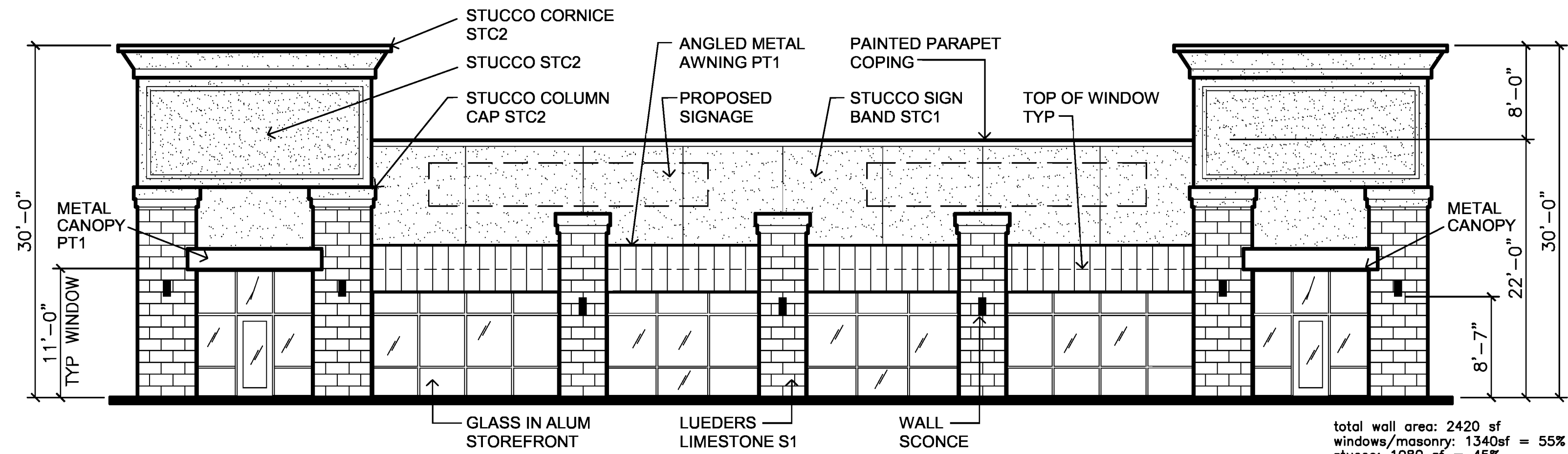


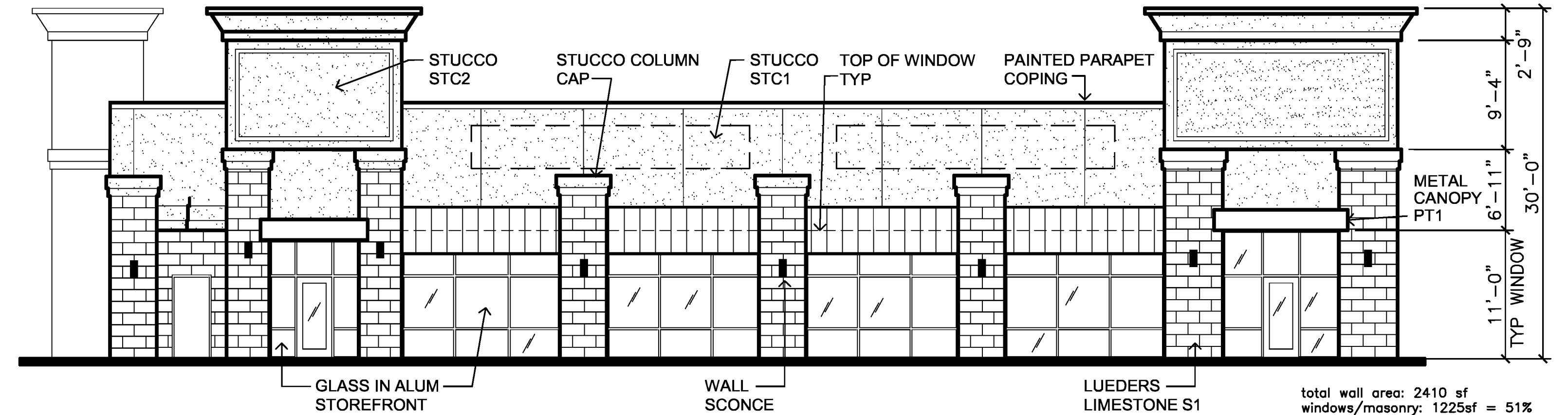
SITE INFORMATION	
LOT AREA	44,309 SF, 1.017 ACRE
BUILDING SQUARE FOOTAGE	1 STORY 11,200 SF
ZONING EXISTING USE	COMMERCIAL, SH205 OVERLAY
BUILDING HEIGHT / 1 STORY	30'-0" @ TOWER, 28'-0" @ PARAPET
BUILDING USE/TYPE	VETERINARIAN & RETAIL
LOT COVERAGE	25.27%
IMPERVIOUS SURFACE	10,193 SQ. FT. (DRIVE & PARKING)
FLAT WORK AT BLDG	3,423 SQ. FT.
PARKING REQUIRED:	1200 SF DEVELOPED SPACE
TOTAL SPACES	11,200 SF / 200 = 56
HANDICAP REQUIRED	3 SPACES
PARKING PROVIDED:	56 SPACES (44 BY SHARED AGREEMENT)
STANDARD SPACES	3 SPACES
HANDICAP ACCESSIBLE	3 SPACES
TOTAL	61 SPACES
LANDSCAPE REQUIRED:	6,646 SQ. FT. (16% TOTAL LOT AREA)
LANDSCAPE PROVIDED:	19,493 SQ. FT.

