

SITE INFORMATION

LOT COVERAGE (MAX 60%) = (10,943+6,645)/92060 = 19.1%
 IMPERVIOUS AREA (MAX 90%) = 65,688/92,060 = 71.4%
 FLOOR TO AIR RATIO (4:1 MAX) = 19.1%
 LANDSCAPE AREA = 26,372/92,060 = 28.6%

HEIGHT OF PROP. STRUCTURES: 27'
 PROP USE OF STRUCTURES: SHELL SPACE FOR GENERAL COMMERCIAL
 PARKING REQ: 1/250SF = 71 SPACES
 PARKING PROP = 86 SPACES

SITE SETBACK PER 'C' ZONING

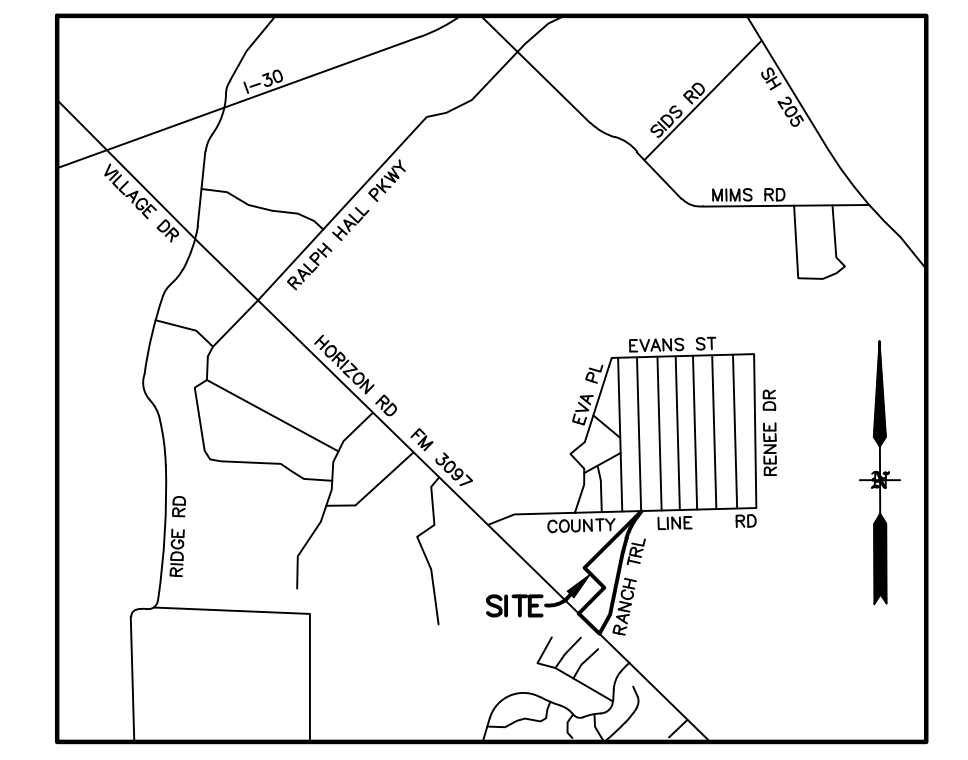
FRONT: 15'
 SIDE: 0' IF BUILDINGS ARE CONST WITH FIREWALLS
 REAR: 0' IF ABUTTING NON-RESIDENTIAL WITH FIREWALL

NOTE: FIRE LANE PAVEMENT IS TO BE A MINIMUM OF 6" 3600 PSI CONCRETE
 6 SAC MIX FOR MACHINE PLACED
 6.5 SAC MIX FOR HAND PLACED

LSA - LANDSCAPE AREA

ARCHITECT
VIOSCA ARCHITECTS
 DAVID VIOSCA
 8000 WARREN DR.
 BLDG. 1 STE. 100
 FRISCO, TX 75034
 (214) 618-3376

OWNER/DEVELOPER
JERRY KISSICK CUSTOM HOMES
 17223 CLUB HILL DRIVE
 DALLAS, TX 75248
 (972) 380-9012



VICINITY MAP
 N.T.S.

