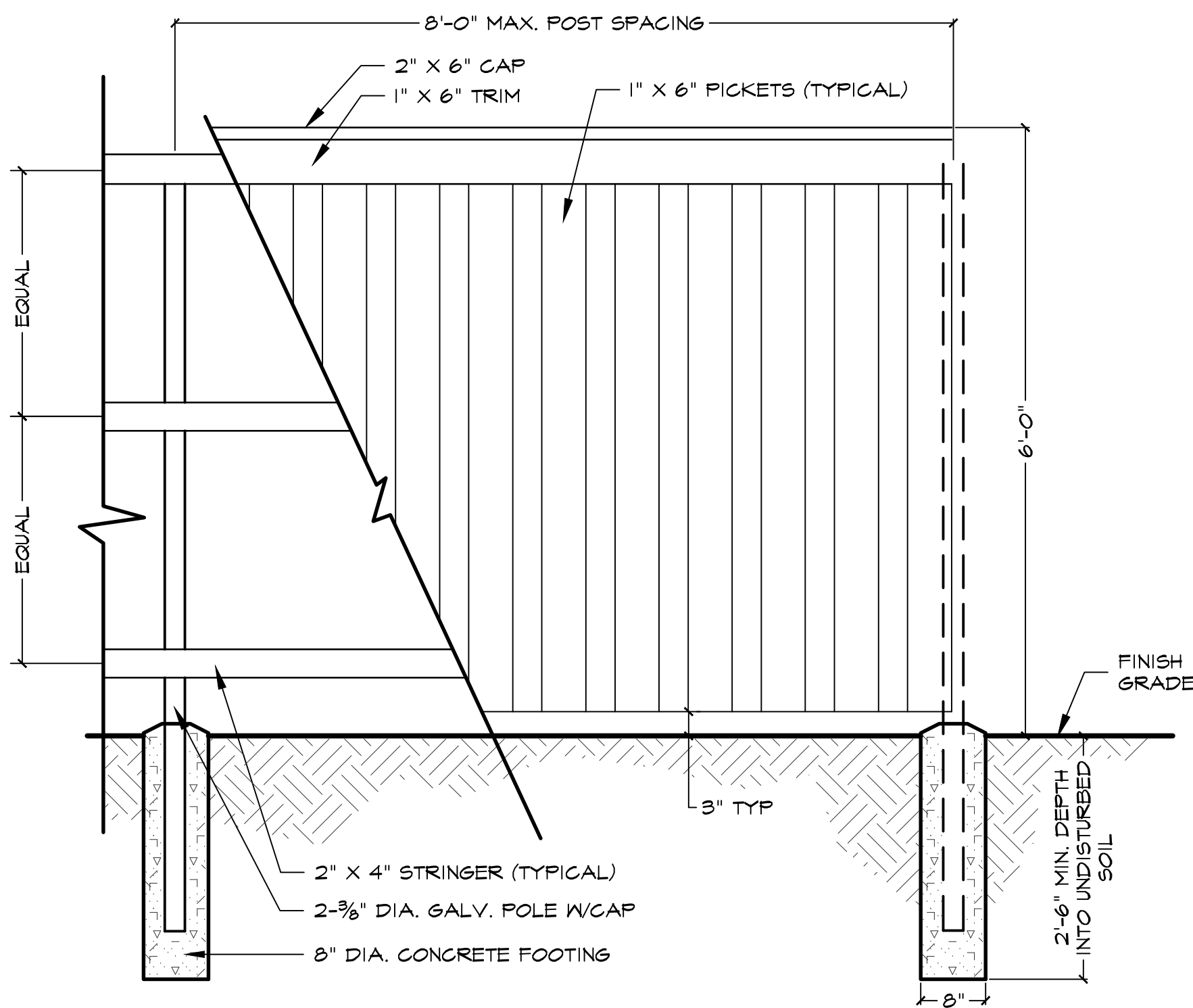
**1 PERIMETER (T.L. TOWNSEND DR.) PARTIAL ELEVATION ORNAMENTAL FENCE AND COLUMNS ELEVATION**  
 HS8 SCALE: 1/2"=1'-0"



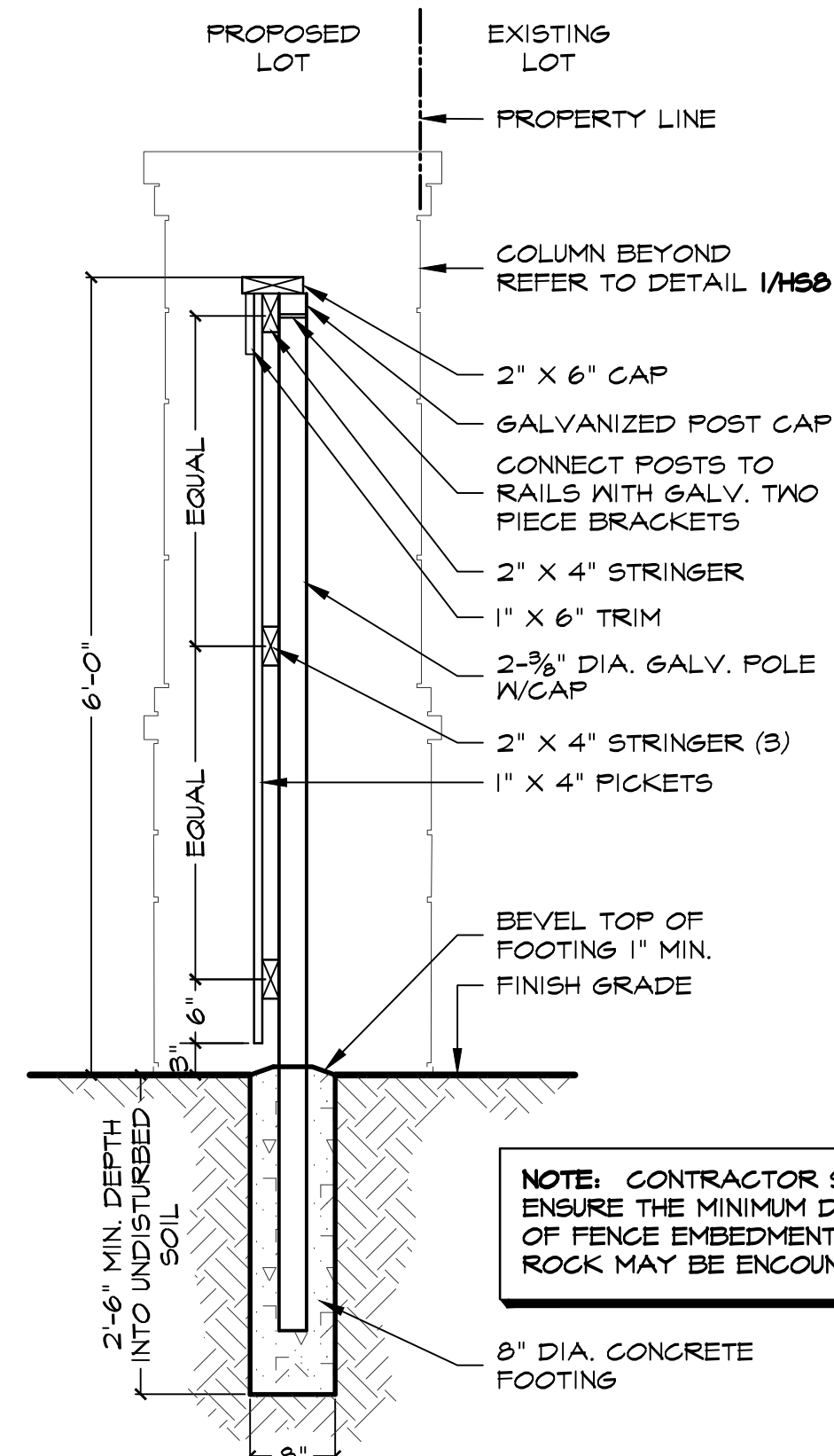
**5 PERIMETER (BACK OF LOTS FACING OPEN SPACE) PARTIAL ELEVATION ORNAMENTAL FENCE ELEVATION**  
 HS8 SCALE: 1/2"=1'-0"