PROJECT INFORMATION	
PROJECT:	WEBB PLAZA LOT 8, ROCKWALL BUSINESS PARK - EAST SUBDIVISION
OWNER:	PD VET HOSPITAL'S, PLLC 2703 MARKET CENTER DR ROCKWALL, TX 75082
LOCATION:	RALPH HALL PKWY & SH 205 ROCKWALL, TEXAS
ARCHITECT:	MATTHEW KING PH: 469-742-0678
DATE:	OCTOBER 19, 2012 CITY SITE PLAN ISSUE NOVEMBER 7, 2012 CITY COMMENTS



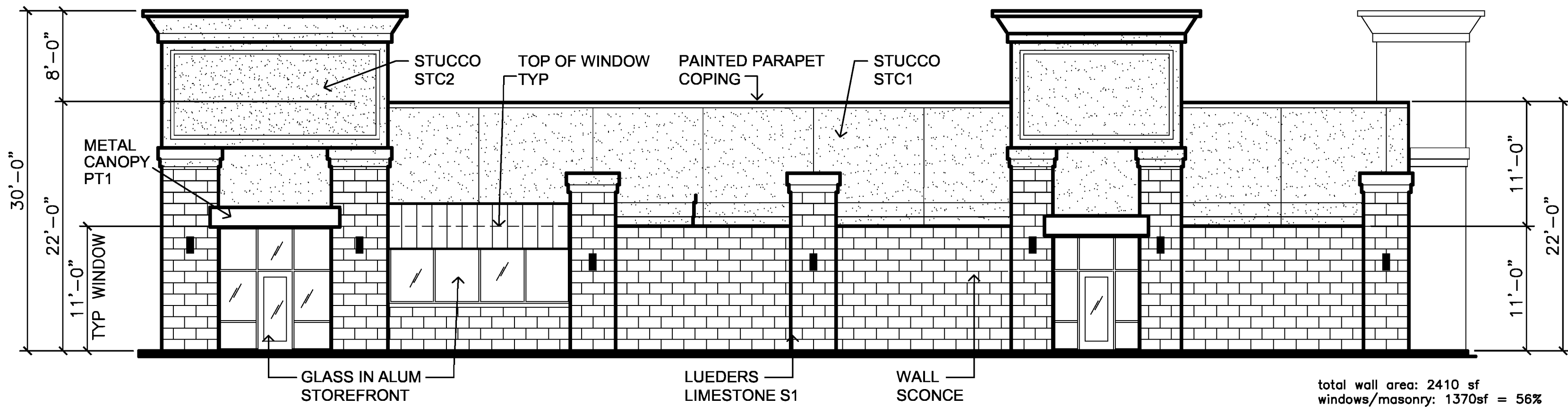
1 east elevation (Hwy 205)
scale: 1/8" = 1'-0"

total wall area: 2420 sf
windows/masonry: 1340sf = 55%
stucco: 1080 sf = 45%



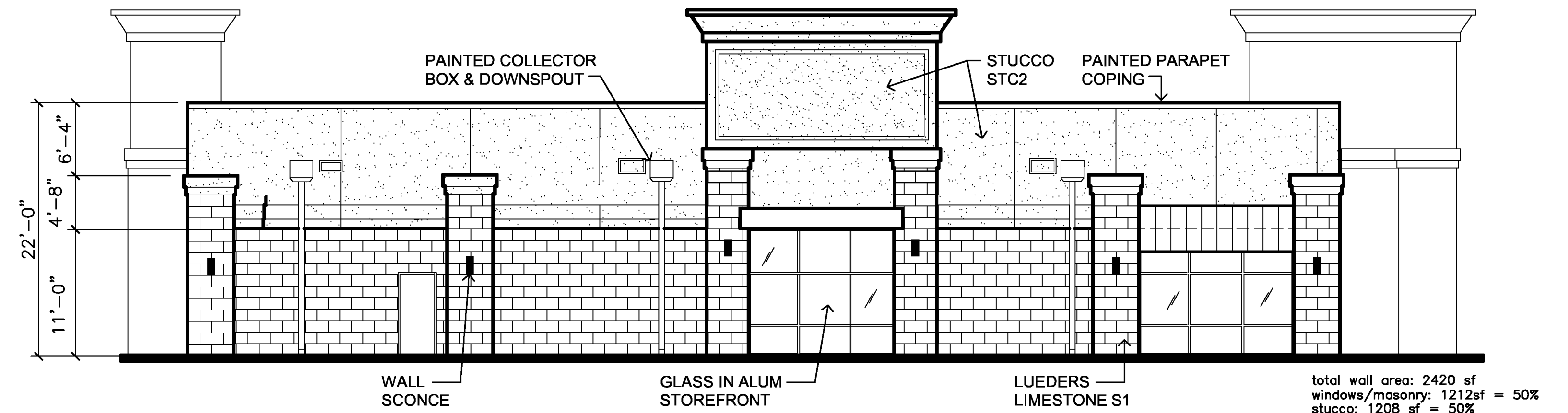
3 south elevation (facing Ralph Hall)
scale: 1/8" = 1'-0"