BENCHMARK:
 ROCKWALL MONUMENT "RESET #1" 3" BRASS DISK FOUND AT FM 740 (RIDGE ROAD) AND SUMMER LEE DRIVE NEAR THE NORTH WEST CORNER OF THE PARKING LOT FOR THE COMMUNITY BANK.
 NORTHING: 7011544.252 EASTING: 2590135.160
 ELEVATION: 567.704
 BASED ON NAD-83 TX, STATE PLANE, NORTH CENTRAL ZONE

ENGINEERINGCONCEPTS & DESIGN, L.P.

ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145
 201 WINDCO CIR, STE 200, WYLIE, TX 75098
 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

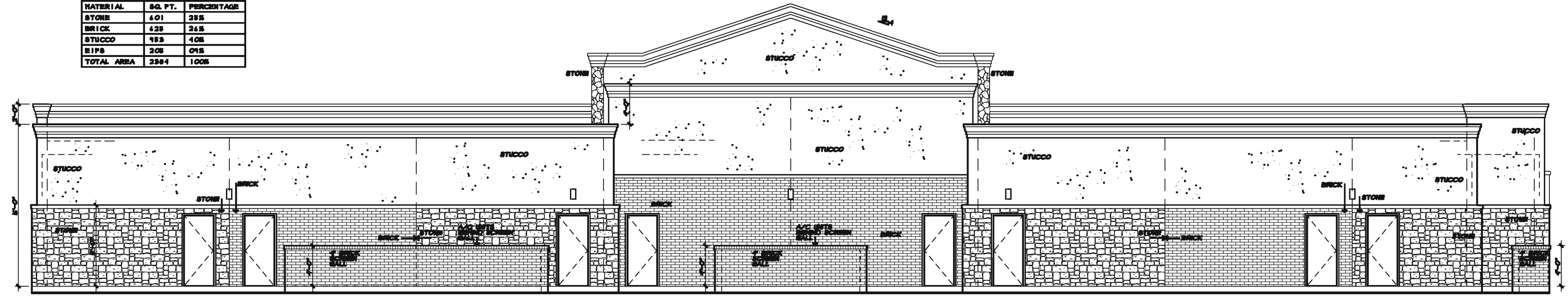
REVISIONS:	
DRAWN: JMK	DATE: 4-9-12
CHECKED: TW	DATE: 4-9-12
PROJECT NO.: 05210	
DWG FILE NAME: 5210 SITE PLAN.DWG	

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SITE PLAN
RANCH TRAIL RETAIL CENTER
LOT 6, BLOCK A, MAVERICK RANCH
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

