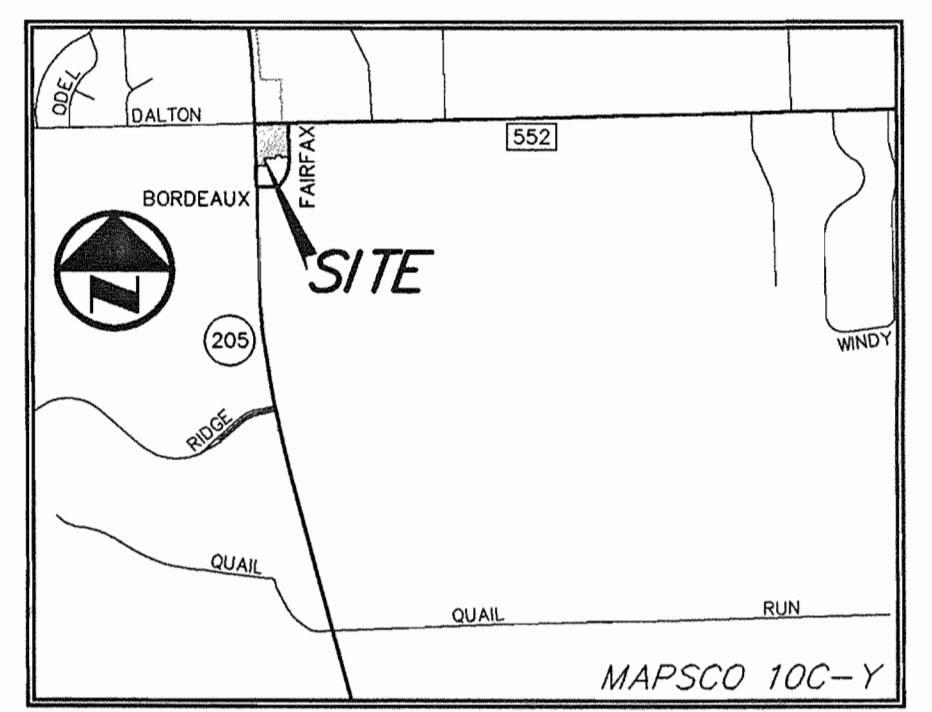
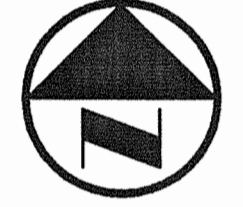


ROLLINGS 12/04/2012 - 5:59PM
 \WORKS\1303-12-073-DIMENSIONAL CONTROL PLAN.DWG
 P. POGUE ENGINEERING & DEVELOPMENT COMPANY, INC.

F.M. 552
(VARIABLE WIDTH PUBLIC R.O.W.)



VICINITY MAP
NOT TO SCALE



GRAPHIC SCALE IN FEET
SCALE: 1" = 20'

LEGEND

- B BOLLARD
- EM ELECTRIC METER
- PP POWER POLE
- LS LIGHT STANDARD
- WM WATER METER
- WV WATER VALVE
- ICV IRRIGATION CONTROL VALVE
- FDH FIRE HYDRANT
- FC FIRE DEPARTMENT CONNECTION
- CO CLEAN OUT
- MH MANHOLE
- GM GAS METER
- TSC TRAFFIC SIGNAL CONTROL
- TSP TRAFFIC SIGNAL POLE
- SN SIGN
- TELE TELEPHONE BOX
- TV TV BOX
- FP FLAG POLE
- L.A. LANDSCAPE AREA
- PROPERTY LINE
- O.H. POWER LINES
- U/G TELE. LINES
- WATER
- U/G WATER LINE
- U/G GAS LINE
- FENCE
- (C.M.) CONTROLLING MONUMENT
- SIR 5/8-INCH IRON ROD WITH "POGUE ENG. & DEV." CAP SET
- SURFACE FLOW DIRECTION

PAVEMENT LEGEND

- STANDARD PAVEMENT
- FIRE LANE PAVEMENT
- DUMPSTER PAD AND APRON

PARKING TABULATION:

PARKING RATIOS:
 RESTAURANT: 1 SPACE / 100 SF
 RETAIL: 1 SPACE / 300 SF

 PROPOSED BUILDING:
 RESTAURANT: 6,812 SF

 REQUIRED PARKING:
 6,812 SF / 100 = 69 SPACES

 PARKING PROVIDED:
 75 REGULAR PARKING SPACES
 4 HANDICAPPED PARKING SPACES
 79 TOTAL PARKING SPACES PROVIDED

Stone Creek Lot 4 Block A		
	Square Feet	Acres
Previous Area	11746.41	0.2697
Impervious Area	40045.47	0.9193
Total	51791.88	1.1890

NOTE:
SITE ELECTRICAL POWER TO BE OBTAINED FROM EXISTING TRANSFORMER ON GAS STATION SITE TO THE SOUTH. REFER TO MEP FOR DETAILS.

NOTE:
OFF-SITE PAVING, GRADING, DRAINAGE, AND EROSION CONTROL IMPROVEMENTS TO BE APPROVED BY ADJACENT PROPERTY OWNER VIA A LETTER OF PERMISSION.

ADA ROUTE
NOTE:
MAXIMUM SLOPE FOR ALL ADA PATHS 5% MAX. CROSS FALL IS 2% FOR THE FIRST FIVE FEET FROM THE DOOR. A 2% SLOPE (MAX.) MUST BE MAINTAINED.