total wall area: 2410 sf
windows/masonry: 1225sf = 51%
stucco: 1195 sf = 49%



2 north elevation
scale: 1/8" = 1'-0"

total wall area: 2410 sf
windows/masonry: 1370sf = 56%
stucco: 1040 sf = 44%



4 west elevation (facing Belke)
scale: 1/8" = 1'-0"

total wall area: 2420 sf
windows/masonry: 1212sf = 50%
stucco: 1208 sf = 50%

MATERIAL SELECTIONS

- STC1: STUCCO, SPECIFIED PRODUCTS TEJAS BISCUIT #300-171A
- STC2: STUCCO, SPECIFIED PRODUCTS TEJAS IVORY CREME #300-171C
- S1: STONE, SPECIFIED PRODUCTS LUEDERS LIMESTONE
- PT1: PAINT, SHERWIN WILLIAMS #SW 7510 CHATEAU BROWN
- MTL1: METAL PANEL, MUELLER BURNISHED SLATE

NOTES:
ALL ROOF MOUNTED EQUIPMENT MUST BE VISUALLY SCREENED FROM STREET ROW AND ADJACENT PROPERTIES

PROJECT INFORMATION

PROJECT: WEBB PLAZA
LOT 8, ROCKWALL BUSINESS PARK - EAST SUBDIVISION

OWNER: PD VET HOSPITALS, PLLC
2703 MARKET CENTER DR
ROCKWALL, TX 75032

LOCATION: RALPH HALL PKWY & SH 205
ROCKWALL, TEXAS

ARCHITECT: MATTHEW KING
PH: 469-742-0678

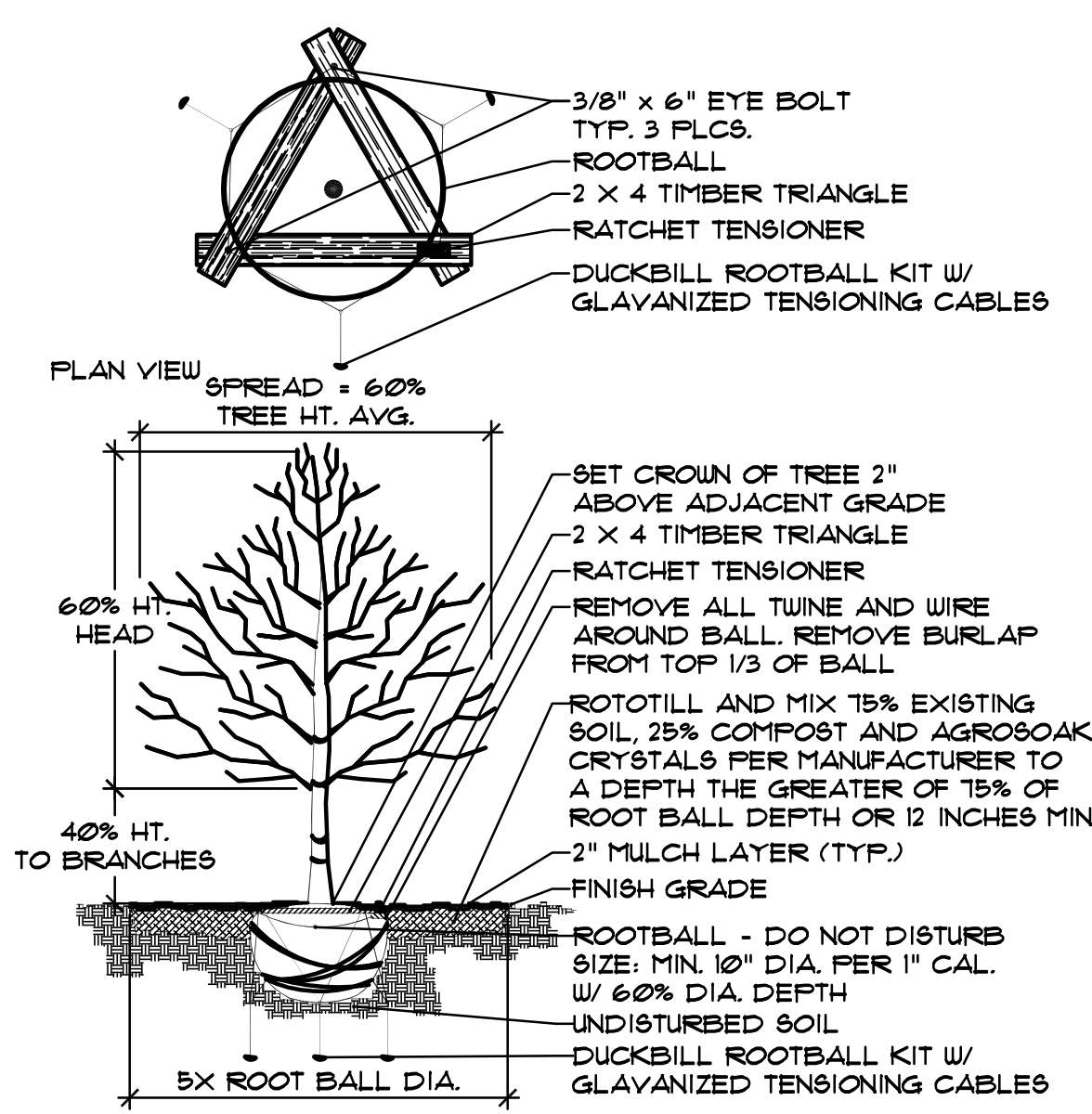
DATE: OCTOBER 19, 2012 CITY SITE PLAN ISSUE
NOVEMBER 7, 2012 CITY COMMENTS
NOVEMBER 8, 2012 CITY COMMENTS