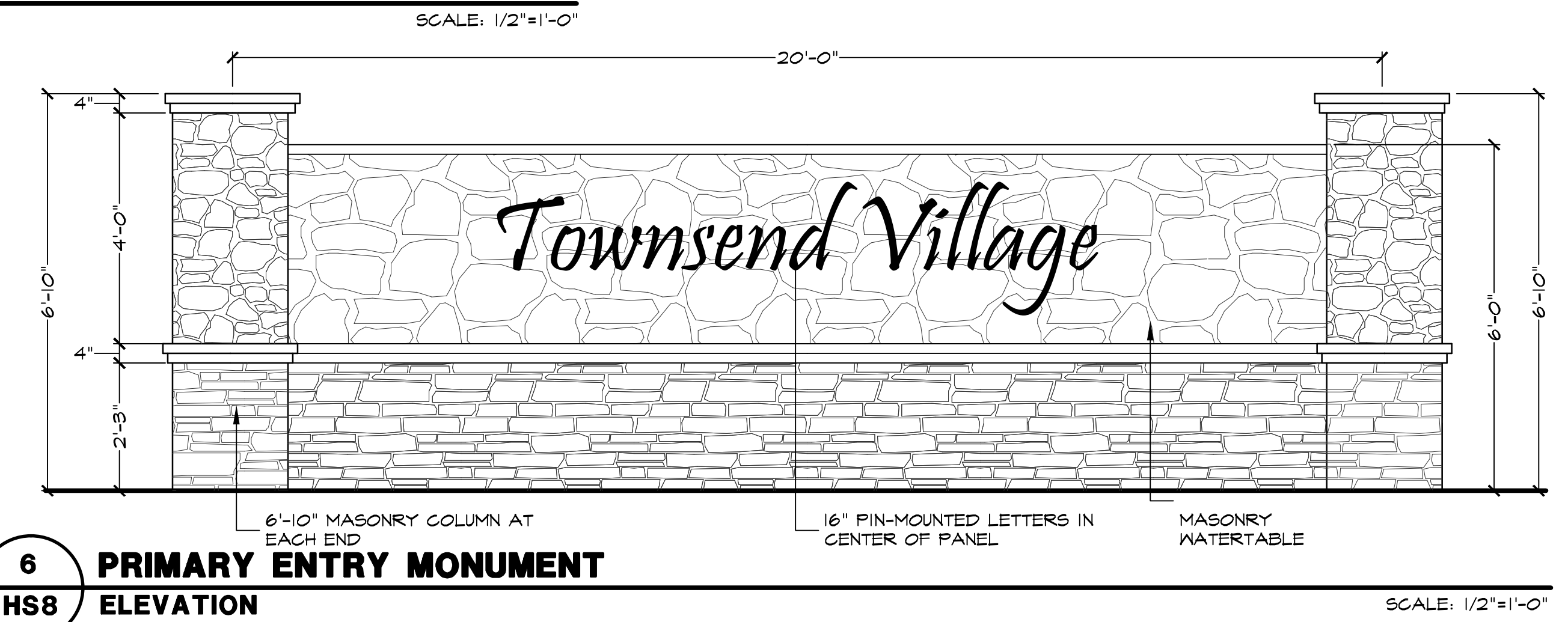
**2 PERIMETER (SH 276) PARTIAL BRICK THINWALL AND COLUMNS ELEVATION**  
 HS8 SCALE: 1/2"=1'-0"



**3 PARTIAL 6'-0" HT. WOOD FENCE (T.L. TOWNSEND DR.) ELEVATION**  
 HS8 SCALE: 3/4"=1'-0"



**4 6'-0" HT. WOOD FENCE (T.L. TOWNSEND DR.) SECTION**  
 HS8 SCALE: 3/4"=1'-0"



**6 PRIMARY ENTRY MONUMENT ELEVATION**  
 HS8 SCALE: 1/2"=1'-0"

A PRELIMINARY LANDSCAPE PLAN  
 OF  
 TOWNSEND VILLAGE  
 OF  
 ROCKWALL 41  
 PD-10 ZONING

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Studio 13 Design Group, PLLC.  
 519 Bennett Lane, Suite 203  
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DECEMBER 05, 2012

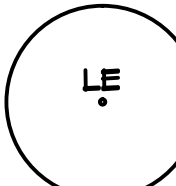

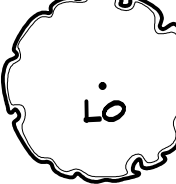
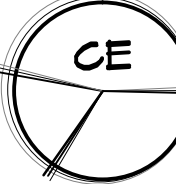
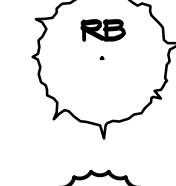