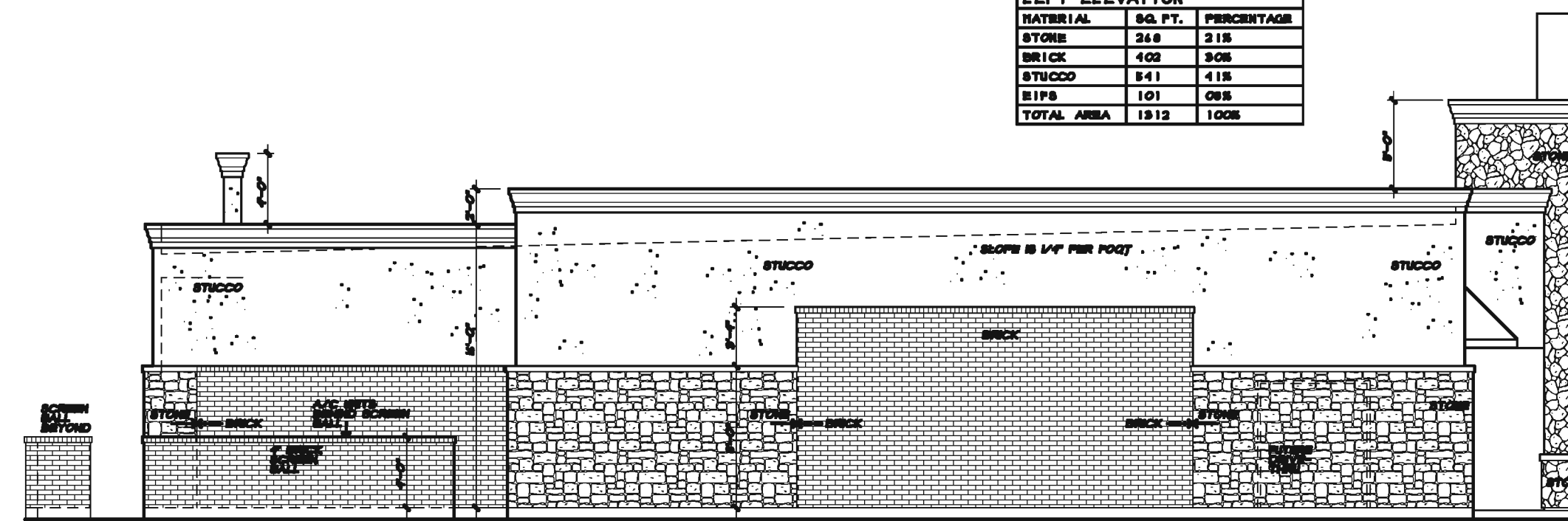
SHEET
 1
 OF
 1

REAR ELEVATION		
MATERIAL	SQ. FT.	PERCENTAGE
STONE	201	23%
BRICK	439	24%
STUCCO	499	28%
RIPS	206	25%
TOTAL AREA	2365	100%



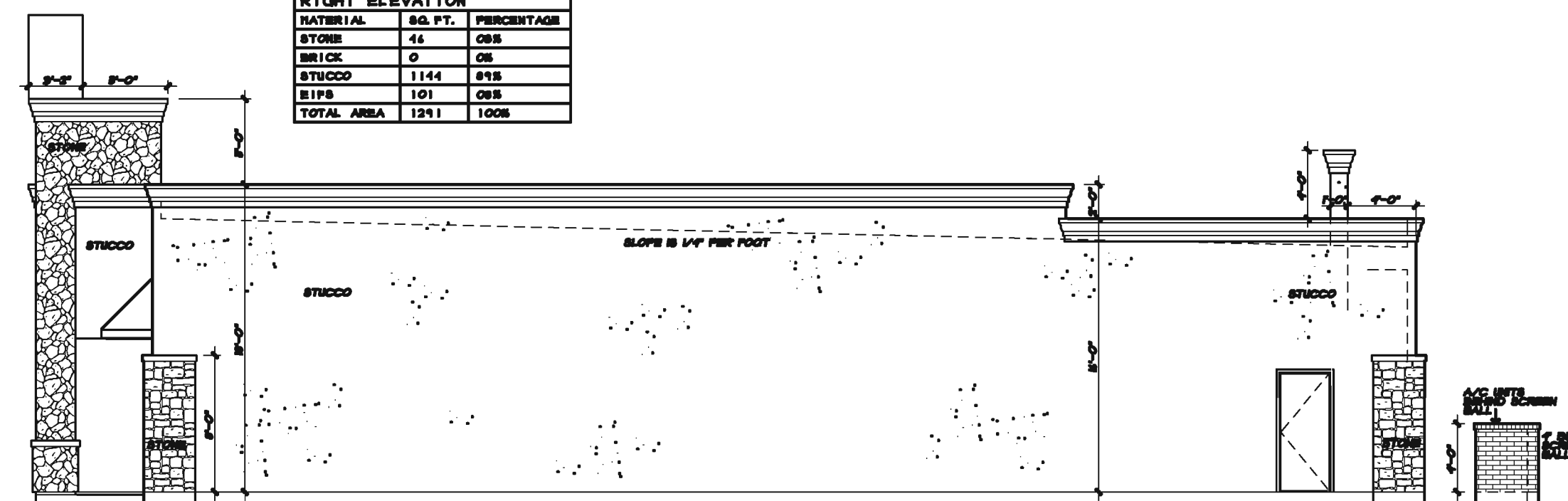
Rear Elevation
1/8" = 1'-0"