BUILDING ELEVATIONS

PLANT SCHEDULE					
SYM	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	NOTES
Trees					
LE	Ulmus parvifolia sempervirens	Lacebark Elm	6 EA.	4" cal., 12'-14" Ht., 6'-7" Spread	B. & B., Single trunk, Well branched with Central Leader, 6' branching height
LO	Quercus virginiana	Live Oak	6 EA.	#65, 4" cal. Min., 12' Ht. min., 6' Spread min.	Container., Single trunk, Well branched with Central Leader, 6' branching height
RB	Cercis canadensis 'Texana'	Texas Redbud	3 EA.	6" Ht. Min., 3' Spread Min.	B. & B., Single trunk, Well branched with Central Leader, Speciman
Shrubs					
DBH	Ilex cornuta 'Burfordii nana'	Dwarf Burford Holly	49 EA.	#5, 36" min. Ht., 24" min. spread	Container, Well branched full to ground, Speciman, Plant 36" on center
IH	Raphiolepis indica 'Jack Evan'	Indian Hawthorn 'Jack Evans'	39 EA.	#5, 36" min. Ht., 24" min. spread	Container, Well branched full to ground, Speciman, Plant 36" on center
KR	Rosa x 'Radrazz'	Knock Out Rose 'Radrazz'	19 EA.	#5, 36" min. Ht., 24" min. spread	Container, Well branched full to ground, Plant 36" on center
MN	Nandina domestica 'Moonbay'	Moonbay Nandina	29 EA.	#2, 18" min. Ht., 12" min. spread	Container, Well branched full to ground, Plant 30" on center
Misc					
BG	Cynodon dactylon	Bermuda Grass	19,775 Sq. Ft.	Solid Sod	Staggered tight joints, sand filled and rolled
LS	Liriope spicata	Creeping Liriope	315 EA.	4" pot	Full, Plant 12" on center
MP	Ruellia mexicana	Mexican Ruellia	98 EA.	4" pot	Full, Plant 18" on center
SE	Ryerson	Steel Edging	215 Ln. Ft.	1/8" x 4" Green	Staked and set 1" above adjacent paving

Landscape Requirements		
ITEM	REQUIRED	PROVIDED
Landscape Buffer		
10 Ft. Width	Yes	Yes
S.H. 205 Overlay District		
Three (3) 4" cal. Shade Trees per 100 Ln. Ft.	6 Ea.	2 Proposed Lacebark Elm, 1 Live Oak & 2 Existing Lacebark Elm
Four (4) 48" Ornamental Trees per 100 Ln. Ft.	8 Ea.	3 Proposed Redbud & 5 Existing Redbud
Street Landscape		
One 3" cal. Tree per 50 Ln. Ft.		
Ralph Hall Parkway	5 Ea.	4 Proposed Lacebark Elm & 1 Existing Lacebark Elm
Parking Lot Landscape		
1 Tree per 10 parking spaces	6 Ea.	6 Proposed Live Oak
80 ft. max from tree trunk	Yes	Yes
Landscape Area		
15% of Site (44,309 Sq. Ft.)	6,646 Sq. Ft.	27,785 Sq. Ft.
50% of Required Landscape Area in Front Yard	5,539 Sq. Ft.	10,910 Sq. Ft.

- NOTE:**
- One (1) 4" cal. Shade Tree not provided due to existing Pole Sign and 15 Ft. Utility Easement.
 - Two (2) Ornamental Trees installed in lawn area adjacent to building due to existing Pole Sign and 15 Ft. Utility Easement.