PROJECT NO. LDC028

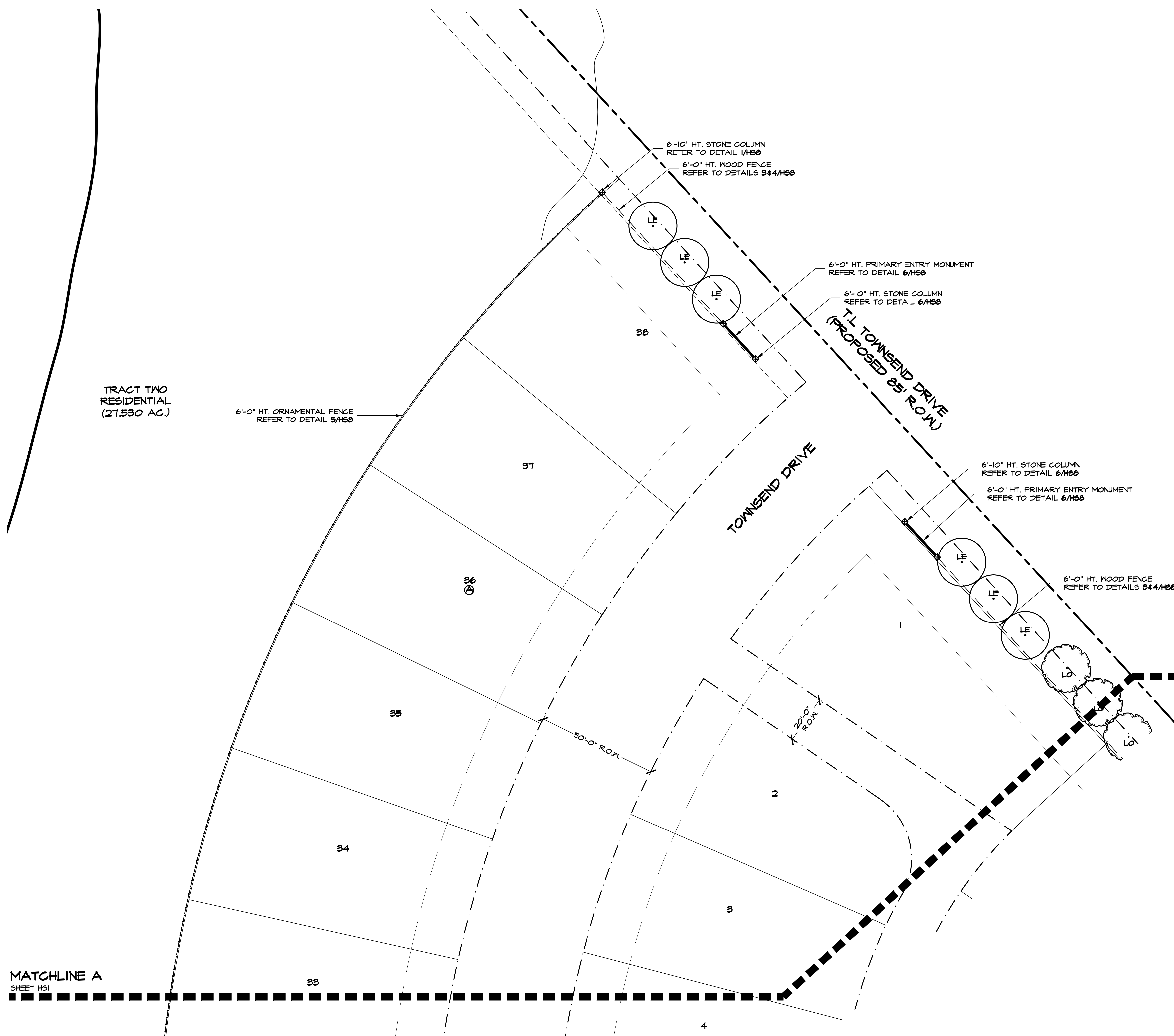
SHEET 4 OF 5

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### LANDSCAPE LEGEND

-  LACEBARK ELM / ULMUS PARVIFOLIA (3" CALIPER)
-  BUR OAK / QUERCUS MACROCARPA (3" CALIPER)
-  LIVE OAK / QUERCUS VIRGINIANA (3" CALIPER)
-  CEDAR ELM / ULMUS CRASSIFOLIA (3" CALIPER)
-  TEXAS REDBUD 'FOREST PANSY' / CERCIS CANADENSIS VAR. TEXENSIS (2" CALIPER)
-  FOSSUMHAW / ILEX DECIDU (2" CALIPER)
-  EVERGREEN SHRUB (1 GALLON)



TRACT TWO RESIDENTIAL (21.530 AC.)

6'-0" HT. ORNAMENTAL FENCE REFER TO DETAIL 5/H50

6'-10" HT. STONE COLUMN REFER TO DETAIL 1/H50

6'-0" HT. WOOD FENCE REFER TO DETAILS 3/4/H50

6'-0" HT. PRIMARY ENTRY MONUMENT REFER TO DETAIL 6/H50

6'-10" HT. STONE COLUMN REFER TO DETAIL 6/H50

6'-10" HT. STONE COLUMN REFER TO DETAIL 6/H50

T.L. TOWNSEND DRIVE (PROPOSED 85' R.O.W.)

TOWNSEND DRIVE

6'-10" HT. STONE COLUMN REFER TO DETAIL 6/H50

6'-0" HT. PRIMARY ENTRY MONUMENT REFER TO DETAIL 6/H50

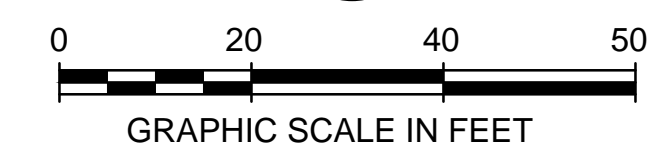
6'-0" HT. WOOD FENCE REFER TO DETAILS 3/4/H50

MATCHLINE A SHEET HS1  
MATCHLINE A SHEET HS2

MATCHLINE A SHEET HS1

## A PRELIMINARY LANDSCAPE PLAN OF TOWNSEND VILLAGE OF ROCKWALL 41 PD-10 ZONING

BEING A 41.551 ACRE TRACT OF LAND LOCATED IN THE N.M. BALLARD SURVEY, ABSTRACT NO. 48 JOSEPH CADLE SURVEY, ABSTRACT NO. 65 SITUATED IN CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