LEFT ELEVATION		
MATERIAL	SQ. FT.	PERCENTAGE
STONE	249	21%
BRICK	409	30%
STUCCO	841	41%
RIPS	101	8%
TOTAL AREA	1600	100%



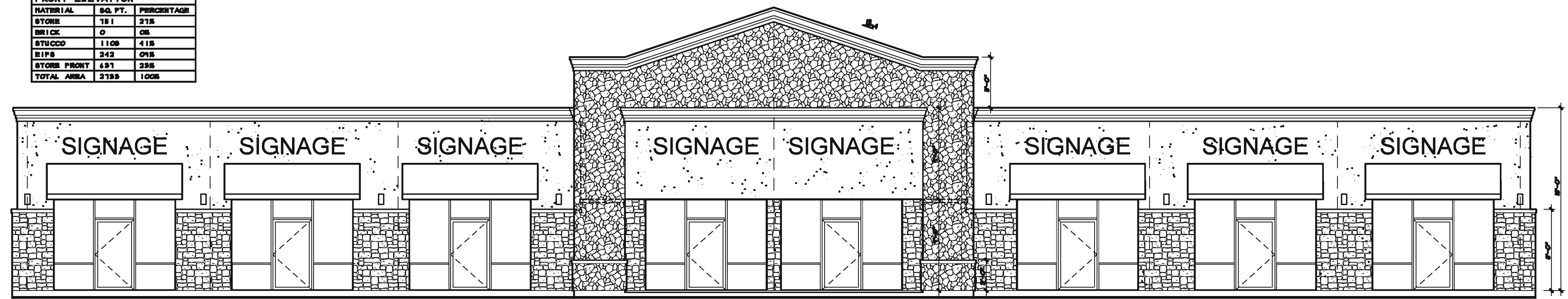
Left Elevation
1/8" = 1'-0"

RIGHT ELEVATION		
MATERIAL	SQ. FT.	PERCENTAGE
STONE	48	6%
BRICK	0	0%
STUCCO	1144	61%
RIPS	101	8%
TOTAL AREA	1293	100%



Right Elevation
1/8" = 1'-0"

FRONT ELEVATION		
MATERIAL	SQ. FT.	PERCENTAGE
STONE	181	21%
BRICK	0	0%
STUCCO	1108	41%
RIPS	242	29%
STONE FRONT	651	28%
TOTAL AREA	2139	100%



Front Elevation
1/8" = 1'-0"

RANCH TRAIL RETAIL CENTER
LOT 4, BLK. A, MAVERICK RANCH
CITY OF ROCKWALL, ROCKWALL CO., TX.
PROJECT



viosca architects ltd.
8000 Warren Pkwy. bldg. 1 suite 100 Rockwall, TX 75034
(214) 618-3376