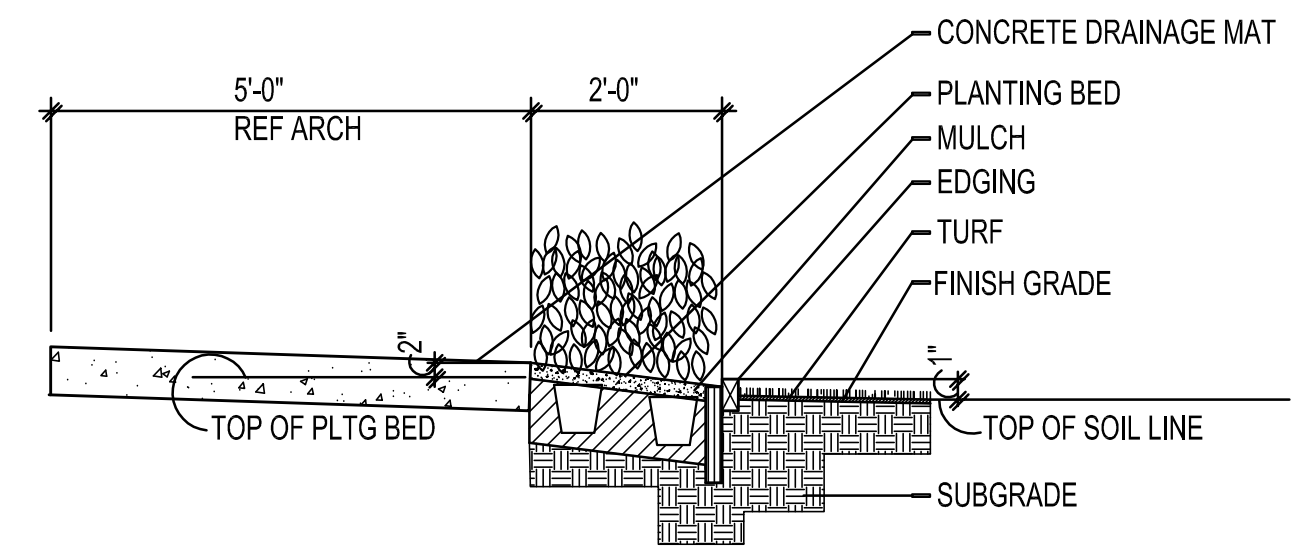


TREE PLANTING DETAIL
 (2 1/2" CAL. OR LARGER)
 USE TWO (2) 8' LONG MIN. STEEL POST W/ GUY WIRES FOR TREES SMALLER THAN 2-1/2" CAL.
 CHECK PERCOLATION RATE. INSTALL TREE SUMP IF UNACCEPTABLE FOR GUARANTEE.
 WRAP RED OAK, LIVE OAK & CADDIS MAPLE TREE TRUNKS W/ BURLAP, STARTING AT BASE OF TRUNK EXTENDING UP TO BOTTOM BRANCHING.

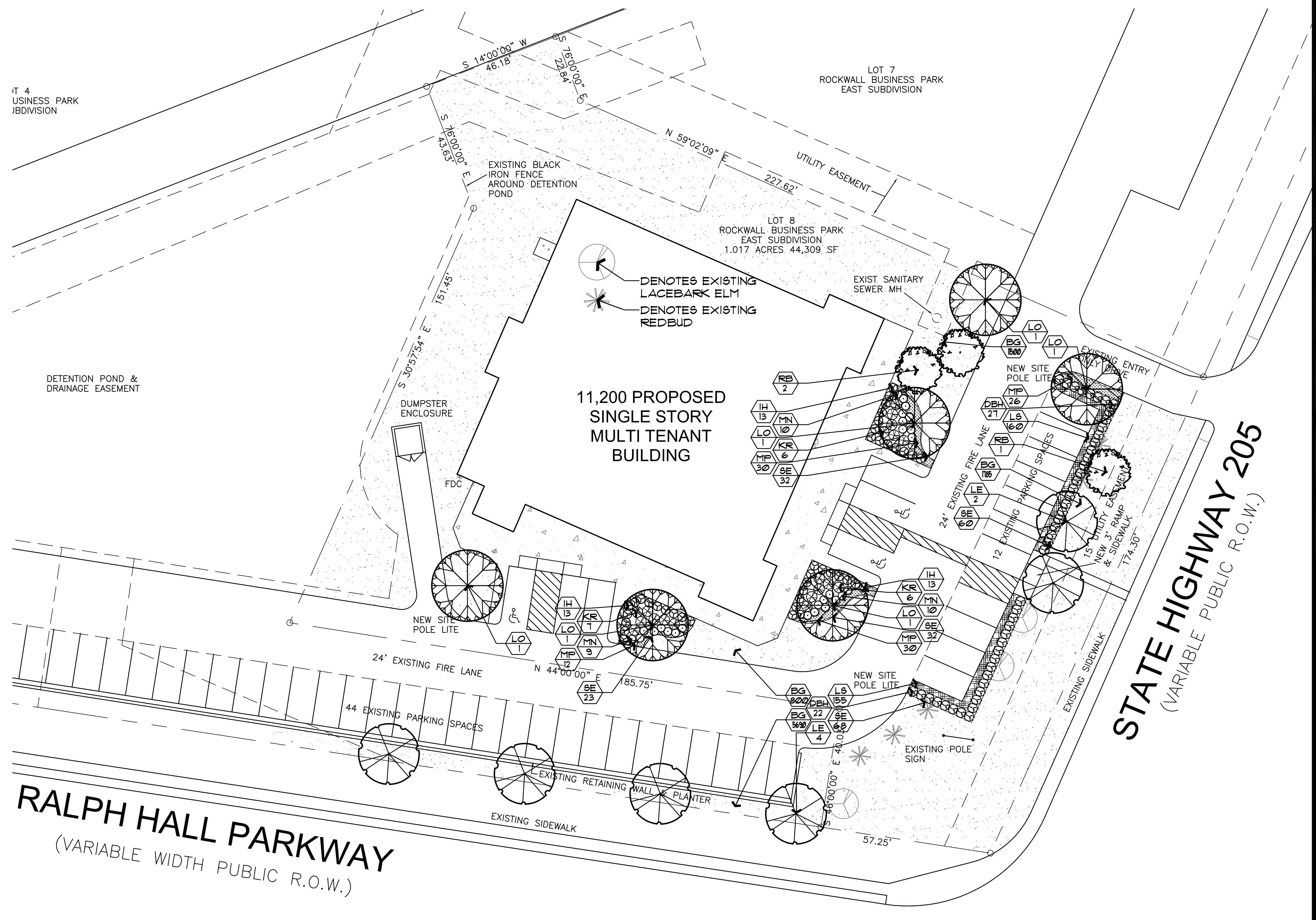
TYPICAL 'TREE PLANTING PIT' BED PREPARATION
 MINIMUMS: USE THE GREATER OF CALIPER OR BALL DIAMETER
 B&B BALLS REQUIRE 10:1 BALL TO CALIPER RATIO MINIMUM
 CONTAINER BALLS MAY BE SMALLER, SO USE CALIPER SIZE