Drainage Area Table / Calculations									
Drainage Area #	Area (Ac)	Tc (Min)	C	I ₁₀₀ Dev.	Q ₁₀₀	Inlet Type	Inlet Size	Inlet Capacity (CFS)	Description
B6	0.434	10.00	0.90	9.20	3.59	PROP. CURB	10'	9.36	PROP INLET - NORTH
D1	1.617	10.00	0.90	9.20	13.38	EXIST. HEADWALL			EXISTING TXDOT HEADWALL
D2	0.679	10.00	0.90	9.20	5.62	PROP. CURB	10'	9.36	PROP INLET - NORTHWEST
D7	0.363	10.00	0.90	9.20	3.01	EXIST. HEADWALL			EXISTING TXDOT HEADWALL

CAUTION!!!
UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG.
TEXAS EXCAVATION SAFETY SYSTEM (TESS) 1-800-344-8377
TEXAS ONE CALL SYSTEMS 1-800-245-4545
LONE STAR NOTIFICATION CENTER 1-800-669-6344 EXT. 5

BEFORE YOU DIG...

BENCH MARK LIST:
BENCHMARK #1
 SQUARE CUT FOUND AT SOUTHWEST CORNER OF WATER VAULT LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF SH 205 AND THE SOUTH RIGHT-OF-WAY LINE OF FM 552.
 ELEVATION = 443.09

BENCHMARK #2
 CITY OF ROCKWALL MONUMENT (R010) FOUND.
 ELEVATION = 524.788

PROJECT INFORMATION
 STONE CREEK RETAIL ADDITION
 BLOCK A, LOT 4, STONE CREEK RETAIL ADDITION
 CITY OF ROCKWALL, TEXAS
 W.T. DEWEESE SURVEY, ABSTRACT NO. 71
 PROPOSED USE: RETAIL
 ZONING: PD-70

OWNER/DEVELOPER
 CRESTVIEW REAL ESTATE, LLC
 15150 PRESTON ROAD, SUITE 210
 DALLAS, TEXAS 75248
 MR. GREY STOGNER
 (214) 343-4477 PHONE
 (214) 340-2029 FAX

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF RANDALL P. POGUE, P.E. 84780 ON 12-05-2012. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

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 FOR INTERIM REVIEW ONLY
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 CONSTRUCTION OR
 BIDDING PURPOSES.
 Engineer: RANDALL P. POGUE, P.E.
 P.E. No.: 84780
 Date: 12-05-2012

POGUE
 ENGINEERING & DEVELOPMENT COMPANY, INC.
 1512 BRAY CENTRAL DRIVE SUITE 100
 MCKINNEY, TEXAS 75069
 TX BOARD PROF. ENGINEERS, CERT. # 000481; TX BOARD PROF. LAND SURVEYING, CERT. 100421-00
 (214) 544-8880 PHONE
 (214) 544-8882 FAX
 www.PogueEngineering.com

SITE PLAN
 STONE CREEK RETAIL ADDITION
 BLK A, LOT 4, STONE CREEK RETAIL ADD'N
 W.T. DEWEESE SURVEY, ABSTRACT NO. 71
 CITY OF ROCKWALL, TEXAS

SHEET NO.
C1.01

ISSUE LOG

NO.	DESCRIPTION	DATE
	SITE PLAN APPROVAL	11/15/12

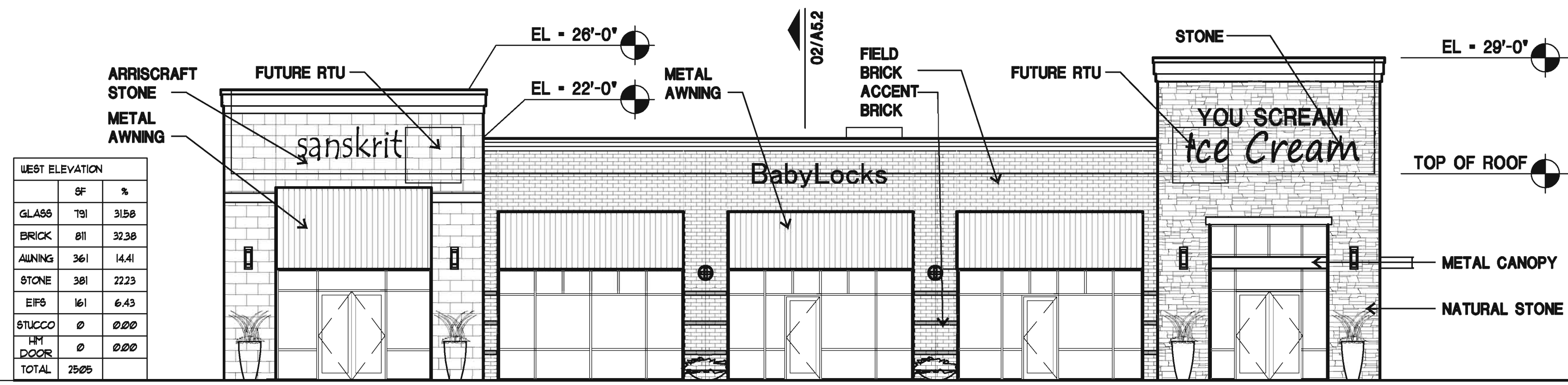
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LISA LESLIE SWIFT
ARCHITECT
REGISTRATION NO. 17645