Studio 13 Design Group, PLLC. 519 Bennett Lane, Suite 203 Lewisville, Texas 75057 469-635-1900

DECEMBER 05, 2012

SCALE: 1"=20'

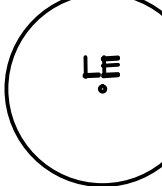




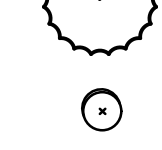

PROJECT NO. LDC028

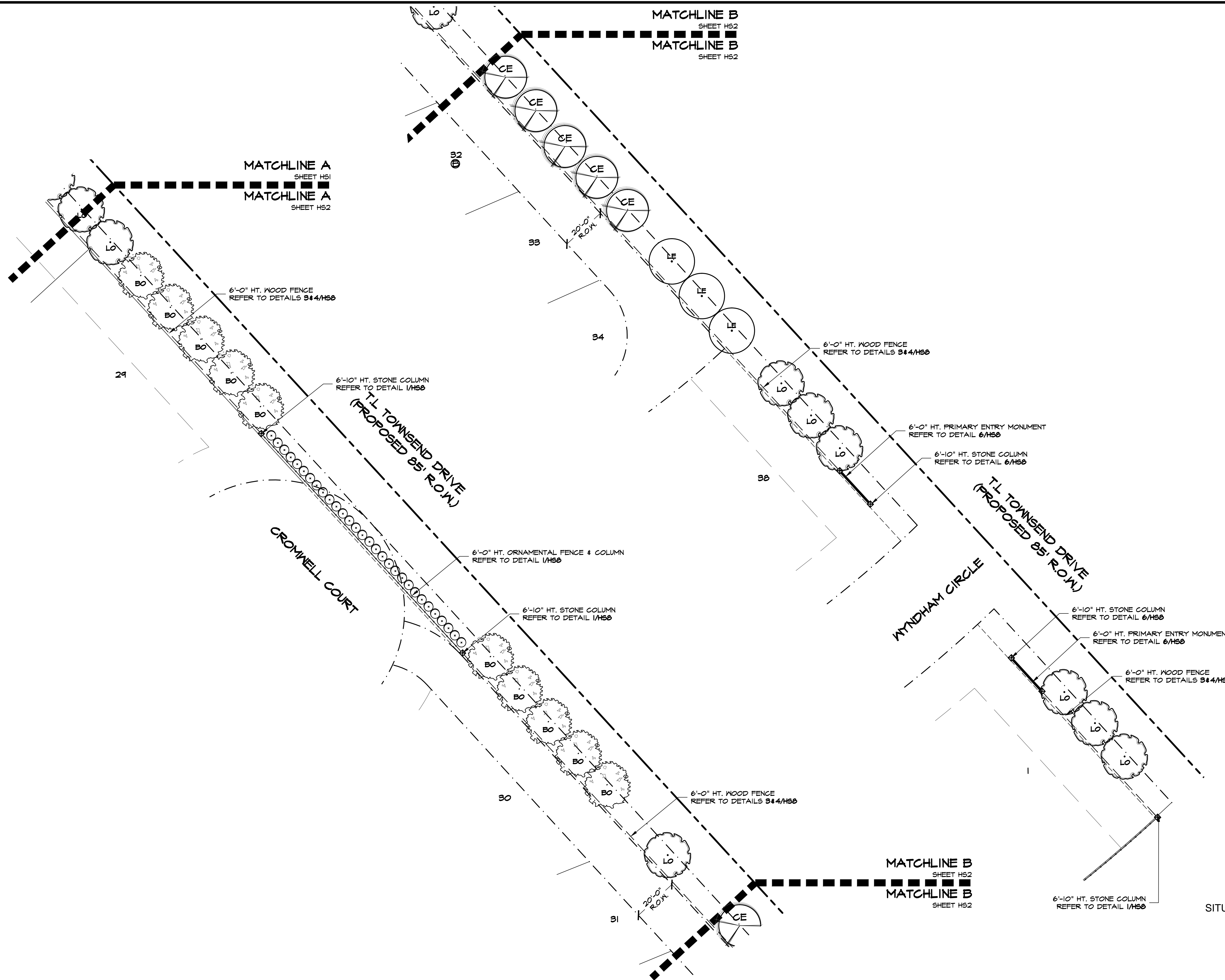
SHEET 1 OF 5

MATCHLINE B  
SHEET H52  
MATCHLINE B  
SHEET H52

MATCHLINE A  
SHEET H51  
MATCHLINE A  
SHEET H52

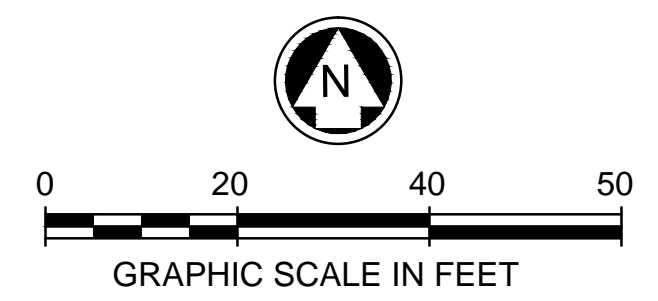
**LANDSCAPE LEGEND**

-  LACEBARK ELM / ULMUS PARVIFOLIA (3" CALIPER)
-  BUR OAK / QUERCUS MACROCARPA (3" CALIPER)
-  LIVE OAK / QUERCUS VIRGINIANA (3" CALIPER)
-  CEDAR ELM / ULMUS CRASSIFOLIA (3" CALIPER)
-  TEXAS REDBUD 'FOREST PANSY' / CERCIS CANADENSIS VAR. TEXENSIS (2" CALIPER)
-  FOSSUMHAW / ILEX DECIDUA (2" CALIPER)
-  EVERGREEN SHRUB (1 GALLON)



A PRELIMINARY LANDSCAPE PLAN  
OF  
TOWNSEND VILLAGE  
OF  
ROCKWALL 41  
PD-10 ZONING

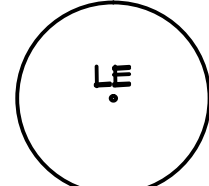


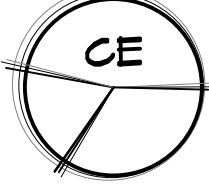
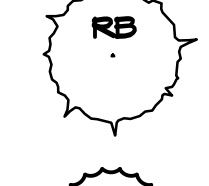
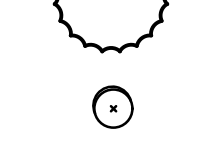