S	B=Sx10	BD=Bx60%	PD=Bx5	CD=TDx25%	TD=BDx75%
Tree Size	Min. Root Ball Dia.	Min. Root Ball Depth	Tree Pit Diameter	Compost Min. Depth	Tree Pit Tilling Depth
Caliper Inch	Ball Dia.	Ball Depth	Diameter	Min. Depth	Tilling Depth
* BELOW ARE TYPICAL EXAMPLES TO AID IN CALCULATIONS FOR OTHER SIZES					
S = 3"	B = 30"	BD = 18"	PD = 150"	CD = 3.75"	TD = 13.5"
S = 6"	B = 60"	BD = 36"	PD = 300"	CD = 6.75"	TD = 27"

- PLANTING NOTES:**
- Submit a construction schedule of work to be approved by Landscape Architect and Owner. Failure to submit schedule may result in Landscape Architect stopping construction until submitted. No extensions of time will be considered for failure to promptly submit schedule.
 - Notify Landscape Architect 48 hours in advance of commencement of work to coordinate project inspection schedules.
 - Locate existing underground utilities and obstructions prior to commencing work. Repair damage to utilities resulting from the installation of the work at no additional cost to Owner.
 - Notify Landscape Architect immediately upon encountering any unknown obstructions, grade differences or conditions not indicated on drawings. Make necessary revisions as required to conform to plans and specifications due to failure to give such notification.
 - Coordinate with other trades and subcontractors as required to accomplish the planting operation.
 - Plant material shall be tagged or approved at site by Landscape Architect prior to installation. Install plant material free of pest and diseases. Guarantee plant material for a period of 365 calendar days from date of issuance of final acceptance by Landscape Architect.
 - Layout proposed planting beds and receive Landscape Architect's approval prior to installation. Notify Landscape Architect of layout conflicts. Failure to notify Landscape Architect will result in Contractor's liability to relocate materials at no additional expense to Owner.
 - Excavate bed areas to a depth of 4 inches, backfill with 4 inches of Acid Gro Complete mix as manufacture by Soil Building Systems and rototill to a depth of 12 inches producing a homogeneous mixture.
 - Final locations of plant material shall be subject to approval by Landscape Architect. Install groundcover 12 inches from the edge of shrubs and tree root balls and 4 inches from edge of paving, walls and other structures.
 - Backfill tree and shrub pits with one part compost as manufactured by Soil Building Systems and two parts existing soil.
 - Stake tree locations and acquire written approval from Landscape Architect prior to installation of irrigation system. Do not locate tree(s) within 10 feet of any irrigation rotary spray head. Install tree(s) in areas covered by irrigation system. Provide supplemental watering as required until final acceptance by Landscape Architect. Locate tree(s) 4 feet minimum from walls, headers, property lines and other trees within project. Notify Landscape Architect of location conflicts for resolution. Failure to notify Landscape Architect will result in Contractor's liability to relocate trees at no additional expense to Owner.
 - Stake tree(s) immediately upon installation and within same day as planted.
 - Mulch planting beds and tree pits with shredded hardwood mulch.
 - Provide full service maintenance of landscape within project scope for a period of four (4) months, 120 calendar days, from date of issuance of final acceptance by Landscape Architect. Failure to properly maintain landscape and irrigation system will result in extending the guarantee and maintenance period at no additional expense to Owner.
 - All landscape areas to be watered by an automatic landscape irrigation system.