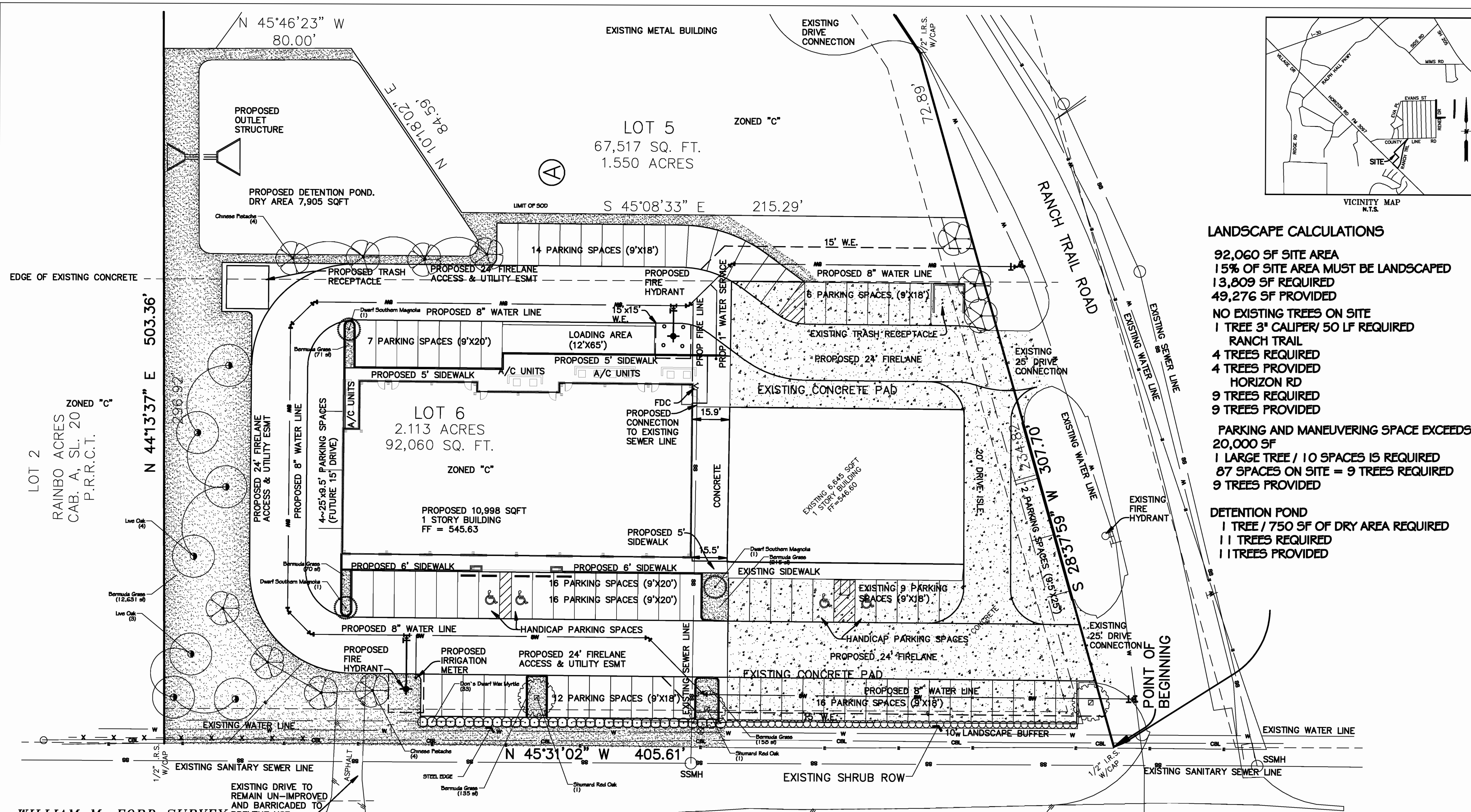
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9-21-11 date

11009 job ref.

2.2 sheet

of 2



LANDSCAPE CALCULATIONS

92,060 SF SITE AREA
 15% OF SITE AREA MUST BE LANDSCAPED
 13,809 SF REQUIRED
 49,276 SF PROVIDED

NO EXISTING TREES ON SITE
 1 TREE 3" CALIPER / 50 LF REQUIRED
 RANCH TRAIL
 4 TREES REQUIRED
 4 TREES PROVIDED
 HORIZON RD
 9 TREES REQUIRED
 9 TREES PROVIDED

PARKING AND MANEUVERING SPACE EXCEEDS
 20,000 SF
 1 LARGE TREE / 10 SPACES IS REQUIRED
 87 SPACES ON SITE = 9 TREES REQUIRED
 9 TREES PROVIDED