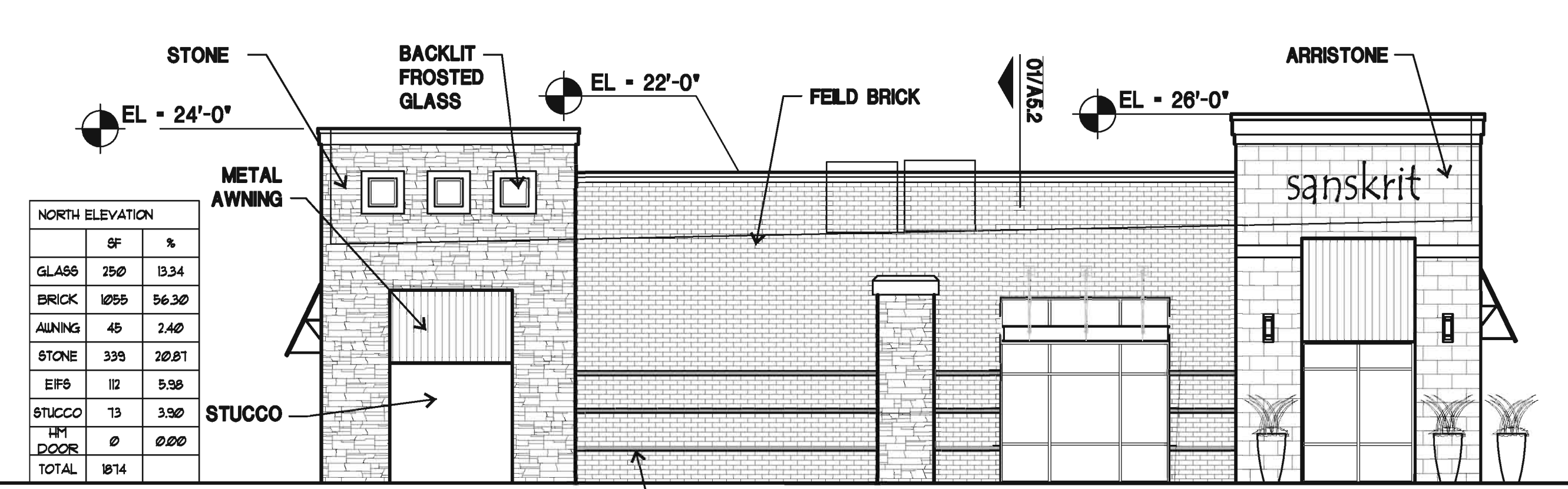
DATE: 11/15/12 SIGNED

JOB NO. : 10-041
DATE: 11/15/12
SCALE: AS NOTED

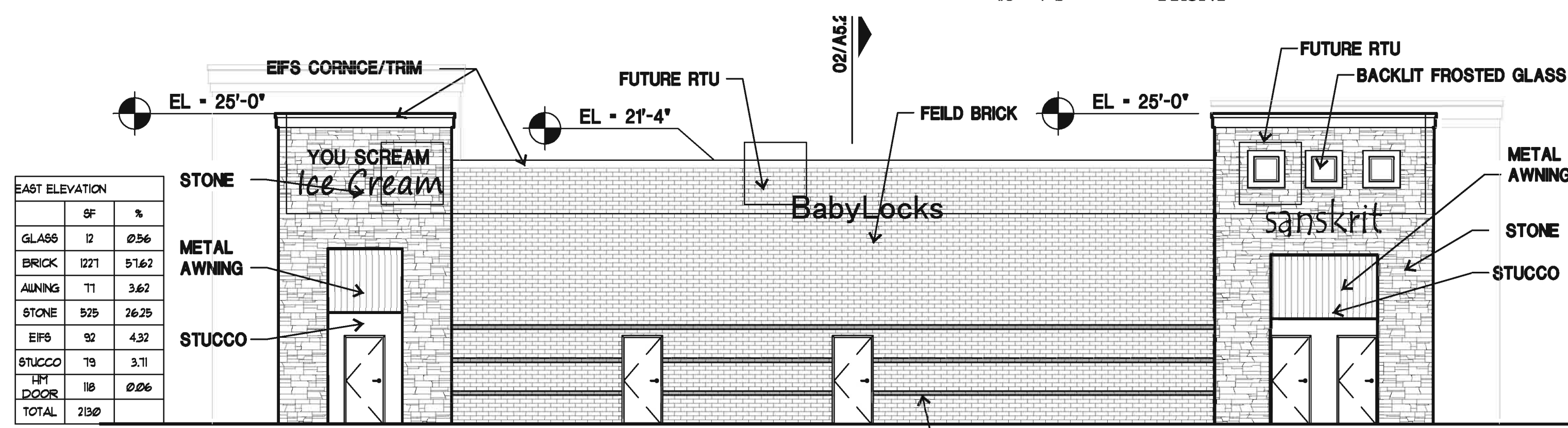
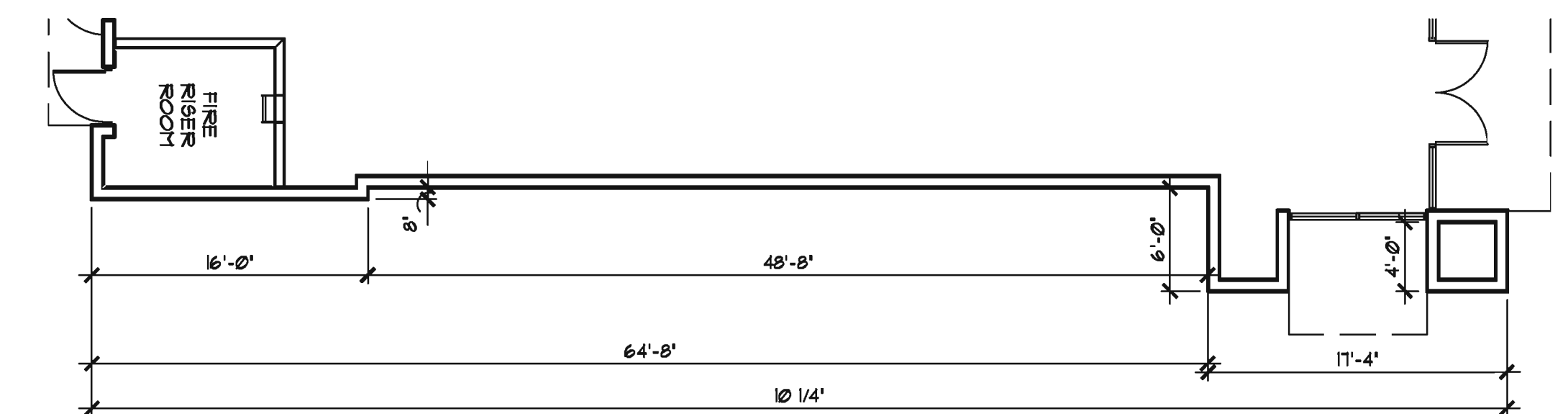
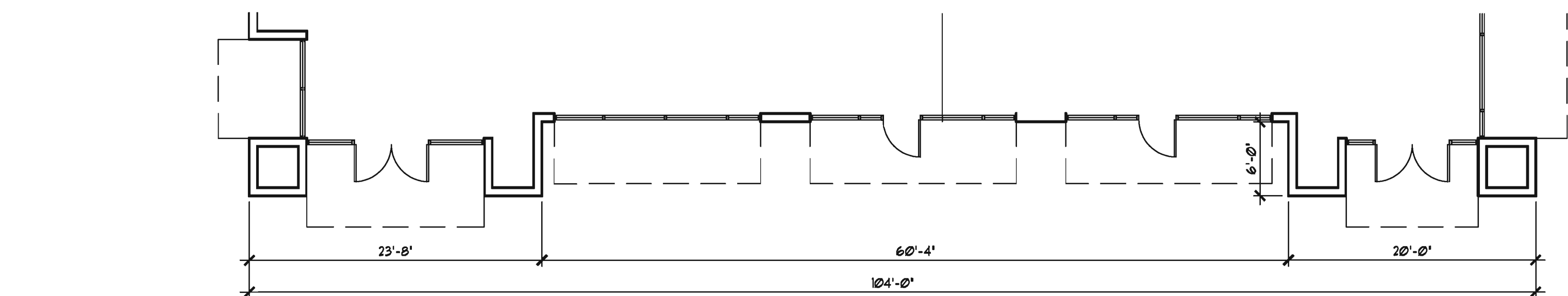
SHEET NO.
A5.1
ELEVATIONS



