

FULLY DEVELOPED DRAINAGE AREA CALCULATIONS

Drainage Area No.	Drainage Area (Acres)	C	I ₁ (Inch)	I ₂ (Inch)	Q ₁₀ (CFS)	REMARKS
1	1.92	0.50	12	8.8	1.28	Detention Pond
2	3.61	0.50	12	9.8	2.57	Detention Pond

DRAINAGE LEGEND



DRAINAGE CRITERIA

Q = 6.14
C = 0.50
I₁ = 9.8
I₂ = 10.0

SYNOPSIS

Zoning: Planned Development
Proposed Use: Retail (Auto Parts Store)
Location: 1421 S. Main St.
Map: Houston Stage 2-2011-1
Lot Area: 1.02 Acres (44,447 sq ft)
Building Area: 27,427 sq ft
Building Footprint: 7,365 sq ft
Lot Coverage: 26.1%
Floor Area Ratio: 0.16
Impervious Area: 71,675 (24,471 sq ft imp + 7365 sq ft area - 27,836 sq ft)
Landscaping Area: 25,206 sq ft
Building Height: 21'-0"
Required Parking: 1,726 at 1:31 spaces
Parking Required Total: 31 Parking Spaces
Parking Provided Total: 37 Parking Spaces (2 Handicap Spaces)

LEGEND

- 24' Fences, Access, & Utility Easement
- Proposed Sidewalk
- Proposed Sidewalk
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Barrier Free Ramp
- Proposed Contour
- Existing Contour

DEVELOPER:
 AutoZone, Inc.
 123 South Front Street
 Memphis, Tennessee 38103
 Phone (901) 495-8701
 Fax (901) 495-8963
 Contact: Mr. Wade Davis

ENGINEER:
 Cross Engineering Consultants, Inc.
 105 W. Louisiana Street
 McKinney, Texas 75069
 Phone (972) 562-4429
 Fax (972) 562-4473
 Contact: Jonathan D. Hawk, P.E.

SURVEYOR:
 A. J. Bedford Group, Inc.
 301 N. Alma Road
 Rockwall, Texas 75087
 Phone (972) 722-0235
 Contact: A. J. Bedford

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2011 013

FILE CC-1

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BENCHMARK:

Point	Description	Date
1	1	
2	2	
3	3	
4	4	
5	5	
6	6	

CROSS ENGINEERING CONSULTANTS

116 W. Exchange Blvd. • McKinney, Texas 75069
 972.562.4499 • Fax: 972.562.4473

Drawn by: R.G. Checked by: J.S.H. Scale: As Shown

SITE PLAN

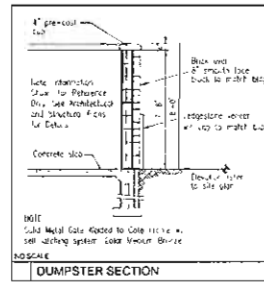
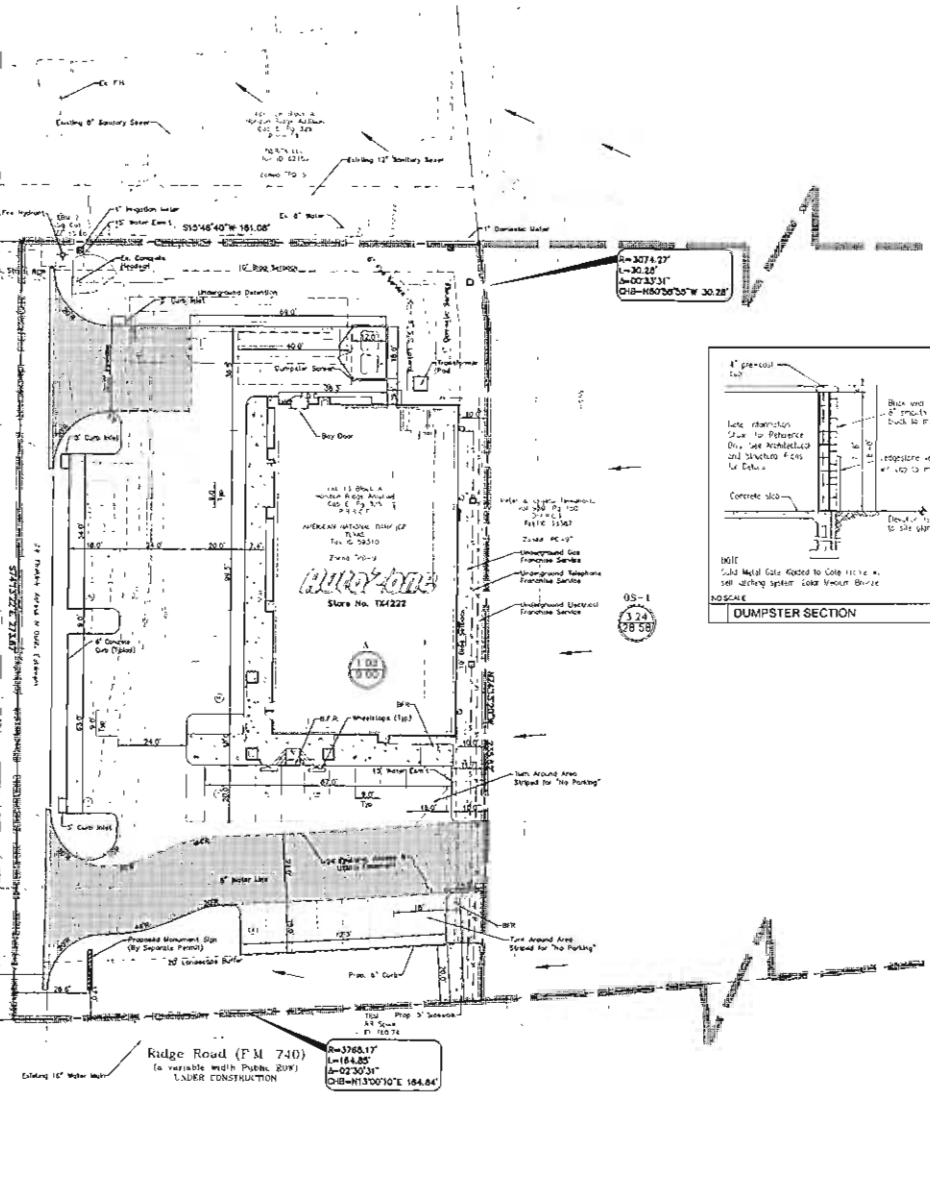
AutoZone