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DESIGN GROUP  
Studio 13 Design Group, PLLC  
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Lewisville, Texas 75057  
469-635-1900

DECEMBER 05, 2012 SCALE: 1"=20'

**LANDSCAPE LEGEND**

-  LACEBARK ELM / *ULMUS PARVIFOLIA*  
(3" CALIPER)
-  BUR OAK / *QUERCUS MACROCARPA*  
(3" CALIPER)
-  LIVE OAK / *QUERCUS VIRGINIANA*  
(3" CALIPER)
-  CEDAR ELM / *ULMUS CRASSIFOLIA*  
(3" CALIPER)
-  TEXAS REDBUD 'FOREST PANSY' /  
*CERCIS CANADENSIS VAR. TEXENSIS*  
(2" CALIPER)
-  POSSUMHAW / *ILEX DECIDUA*  
(2" CALIPER)
-  EVERGREEN SHRUB  
(7 GALLON)

6'-0" HT. ORNAMENTAL FENCE  
REFER TO DETAIL 5/H50

50'-0" R.O.W.

TOWNSEND DRIVE

6'-0" HT. ORNAMENTAL FENCE  
REFER TO DETAIL 5/H50

APPROXIMATE LOCATION OF 100 YEAR  
FLOOD PLAIN PER PANEL 48397C0040K  
MAP REVISED DECEMBER 09, 2009

6'-10" HT. STONE COLUMN  
REFER TO DETAIL 2/H50

6'-0" HT. BRICK THINWALL & COLUMN  
REFER TO DETAIL 2/H50

6'-10" HT. STONE COLUMN  
REFER TO DETAIL 2/H50

6'-0" HT. BRICK THINWALL & COLUMN  
REFER TO DETAIL 2/H50

6'-10" HT. STONE COLUMN  
REFER TO DETAIL 2/H50

25'-0" TEMP. CONST.  
EASEMENT

UTILITY LINE

7'-0" TXU ELECTRIC  
DELIVERY CO. EASEMENT

25'-0" LANDSCAPE BUFFER

15'-0" BERM  
30" MIN. TO 48" MAX.

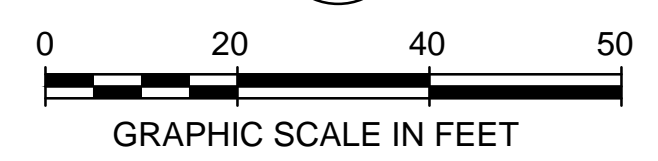
15'-0" SAN. SEWER  
EASEMENT

UTILITY LINE

STATE HIGHWAY NO. 276

A PRELIMINARY LANDSCAPE PLAN  
OF  
TOWNSEND VILLAGE  
OF  
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DECEMBER 05, 2012

SCALE: 1"=20'

PROJECT NO. LDC028

SHEET 3 OF 5

**LANDSCAPE NOTES**

1. A TREE PERMIT IS REQUIRED FOR ALL REMOVAL OF ALL TREES, PROTECTED AND UNPROTECTED.
2. PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE TEXAS NURSERY & LANDSCAPE ASSOCIATION (TNLA) SPECIFICATIONS, GRADES AND STANDARDS.
3. ALL PLANT SUBSTITUTIONS ARE SUBJECT TO TOWN APPROVAL AND MUST BE SPECIFIED ON THE APPROVED LANDSCAPE PLAN.
4. GROUND COVERS USED IN LIEU OF TURF GRASS MUST PROVIDE COMPLETE COVERAGE WITHIN ONE (1) YEAR OF PLANTING AND MAINTAIN ADEQUATE COVERAGE AS APPROVED BY THE CITY OF ROCKWALL.
5. TREES MUST BE PLANTED FOUR FEET (4') OR GREATER FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND/OR OTHER STRUCTURES. THE CITY OF ROCKWALL HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
6. TREE PITS SHALL HAVE ROUGHENED SIDES AND BE TWO TO THREE TIMES WIDER THAN THE ROOT BALL OF THE TREE IN ORDER TO FACILITATE HEALTHY ROOT GROWTH.
7. TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITH IN A 24-HOUR PERIOD, THE CONTRACTOR SHALL PROVIDE BERMING, OR DEVISE DRAINAGE PRACTICES, AND CONTACT THE TOWN LANDSCAPE ARCHITECT PRIOR TO PLANTING.
8. TREES SHALL NOT BE PLANTED DEEPER THAN THE BASE OF THE TRUNK FLARE.
9. THE TREE PIT SHALL BE BACKFILLED WITH NATIVE TOPSOIL FREE OF ROCK AND OTHER DEBRIS.
10. BURLAP, TWINE AND WIRE BASKETS SHALL BE LOOSENEED AND PULLED BACK FROM THE TRUNK OF TREE AS MUCH AS POSSIBLE.
11. TREES SHALL NOT BE WATERED TO EXCESS THAT RESULTS IN SOIL SATURATION. IF SOIL BECOMES SATURATED, THE WATERING SCHEDULE SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE AND ABSORPTION OF THE EXCESS WATER.
12. A 3"-4" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 1-2" FROM THE TRUNK OF THE TREE.
13. NO PERSON(S) OR ENTITY MAY USE IMPROPER OR MALICIOUS MAINTENANCE OR PRUNING TECHNIQUES WHICH WOULD LIKELY LEAD TO THE DEATH OF THE TREE. IMPROPER OR MALICIOUS TECHNIQUES INCLUDE, BUT ARE NOT LIMITED TO, TOPPING OR OTHER UNSYMMETRICAL TRIMMING OF TREES, TRIMMING TREES WITH A BACKHOE, OR USE OF FIRE OR POISON TO CAUSE THE DEATH OF A TREE.
14. TOPSOIL SHALL BE A MINIMUM OF 8 INCHES IN DEPTH IN PLANTING AREAS. SOIL SHALL BE FREE OF STONES, ROOTS, AND CLODS AND ANY OTHER FOREIGN MATERIAL THAT IS NOT BENEFICIAL FOR PLANT GROWTH.
15. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD OR OTHER MULCH.
16. TREES OVERHANGING WALKS AND PARKING SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET. TREES OVERHANGING PUBLIC STREET PAVEMENT DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET.
17. A VISIBILITY TRIANGLE MUST BE PROVIDED AT ALL INTERSECTIONS. SHRUBS ARE NOT TO EXCEED 30 INCHES IN HEIGHT. TREES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 9 FEET.
18. TREES PLANTED ON A SLOPE SHALL HAVE THE SOIL STAIN AT THE AVERAGE GRADE OF SLOPE.
19. NO SHRUBS SHALL BE PERMITTED WITHIN AREAS LESS THAN 3 FEET IN WIDTH. ALL BEDS LESS THAN 3 FEET IN WIDTH SHALL BE GRASS, GROUNDCOVER OR SOME TYPE OF FIXED PAVING.
20. THE OWNER, TENANT, AND/OR THEIR AGENTS, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERMANENCE OF PLANT MATERIAL. ALL LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, AND OTHER ACTIVITIES NECESSARY FOR THE MAINTENANCE OF LANDSCAPED AREAS.
21. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT IS DAMAGED, DESTROYED, OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY WITHIN 30 DAYS UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY OF ROCKWALL.
22. LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OFF TRASH, LITTER AND WEEDS.
23. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO IRRIGATE ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM.
24. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRONCH ON RIGHT-OF-WAY, SIDEWALKS OR EASEMENTS TO THE EXTENT THAT THE VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
25. NO PLANTING AREAS SHALL EXCEED 3:1 SLOPE. 3' HORIZONTAL TO 1' VERTICAL.
26. EARTHEN BERMS SHALL NOT INCLUDE CONSTRUCTION DEBRIS. CONTRACTOR MUST CORRECT SLIPPAGE OR DAMAGE TO THE SMOOTH FINISH GRADE OF THE BERM PRIOR TO ACCEPTANCE.
27. ALL WALKWAYS SHALL MEET A.D.A. AND T.A.S. REQUIREMENTS.
28. CONTACT CITY OF ROCKWALL'S PLANNING DEPARTMENT AT FOR LANDSCAPE INSPECTION. NOTE LANDSCAPE INSTALLATION MUST COMPLY WITH APPROVED LANDSCAPE PLANS PRIOR FINAL ACCEPTANCE BY THE TOWN AND/OR OBTAINING A CERTIFICATE OF OCCUPANCY.
29. FINAL INSPECTION AND APPROVAL OF SCREENING WALLS, IRRIGATION AND LANDSCAPE IS SUBJECT TO ALL PUBLIC UTILITIES, INCLUDING BUT NOT LIMITED TO MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, TO BE ACCESSIBLE, ADJUSTED TO GRADE AND TO THE CITY OF ROCKWALL'S PUBLIC WORKS DEPARTMENT STANDARDS.
30. PRIOR TO CALLING FOR A LANDSCAPE INSPECTION, CONTRACTOR IS RESPONSIBLE FOR MARKING ALL MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER UTILITY APPURTENANCES WITH FLAGGING FOR FIELD VERIFICATION BY THE PUBLIC WORKS DEPARTMENT.