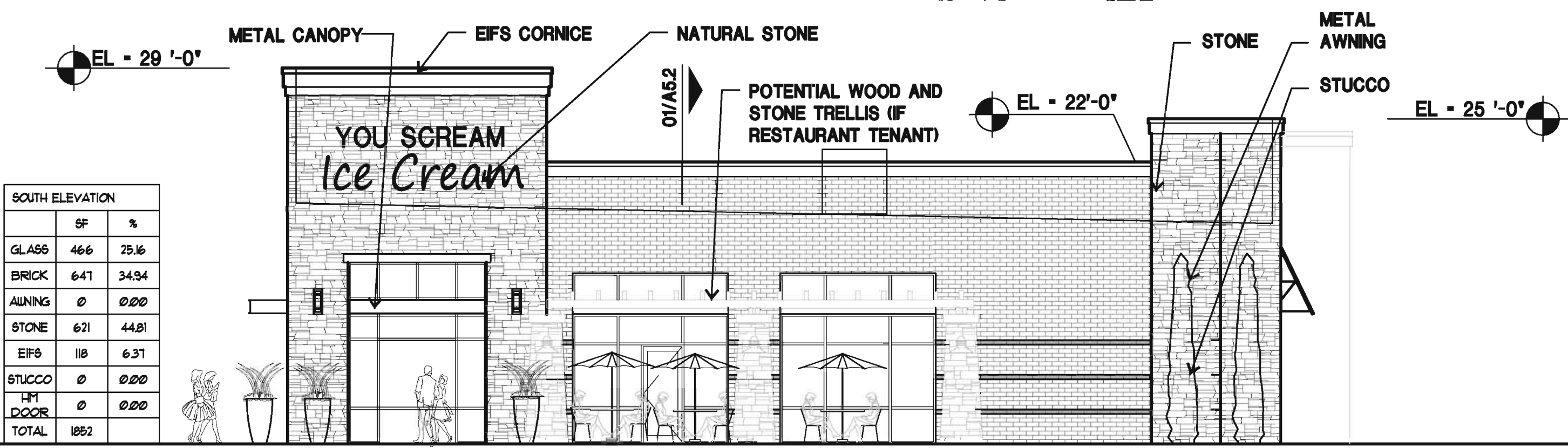
01 WEST ELEVATION
FRONT



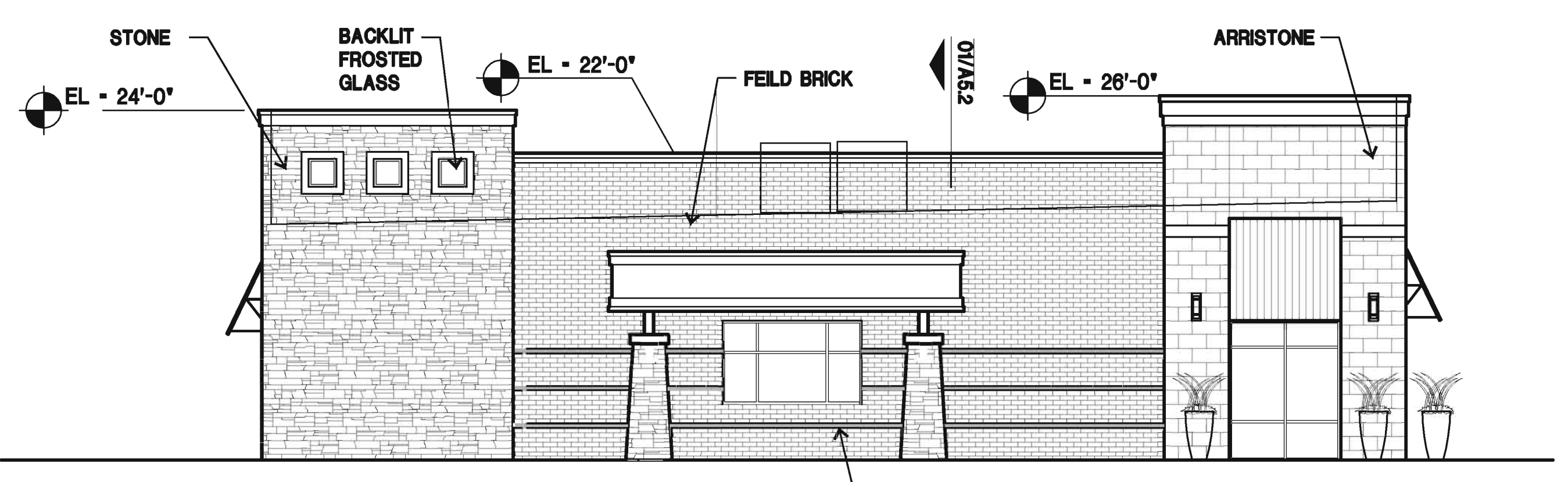
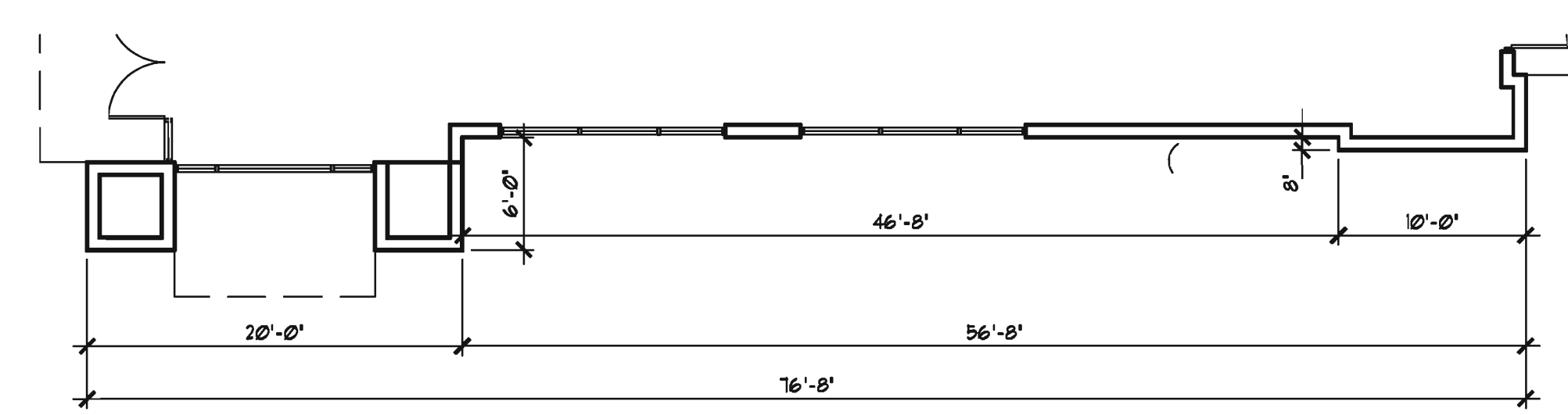
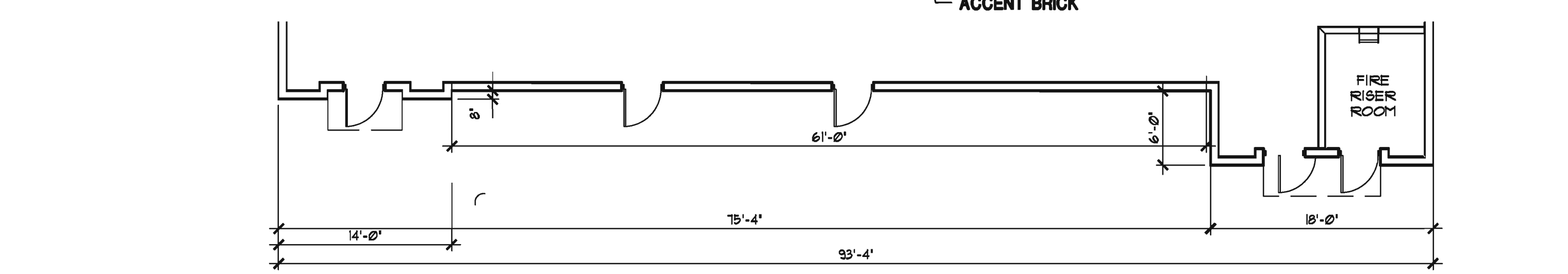
02 NORTH ELEVATION
SIDE



03 EAST ELEVATION
REAR



04 SOUTH ELEVATION
SIDE



05 ALTERNATE NORTH ELEVATION
SIDE

MATERIALS/COLORS:
FIELD BRICK: ENDICOTT COPPERTONE VELOUR
ACCENT BRICK: ENDICOTT EXECUTIVE IRONSPOT SMOOTH
SMOOTH STONE: ARRISCRAFT PECAN
NATURAL STONE: BRIDLEWOOD BLEND
EFS: COLOR TO MATCH SW 7036 ACCESSIBLE BEIGE
STUCCO: COLOR TO MATCH SW 7087 PRACTICAL BEIGE
METAL AWNINGS: BERRIDGE DARK BRONZE