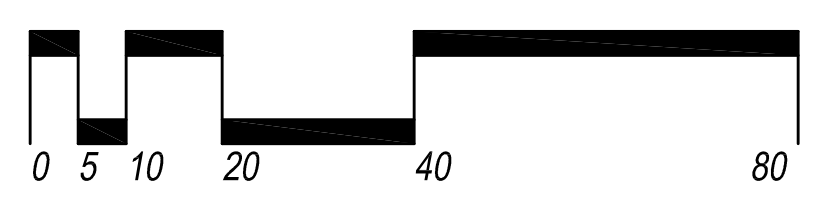


TYPICAL PLANTING BED SECTION
 SCALE: NONE



RALPH HALL PARKWAY
 (VARIABLE WIDTH PUBLIC R.O.W.)

STATE HIGHWAY 205
 (VARIABLE PUBLIC R.O.W.)

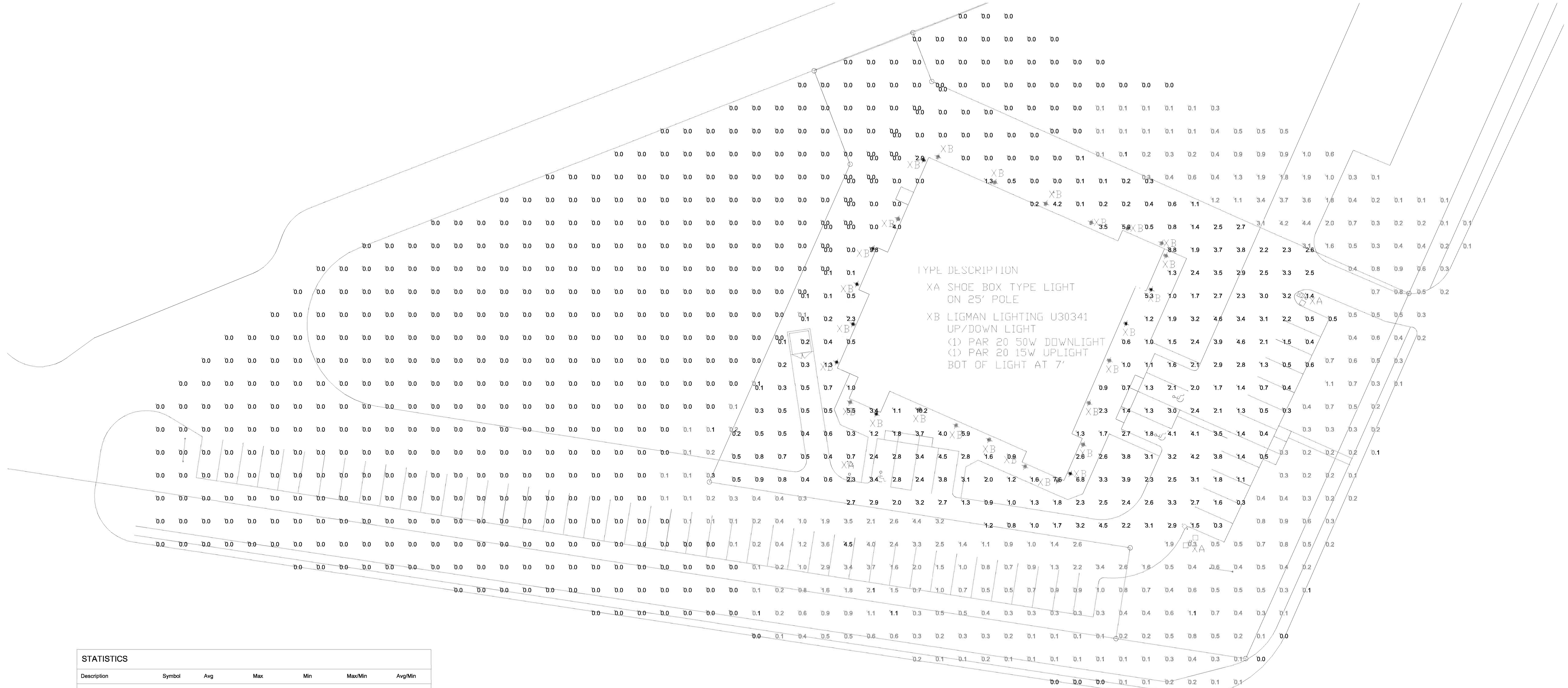


LANDSCAPE PLAN
 SCALE: 1" = 20'-0"