STORE NO. 1X #4222

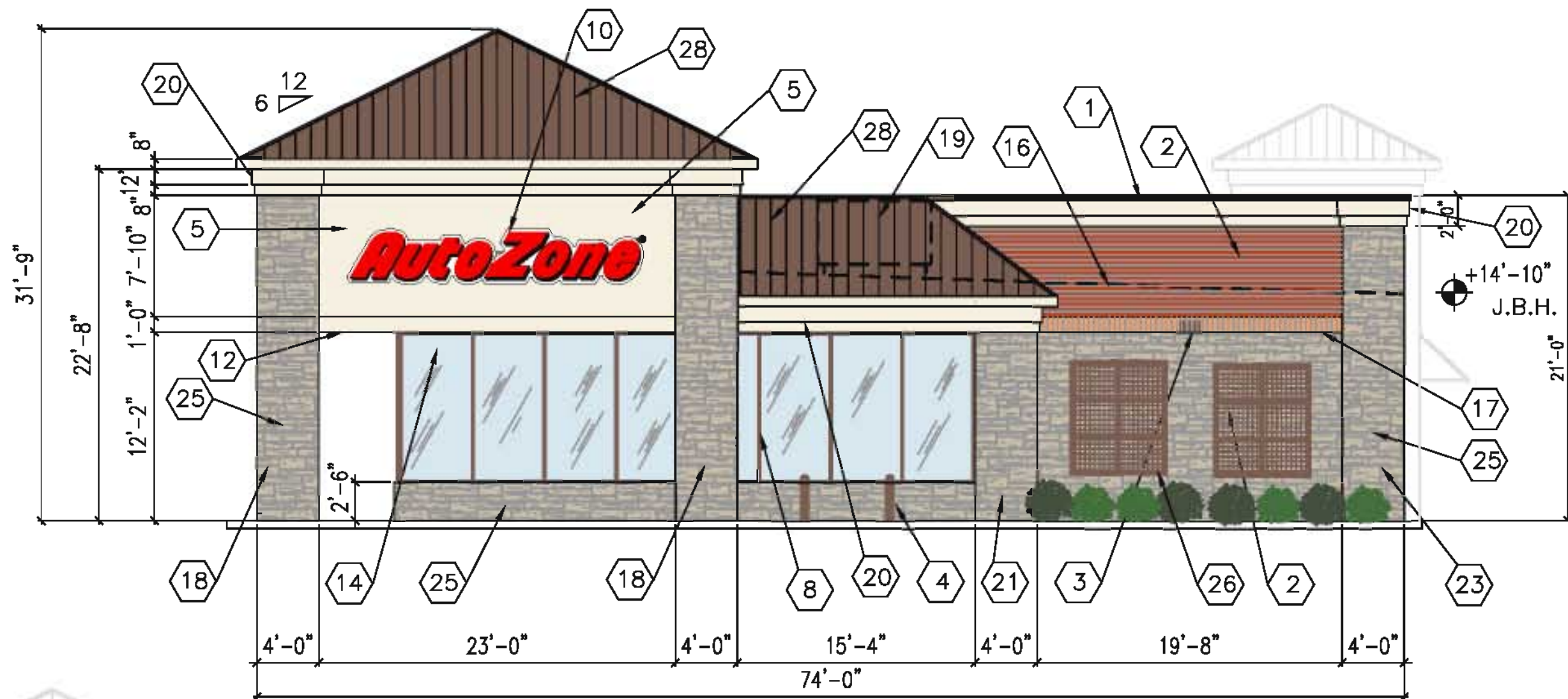
CITY OF ROCKWALL, TEXAS

Sheet No:
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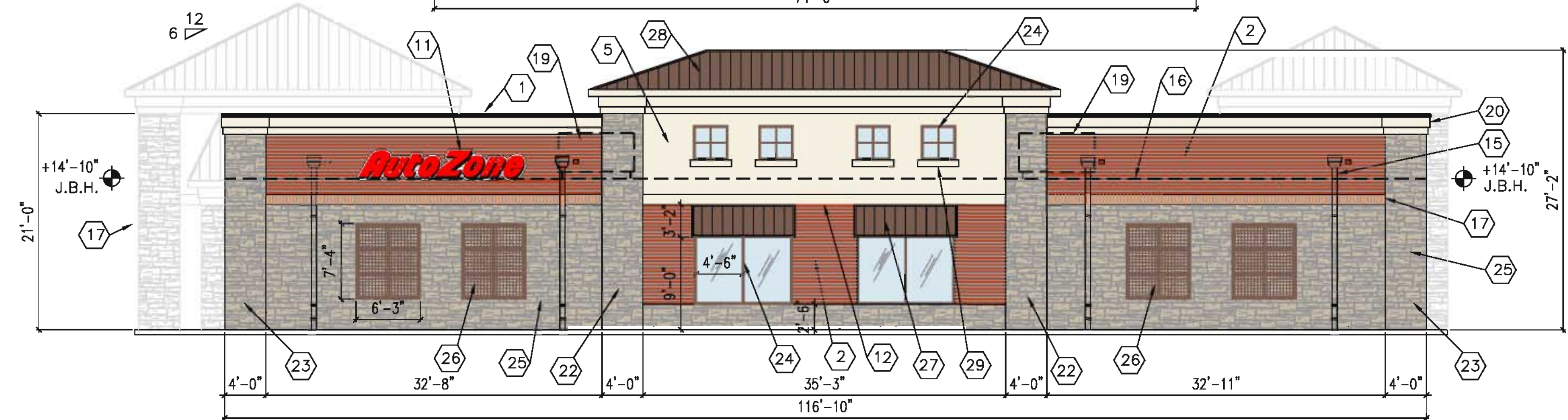
Project No:
11443