STOREFRONT: DARK BRONZE

ARCHITECTURAL ELEMENTS:
• CANOPIES, AWNINGS
• RECESSES/PROJECTIONS
• ARCHITECTURAL DETAILS
• ARTICULATED CORNICE LINE
• VARIED ROOF HEIGHT
• DISPLAY WINDOWS

OVERALL		
	SF	%
GLASS	1519	
BRICK	3140	55.62
AWNING	483	
STONE	1866	21.75
EFS	483	1.18
STUCCO	152	2.26
MT DOOR	18	
TOTAL	8361	

**STONE CREEK
 RETAIL ADDN
 BLOCK A, LOT 4**
 ROCKWALL, TEXAS
 CRESTVIEW
 DEVELOPMENT

ISSUE LOG

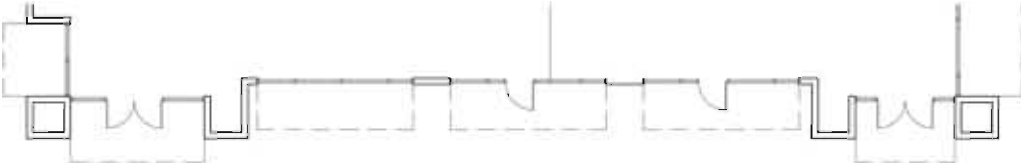
NO.	DESCRIPTION	DATE

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LISA LESLIE SWIFT
 ARCHITECT
 REGISTRATION NO. 17645
 DATE: 11/15/12 SIGNED