DETENTION POND
 1 TREE / 750 SF OF DRY AREA REQUIRED
 11 TREES REQUIRED
 11 TREES PROVIDED

ADVANCED SPRINKLER REPAIR
 929 J PLACE #550
 PLANO, TX 75074
 972-881-3355
 FAX: 972-516-8887

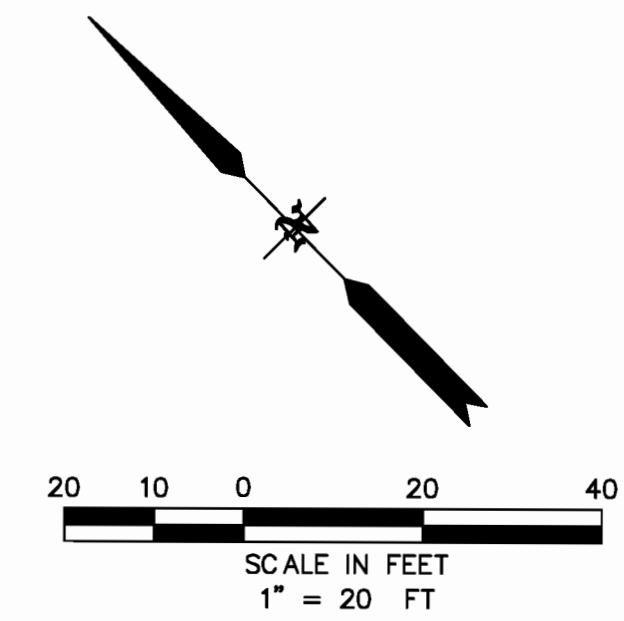
**RANCH TRAIL RETAIL CENTER
 LOT 6, BLOCK A
 MAVERICK RANCH
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS**

WILLIAM M. FORD SURVEY
 A-80
 EDWARD TEAL SURVEY
 A-207

NOTE: NO TREE SHALL BE PLANTED WITHIN 5' OF ANY UTILITY

PLANT SCHEDULE

DECIDUOUS TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	11	Chinese Petalco / <i>Petalco chinensis</i>	45 gal	3" Cal	10-12' HT
	3	Shumard Red Oak / <i>Quercus shumardi</i>	45 gal	3" Cal	10-12' HT
EVERGREEN TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	3	Dwarf Southern Magnolia / <i>Magnolia grandiflora</i> "Little Gem"	15 gal		
	7	Live Oak / <i>Quercus virginiana</i>	65 gal	3" Cal	10-12' HT
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	33	Don's Dwarf Wax Myrtle / <i>Myrica carolinensis</i> "Don's Dwarf"	3 gal		
SODS	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	14,510 sf	Bermuda Grass / <i>Cynodon dactylon</i>	sod		



REVISIONS

1-20-12 CITY COMMENTS
 2-22-12 CITY COMMENTS
 2-28-12 CITY COMMENTS
 3-12-12 CITY COMMENTS
 3-13-12 CITY COMMENTS
 3-14-12 CITY COMMENTS

January 23, 2012
 Ranch Trail Retail Center
 Revision 3
 Rockwall, Texas

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	2	S1	SINGLE	N.A.	0.912	VTS-B10-LED-E1-SL4
	8	W	SINGLE	9000	0.800	ISC-100-MP-XX-2S
	3	S1A	SINGLE	N.A.	0.912	VTS-B06-LED-E1-SL4