PROJECT NAME: WEBB PLAZA
 PROJECT NUMBER: 12-041
 REVISIONS:
 CITY COMMENTS 11/02/12

WEBB PLAZA
 RALPH HALL PKWY AT SH 205
 ROCKWALL, TEXAS

REGISTERED LANDSCAPE ARCHITECT
 STATE OF TEXAS
 1426
 11/02/2012
 PROJECT NAME: WEBB PLAZA
 LOT 8
 ROCKWALL
 BUSINESS PARK
 EAST SUBDIVISION
 ROCKWALL, TEXAS
 RICKY D. PETTY
 LANDSCAPE ARCHITECT
 7720 ALTO CARO DRIVE
 DALLAS, TEXAS 75248
 PHONE: (214) 543-5265
 e-mail: rdpetty@tx.rr.com
 TITLE: LANDSCAPE PLAN
 DATE: OCTOBER 19, 2012
 SCALE: 1" = 20'-0"
 SHEET: L-1

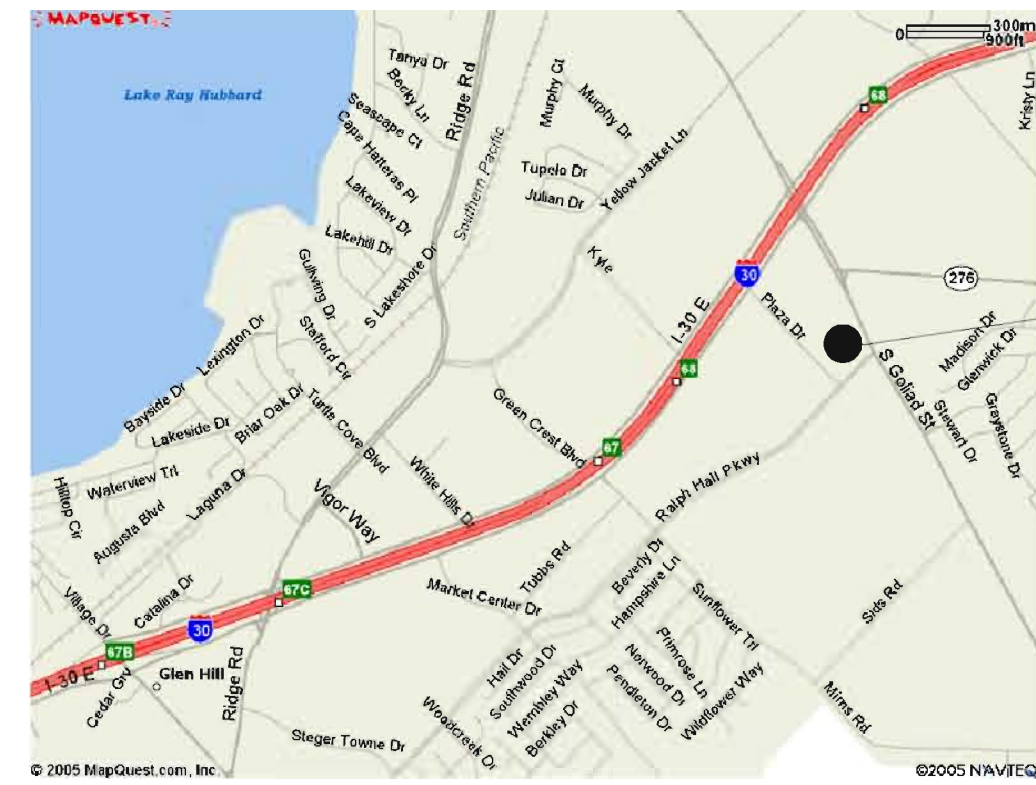


TYPE DESCRIPTION
 XA SHOE BOX TYPE LIGHT
 ON 25' POLE
 XB LIGMAN LIGHTING U30341
 UP/DOWN LIGHT
 (1) PAR 20 50W DOWNLIGHT
 (1) PAR 20 15W UPLIGHT
 BOT OF LIGHT AT 7'

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
At Grade	+	1.8 fc	13.6 fc	0.0 fc	N/A	N/A
Perimeter at Grade	+	0.3 fc	4.5 fc	0.0 fc	N/A	N/A

north
 1 lighting photometric plan
 1" = 20'

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
○	XB/UD	52	Ligman U30431 Down Component and Up Component			CAS_BAR_75P AR30LN_WPL ies	550	0.86	50
⊕	XA	3	Visionaire ZAME-2 T4-400PS-LS mounted at 27.5ft AFG	19"SQ. X 12-14"H. OUTDOOR LIGHTING FIXTURE TYPE IV SEGMENTED SPECULAR REFL. AND HAMMERTONE REFL. ON THE TOP FLAT TEMPERED GLASS LENS SCOOP SHAPE HOUSE SIDE SHIELD		ame- 2_T4_400_p_ls ies	44000	0.72	452



2 location map
 nts

PROJECT INFORMATION

PROJECT: WEBB PLAZA
 LOT 8, ROCKWALL BUSINESS PARK - EAST SUBDIVISION

OWNER: PD VET HOSPITALS, PLLC
 2703 MARKET CENTER DR
 ROCKWALL, TX 75032

LOCATION: RALPH HALL PKWY & SH 205
 ROCKWALL, TEXAS

ARCHITECT: MATTHEW KING
 PH: 469-742-0678

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LIGHTING PHOTOMETRIC