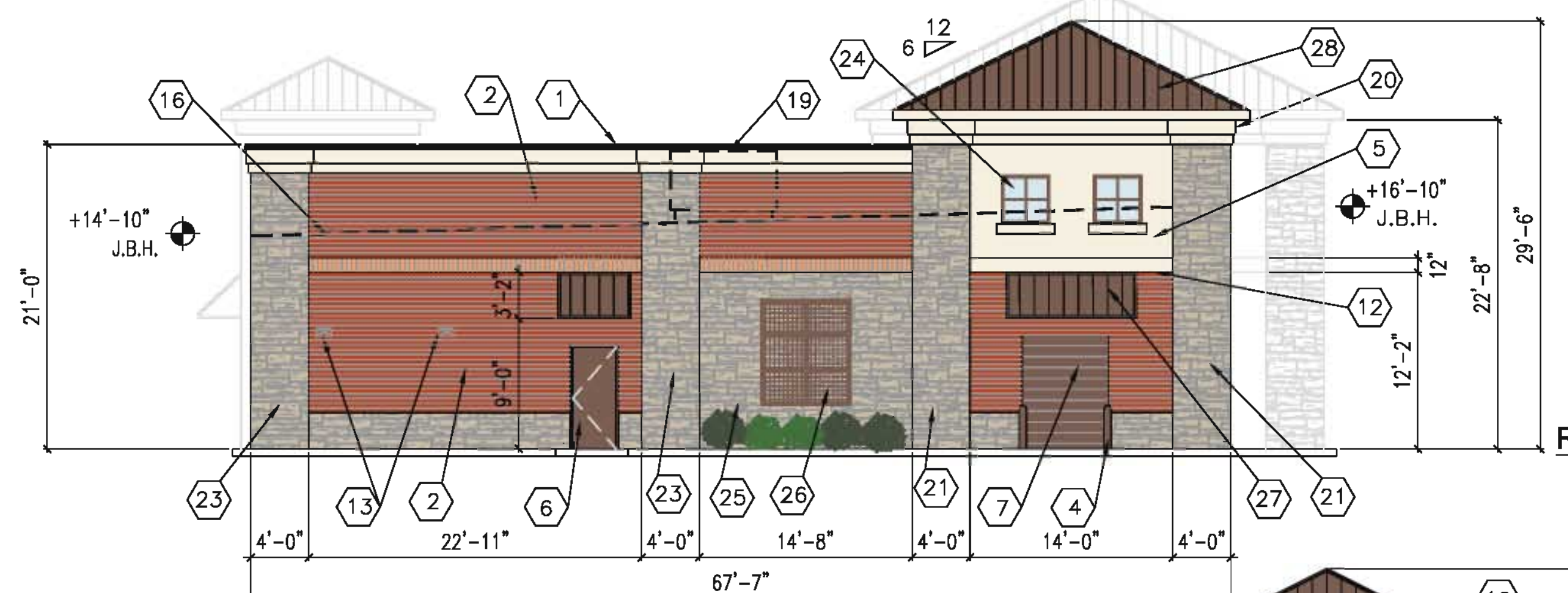
SITE PLAN



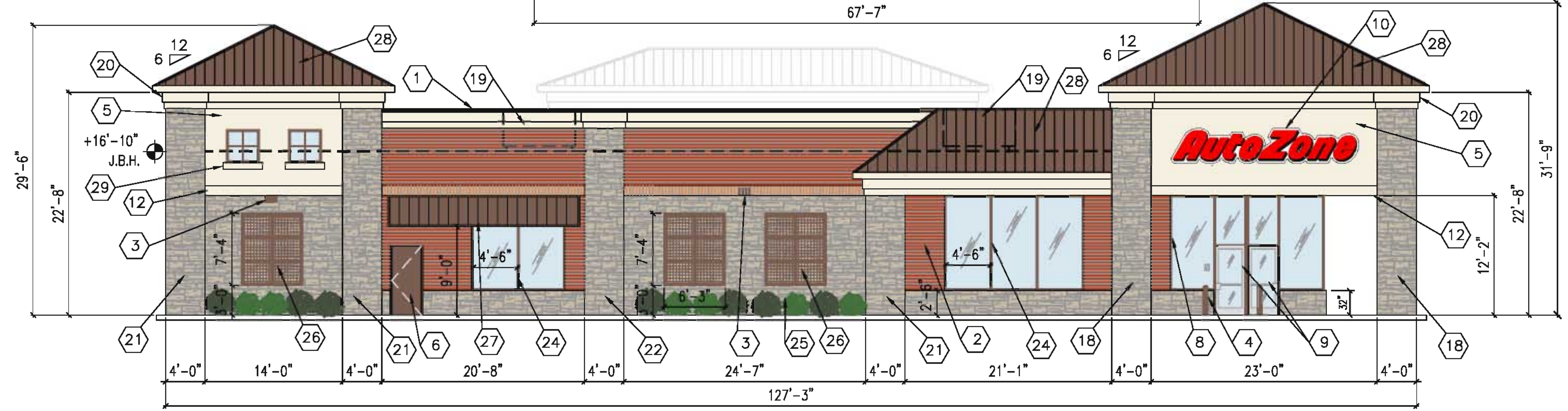
FRONT WALL (South Elevation)