**PLANT LIST**

SYMBOL	COMMON/BOTANICAL NAME	SIZE	SPACING	QUANTITY	REMARKS
LO	LIVE OAK / QUERCUS VIRGINIANA	4" GALIPER	AS SHOWN	12	7' MINIMUM SPREAD; MINIMUM 8' HEIGHT; FULL ROUNDED HEAD 7' MINIMUM BRANCHING HEIGHT; NURSERY GROWN
BO	BUR OAK / QUERCUS MACROCARPA	4" GALIPER	AS SHOWN	16	6' MINIMUM SPREAD; MINIMUM 7' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN
LE	LACEBARK ELM / ULMUS PARVIFOLIA	4" GALIPER	AS SHOWN	9	6' MINIMUM SPREAD; MINIMUM 7' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN
CE	CEDAR ELM / ULMUS CRASSIFOLIA	4" GALIPER	AS SHOWN	8	6' MINIMUM SPREAD; MINIMUM 7' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN
RB	TEXAS REDBUD FOREST PANSY/ CERCIS CANADENSIS VAR. TEXENSIS	2" GALIPER	AS SHOWN	8	5' MINIMUM SPREAD; MINIMUM 6' HEIGHT; 2" MIN. CAL.; FULL HEAD NURSERY GROWN
PH	POSSUMHAW / ILEX DECIDU	2" GALIPER	AS SHOWN	6	5' MINIMUM SPREAD; MINIMUM 6' HEIGHT; 2" MIN. CAL.; FULL HEAD NURSERY GROWN
	EVERGREEN SHRUB	7 GALLON	AS SHOWN	30	FULL PLANT

**OPTIONS FOR EVERGREEN SHRUB:**  
 -'PURPLE DIAMOND' FRINGE FLOWER / LOROPETALUM CHINENSE 'PURPLE DIAMOND'  
 -'DWARF BURFORD HOLLY' / ILEX CORNUTA 'DWARF BURFORD'  
 -'NELLIE R. STEVENS HOLLY' / ILEX X 'NELLIE R. STEVENS'