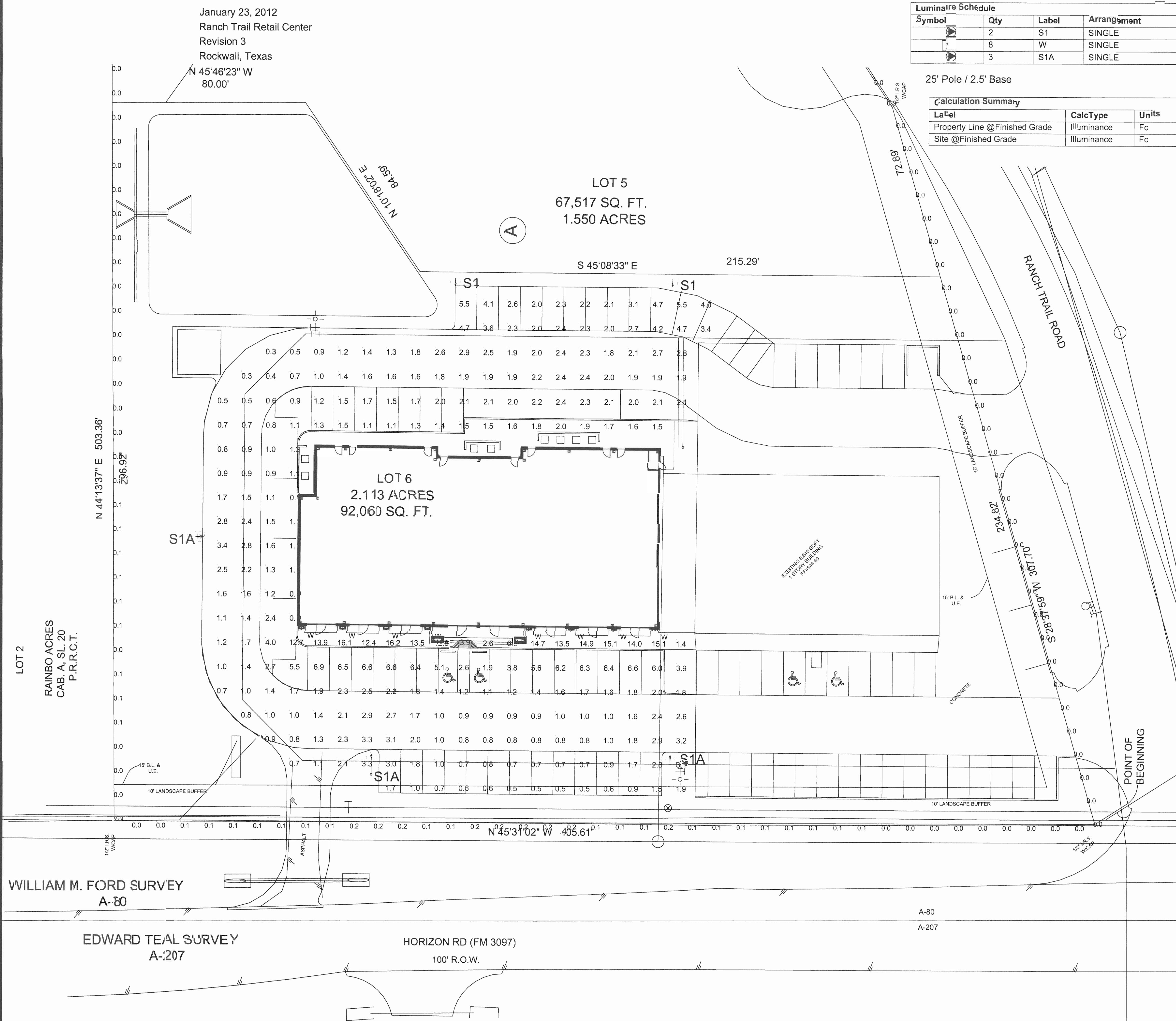
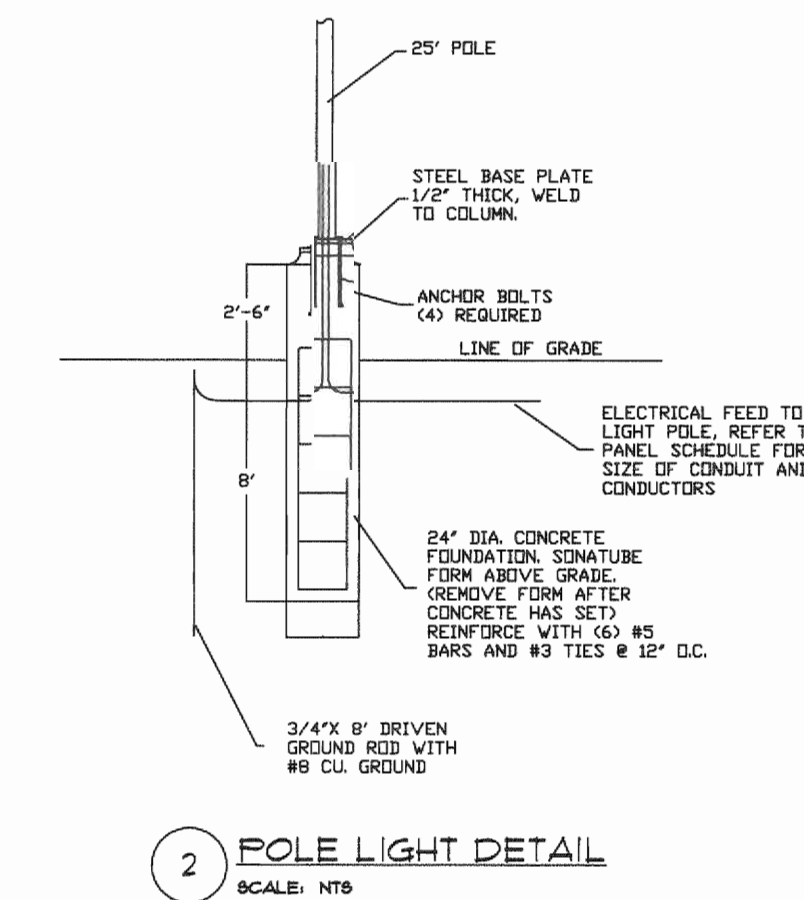
25' Pole / 2.5' Base