JOB NO.: 10-041
 DATE: 11/15/12
 SCALE: AS NOTED

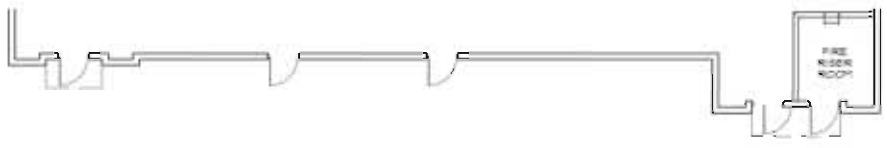
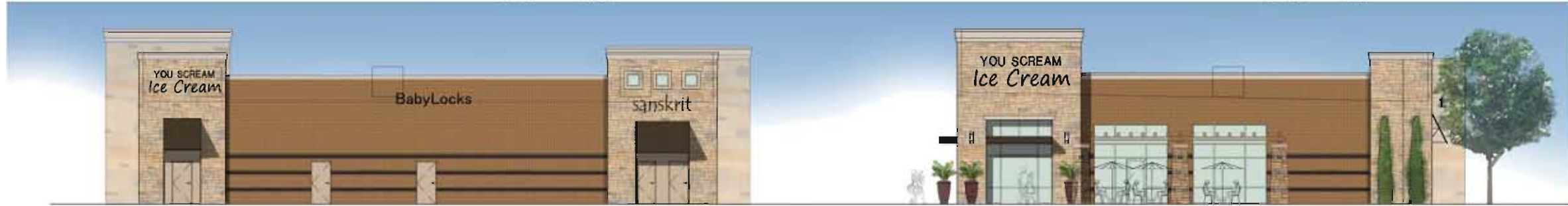
SHEET NO.
A5.1
 ELEVATIONS



01 WEST ELEVATION
 1/8" = 1'-0" FRONT



02 NORTH ELEVATION
 1/8" = 1'-0" SIDE



03 EAST ELEVATION
 1/8" = 1'-0" REAR



04 SOUTH ELEVATION
 1/8" = 1'-0" SIDE



**ALTERNATE
 05 NORTH ELEVATION**
 1/8" = 1'-0" SIDE



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5310 HARVEST HILL ROAD
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DALLAS, TEXAS 75230
(972) 385-9651
FAX: (972) 385-3462

www.GSOarchitects.com

**STONE CREEK
RETAIL ADDN
BLOCK A, LOT 4**
ROCKWALL, TEXAS
CRESTVIEW
DEVELOPMENT

ISSUE LOG

NO.	DESCRIPTION	DATE
	SITE PLAN APPROVAL	11/15/12
	CITY COMMENTS	12/04/12
	OWNER REVISIONS	10/07/13

LANDSCAPE TABULATIONS: LOT 4
SH 205 OVERLAY
SITE REQUIREMENTS (site area 51,791.88 s.f.)
Requirements: 15% site area to be landscaped
maximum reduction to 10% if credits taken

STREET REQUIREMENTS: SH 205 OVERLAY
Requirements: (3) tree 4" cal. per 100 l.f. of frontage and
(4) accent trees, 4" ht. per 100 l.f.

SH 205 Overlay (270.39 l.f.)
Required (8) trees
Provided (9) trees
(11) accent trees

STREET REQUIREMENTS
Requirements: (1) tree 4" cal. per 50 l.f. of frontage

FM 552: (157.89 l.f.)
Required (3) trees
Provided (3) trees

PARKING LOT (80 spaces)
Requirements: (1) tree, 3" cal. per 10 parking spaces for
parking lot over 20,000 s.f.

Required (8) trees, 3" cal.
Provided (7) trees / (1) ex. tree

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smr
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
Tel 214.871.0083
Fax 214.871.0545
Email smr@gsoinc.com



DATE: 10.07.13 SIGNED

JOB NO. : 10-041
DATE: 11/15/12
SCALE:

SHEET NO.
L1.1

LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

GENERAL LAWN NOTES

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom and soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

PLANT LIST

TREES						
QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS	
10	LO	Live Oak	<i>Quercus virginiana</i>	4" cal.	container grown, 15" ht., 5" spread min., 5" clear trunk	
10	CP	Chinese Pistache	<i>Pistachia chinensis</i>	4" cal.	BBB, 15" ht., 5" spread min., 5" clear trunk	
14	CM	Crape Myrtle Red	<i>Lagerstroemia indica 'Red'</i>	8" ht.	container grown, 3-5 cal. no cross caning	
SHRUBS						
QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS	
13	MIS	Miscanthus	<i>Miscanthus sinensis 'Gracillimus'</i>	5 gal.	container grown, full top of container	
40	GM	Gulf Muhly	<i>Muhlenbergia filipes</i>	5 gal.	container grown, full top of container, 36" o.c.	
56	RDR	Red Drift Rose	<i>Rosa sp. 'Red Drift'</i>	3 gal.	container grown, full plant	
60	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burfordii nana'</i>	5 gal.	container, full plant, 24" ht. min. 36" o.c.	
GROUNDCOVERS						
QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS	
		Common Bermudagrass	<i>Cynodon dactylon</i>		solid sod refer to notes	

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

SOLID SOD NOTES

- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

LAWN REPAIR NOTES

- All lawn areas damaged during construction to be repaired with solid sod and raked free of debris.
- Adjust damaged areas to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All areas to be repaired must be planted by hand to cover area completely. Insure edges of sod are touching. Top dress joints by hand with compost to fill voids.
- Roll repaired areas to achieve a smooth, even surface, free from unnatural undulations.