**LANDSCAPE PROVIDED**

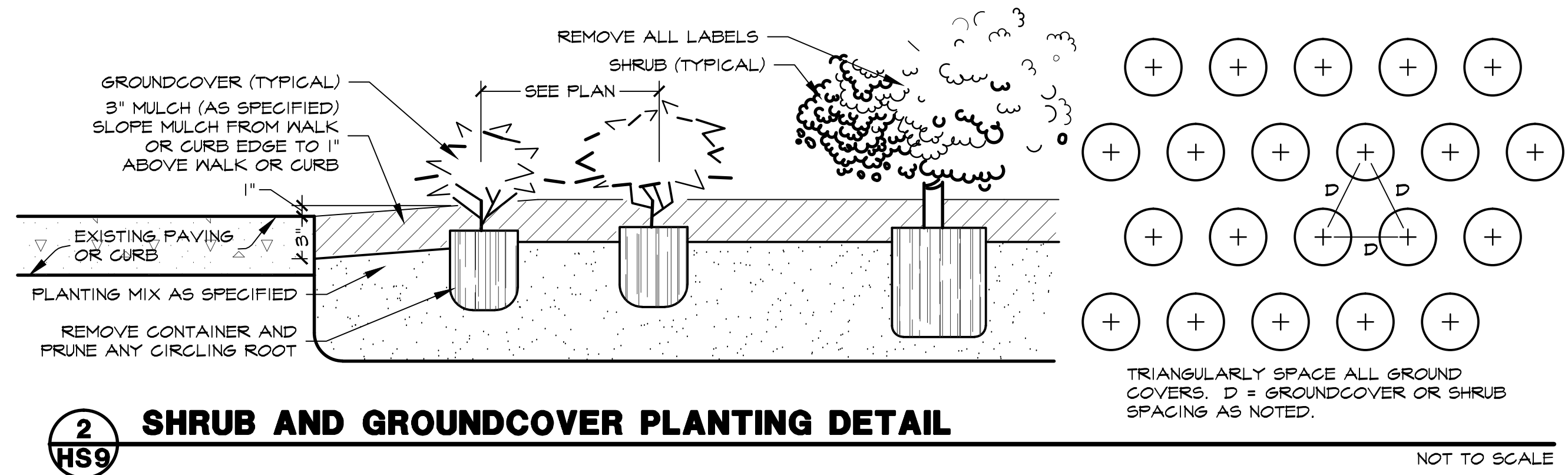
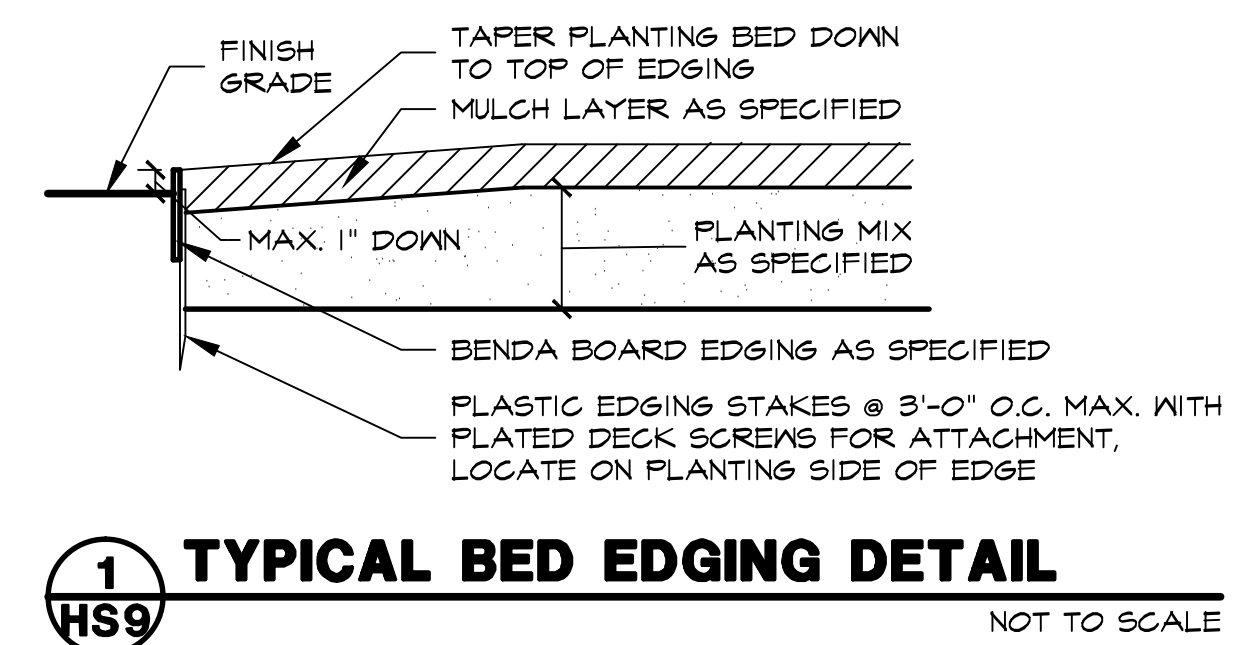
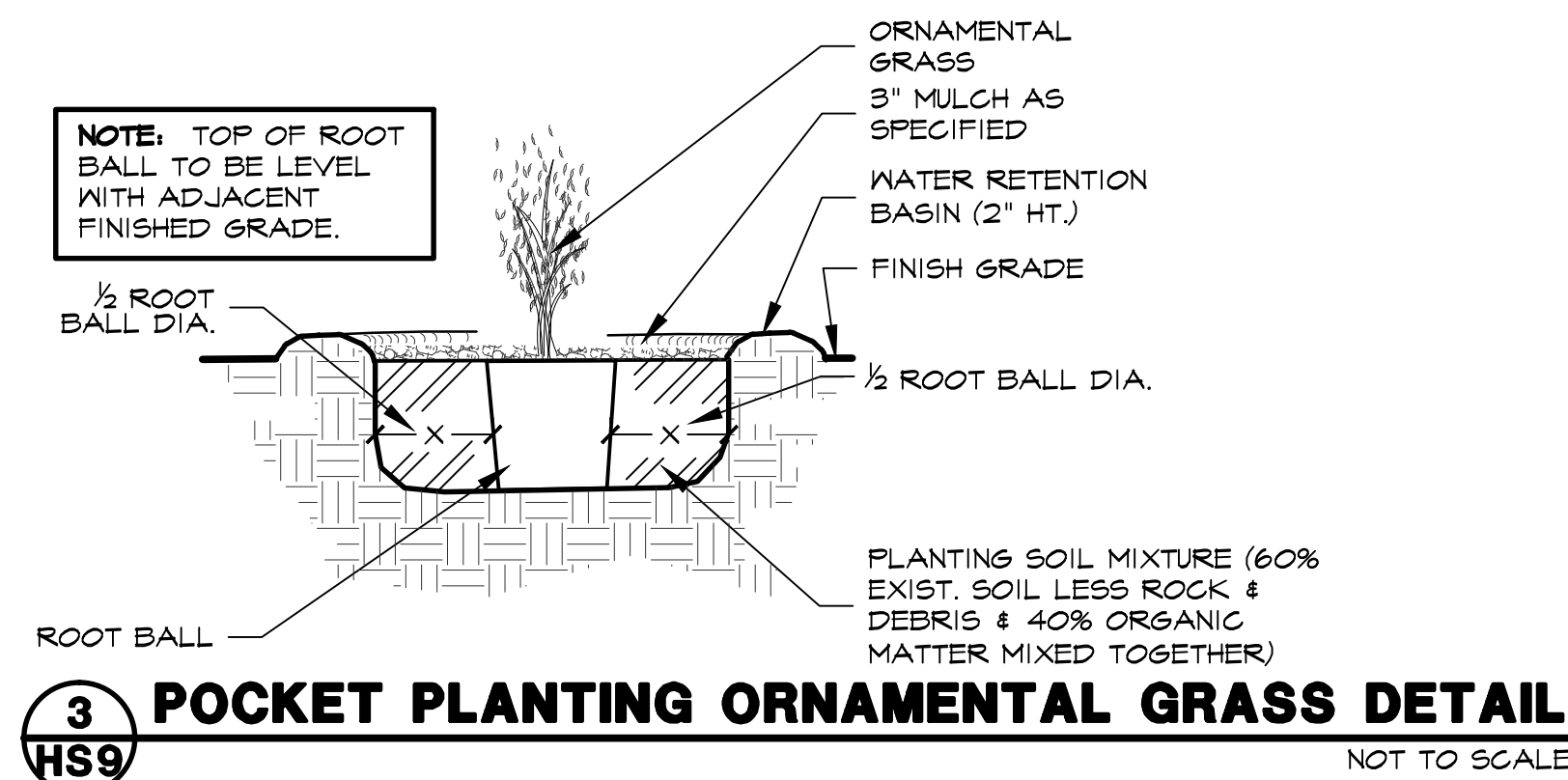
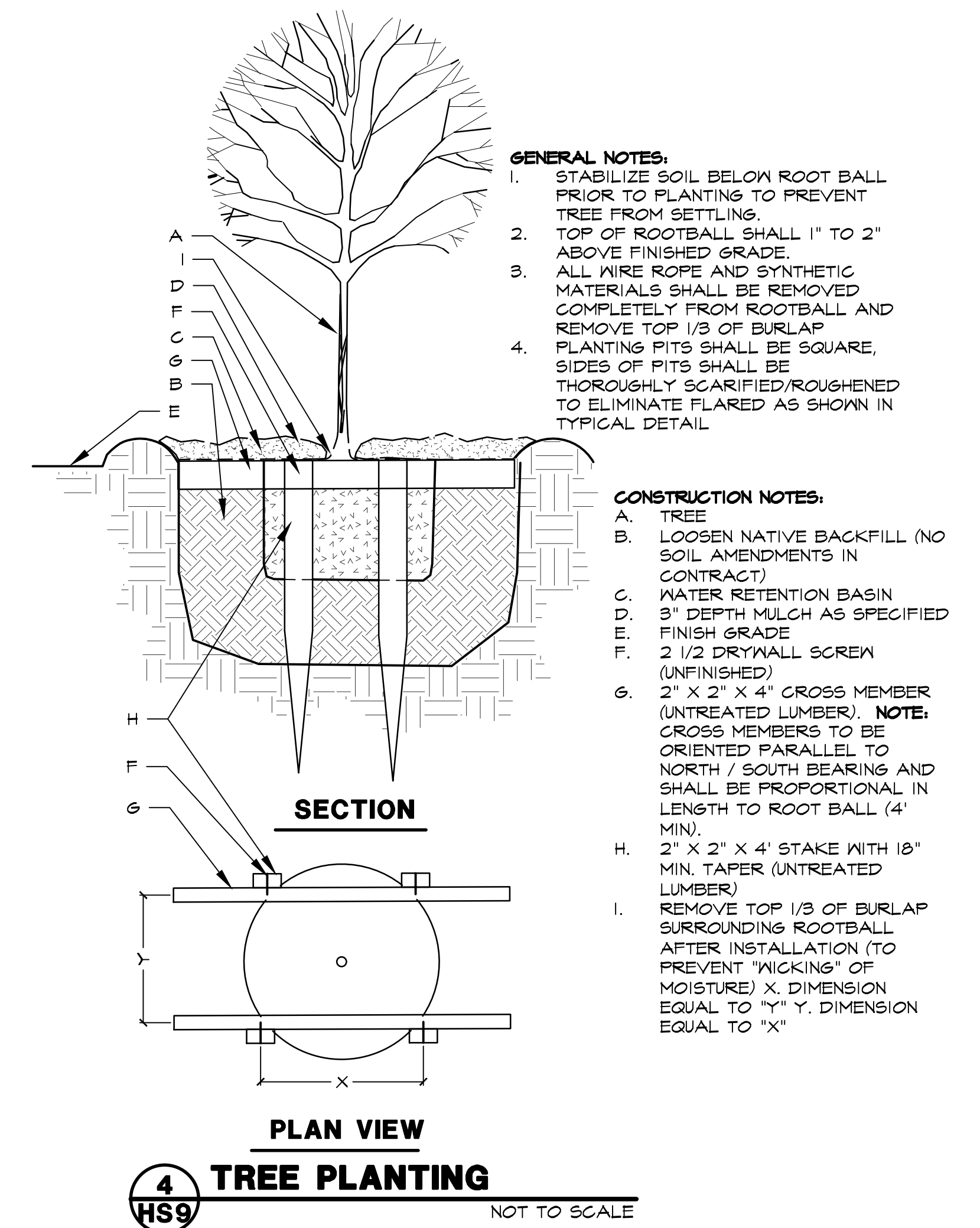
**STREET TREES (T.L. TOWNSEND DRIVE)**  
 REQUIRED:  
 1 - 4" GALIPER TREE PER 50 LF.  
 1,675.00 LINEAR FEET / 30 = 55.83 = 34 - 4" GALIPER TREES REQUIRED

PROVIDED:  
 34 - 4" GALIPER TREES

**STREET TREES (SH 276)**

REQUIRED:  
 3 - 4" GALIPER TREE & 4 - 2" GALIPER TREE PER 100 LF.  
 345 LINEAR FEET / 100 = 3.45 = 4 = 11 - 4" GALIPER TREES & 14 - 2" GALIPER TREES REQUIRED.

PROVIDED:  
 11 - 4" GALIPER TREES & 14 - 2" GALIPER TREES



**A PRELIMINARY LANDSCAPE PLAN OF TOWNSEND VILLAGE OF ROCKWALL 41 PD-10 ZONING**

BEING A 41.551 ACRE TRACT OF LAND LOCATED IN THE N.M. BALLARD SURVEY, ABSTRACT NO. 48 JOSEPH CADLE SURVEY, ABSTRACT NO. 65 SITUATED IN CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**STUDIO 13 DESIGN GROUP**  
 Studio 13 Design Group, PLLC.  
 519 Bennett Lane, Suite 203  
 Lewisville, Texas 75057  
 469-635-1900

Drawing: S:\Projects\LDC028\DWG\_LDC028-HS.dwg Saved By: Audrey Save Time: 12/14/2012 5:20 PM  
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