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSp/Lr	F'SpcTb
Property Line @Finished Grade	Illuminance	Fc	0.05	0.2	0.0	N.A.	N.A.	10	N.A.
Site @Finished Grade	Illuminance	Fc	2.62	16.2	0.3	8.73	54.00	10	10

Luminaire Location Summary

LumNo	Label	X	Y	Z	Orientation
1	S1	140.849	224.507	27.5	269.41
2	S1	230.849	224.507	27.5	269.41
3	S1A	33.517	117.713	27.5	359.243
4	S1A	106.293	25	27.5	90
5	S1A	229.892	25	27.5	90
6	W	76.899	79.575	12	270
7	W	93.985	79.576	12	270
8	W	111.932	79.576	12	270
9	W	129.106	79.576	12	270
10	W	188.651	79.576	12	270
11	W	223.274	79.576	12	270
12	W	170.993	79.576	12	270
13	W	206.294	79.576	12	270

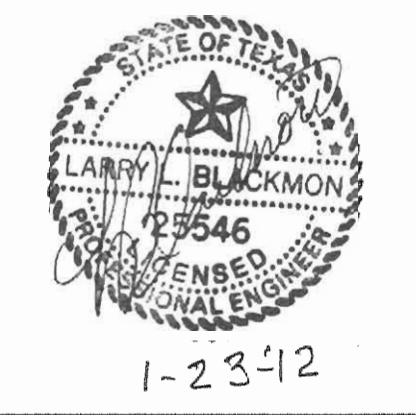


WILLIAM M. FORD SURVEY
 A-80

EDWARD TEAL SURVEY
 A-207

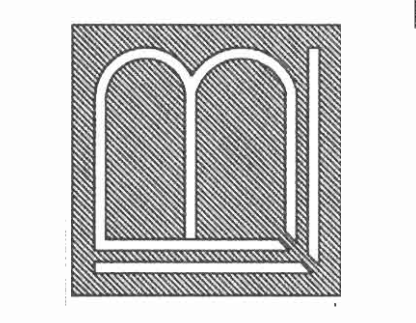
HORIZON RD (FM 3097)
 100' R.O.W.

1 PHOTOMETRIC PLAN
 SCALE: 1" = 20'



RANCH TRAIL RETAIL CENTER
 LOT 6, BLOCK A, MAVERICK RANCH
 CITY OF ROCKWALL, TEXAS

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SHEET: **SE1**

DATE: 1/23/2012

DRAWN BY: RLH

DESIGN BY: LLB