IRRIGATION REPAIR SPECIFICATIONS

- Contractor shall perform site visit prior to bidding and construction, to review extent of existing irrigation system.
- Contractor shall be responsible for verifying conditions of existing irrigation system. Contractor shall be responsible for maintaining the integrity of existing irrigation where possible, and if not, repair as needed, including but not limited to irrigation controller, meter, sleeving, etc.

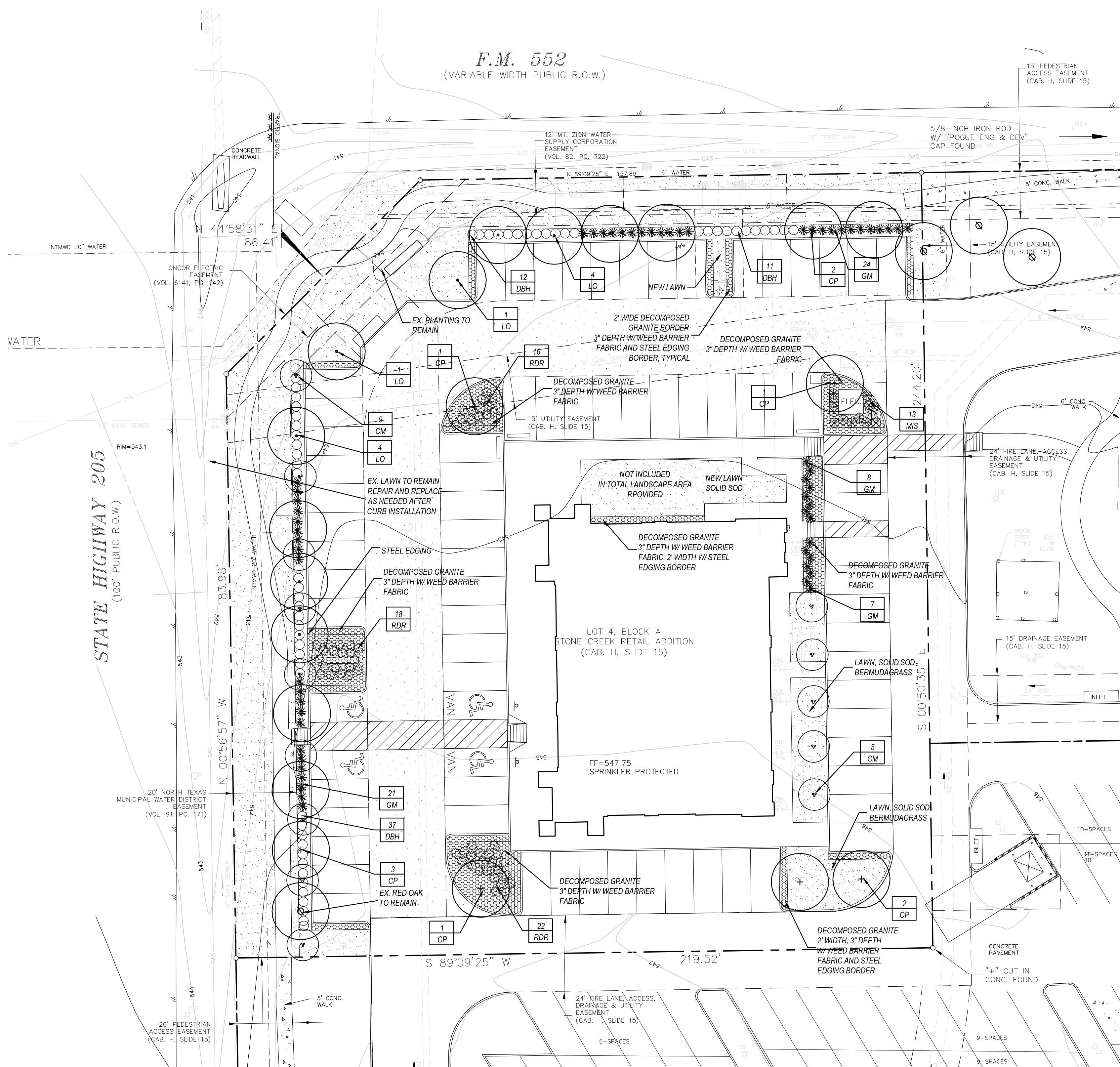
ALL TREES TO BE LOCATED 5' FROM WATER, SEWER AND STORM SEWER LINES

ALL TREES AND SHRUBS TO BE SETBACK 4' FROM ALL HEAD-IN PARKING

Stone Creek Lot 4 Block A		
	Square Feet	Acres
Impervious Area	11746.41	0.2697
Pervious Area	40045.47	0.9193
Total	51791.88	1.1890

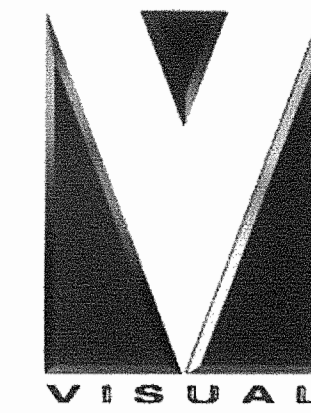
PARKING TABULATION:

PARKING RATIOS:
RESTAURANT: 1 SPACE / 100 SF
RETAIL: 1 SPACE / 300 SF
PROPOSED BUILDING:
RESTAURANT: 6,812 SF
REQUIRED PARKING:
6,812 SF / 100 = 69 SPACES
PARKING PROVIDED:
76 REGULAR PARKING SPACES
4 HANDICAPPED PARKING SPACES
80 TOTAL PARKING SPACES PROVIDED



01 LANDSCAPE PLAN
SCALE: 1" = 20'-0"

**LOT 4, BLOCK A
STONE CREEK RETAIL ADDITION**
AN ADDITION TO THE CITY OF ROCKWALL, TEXAS
AND BEING OUT OF THE
W.T. DEWEESE SURVEY, ABSTRACT No. 71
ROCKWALL COUNTY, TEXAS

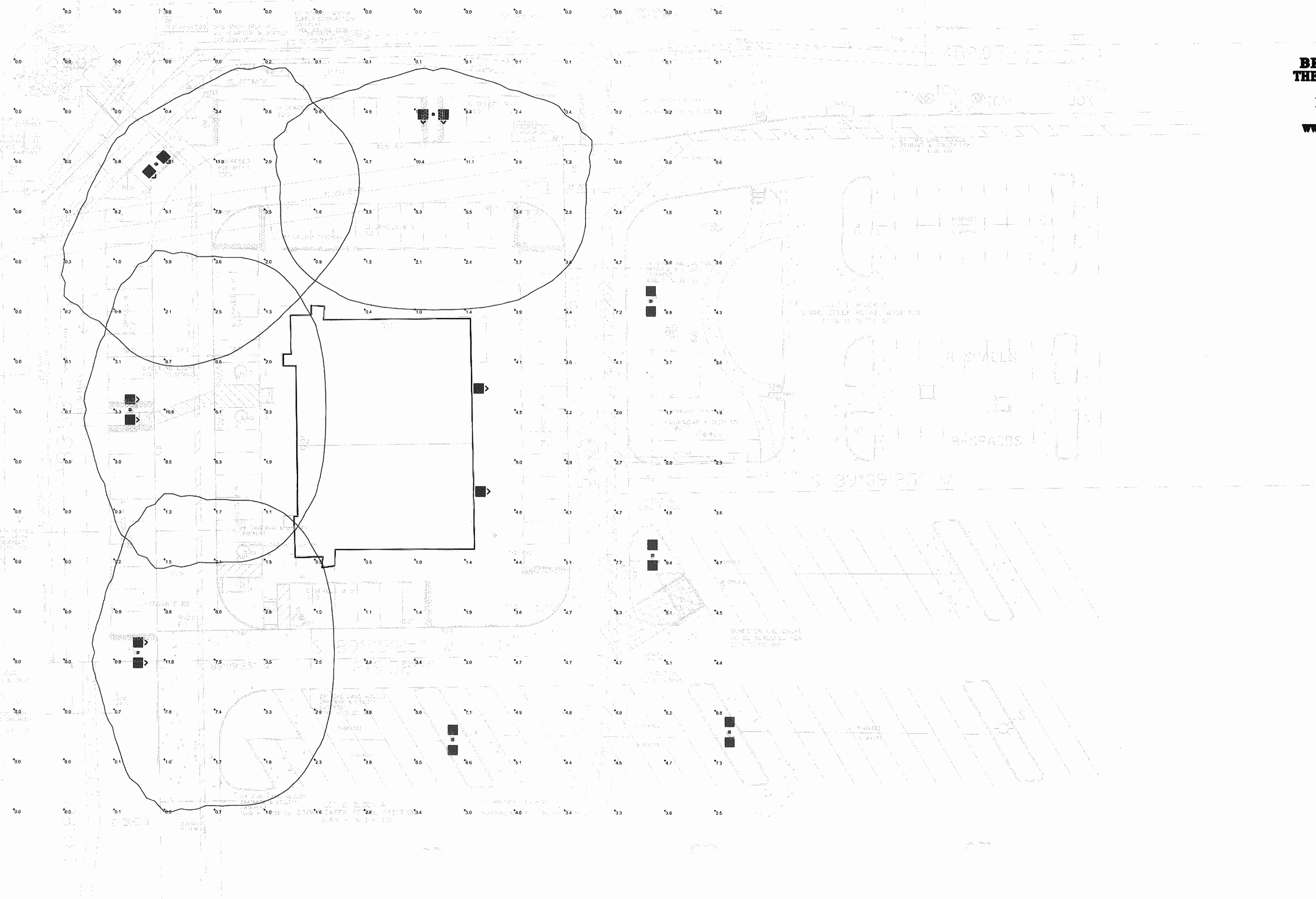


BRYAN JOHNSON
THE LIGHTING ALLIANCE
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 DALLAS, TEXAS 75230
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 FAX: (972) 385-3462
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**STONE CREEK
 RETAIL ADDN
 BLOCK A, LOT 4**
 ROCKWALL, TEXAS
 CRESTVIEW DEVELOPMENT



Foot candle readings are taken at 0'-0" Above Grade.
 Calculations are maintained light levels.
 Pole Heights:
 Type S1B - Fixtures are mounted at 20 foot above finished grade.
 Type S2B - Fixtures existing are mounted at 30 foot above finished grade.
 Type W - Wall mount fixture are shown at 18 foot above finished grade.
 Poles are round tapered aluminum - painted dark bronze.
 Refer to electrical drawings for complete catalog model numbers.

Plan View
 Scale: 1" = 16'

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site Lighting Calculations	+	2.8 fc	15.1 fc	0.0 fc	N/A	N/A

LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens LFP Watts
⊙	S1B	4	LITHONIA - OMIERO MR2 400W SR3 (PULSE START)	Architectural Area Luminaire, 400W Metal Halide, SR3 Sharp Cutoff Reflector. Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION	MR2 400M_S	38000 0.81 912
⊙	S2	4	LITHONIA - OMIERO MR2 400W SR3 (PULSE START)	Architectural Area Luminaire, 400W Metal Halide, SR3 Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION	MR2 400M_S	38000 0.81 912
⊙	WP	2	LITHONIA - OMIERO MR2 250W SR3 (PULSE START)	Architectural Area Luminaire, 250W Metal Halide, SR3 Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 250-WATT ED28 PULSE START METAL HALIDE, HORIZONTAL POS.	MR2 250M_S	25000 0.81 268

ISSUE LOG

NO.	DESCRIPTION	DATE
	SITE PLAN APPROVAL	11/5/12

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DATE: 11/5/12 SIGNED

JOB NO. : 10-041
 DATE: 11/15/12
 SCALE: AS NOTED

SHEET NO.
E1
 PHOTOMETRICS