RIGHT WALL (East Elevation)



REAR WALL (North Elevation)



LEFT WALL (West Elevation)

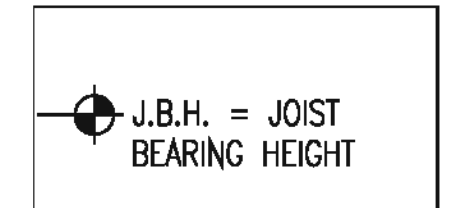
- 1 PREFINISHED ALUMINUM COPING
COLOR: DARK BRONZE FINISH
- 2 BRICK - UTILITY SIZE FIELD BRICK
COLOR: CAROLINA CERAMICS "BURGUNDY VELOUR"
- 3 WALL MOUNTED LIGHT FIXTURE - BRONZE FINISH
- 4 PIPE GUARD WITH ARCHITECTURAL BROWN SLEEVE
- 5 1" CEMENTACEOUS STUCCO FINISH SYSTEM
COLOR: SW #6091 RELIABLE WHITE
- 6 PAINT MAN DOOR & METAL FRAMES DARK BRONZE
- 7 PAINT OVERHEAD DOOR & ANGLES DARK BRONZE
- 8 ALUMINUM STOREFRONT - DARK BRONZE FINISH
W/ EVERGREEN TINTED STOREFRONT GLASS
LESS THAN 15% LIGHT REFLECTIVITY RATING
- 9 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 10 WALL SIGN - 42" HIGH CLOUD
- 11 WALL SIGN - 36" HIGH CLOUD
- 12 12" HIGH X 1" THICK FOAM BOARD TRIM W/ E.F.S.
COLOR: SW#6091 RELIABLE WHITE
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 15 SCUPPERS AND DOWNSPOUTS, PAINTED TO MATCH
BACKGROUND WALL COLOR. ADJACENT 4"H. X 6"W.
OVERFLOW SCUPPER, FLOWLINE 2" ABOVE ROOF.
- 16 BOND BEAM AT ROOF LINE
- 17 BRICK UTILITY SIZE - SOLDIER COURSE.
COLOR: CAROLINA CERAMICS "PEBBLE BEACH VELOUR"
- 18 4'-0" SQUARE COLUMN
- 19 HVAC UNITS SCREENED BEHIND PARAPET WALL
- 20 FOAM CORNICE COLOR: SW#6091 "RELIABLE WHITE"
- 21 4'-0" WIDE BRICK PILASTER (2'-6" PROJECTION)
- 22 4'-0" WIDE BRICK PILASTER (12" PROJECTION)
- 23 4'-0" WIDE BRICK PILASTER (4" PROJECTION)
- 24 ALUMINUM STOREFRONT - DARK BRONZE FINISH
W/ EVERGREEN TINTED STOREFRONT OPAQUE GLASS
- 25 STONE VENEER W/ STONE LEDGE - LONE STAR STONE
STYLE: CHALK
COLOR: VICTORIA
- 26 METAL TRELIS COLOR: DARK BRONZE FINISH
- 27 3'-2" HIGH X 4'-2" DEPTH METAL STANDING SEAM AWNING
COLOR: DARK BRONZE FINISH
- 28 BERRIDGE METAL STANDING SEAM TEE-PANEL ROOF.
COLOR: PRE-FINISHED DARK BRONZE
- 29 8" HIGH X 1" THICK FOAM BOARD TRIM W/ E.F.S.
COLOR: SW#6091 RELIABLE WHITE

2 ELEVATION KEYNOTES

EXTERIOR FINISH MATERIALS PERCENTAGES

EXTERIOR FINISH MATERIALS PERCENTAGES

FRONT WALL	
MASONRY FINISH WALL	= 100 %
STONE FINISH WALL	= 65%
STUCCO FINISH WALL	= 21%
RIGHT WALL	
MASONRY FINISH WALL	= 100 %
STONE FINISH WALL	= 51%
STUCCO FINISH WALL	= 10%
REAR WALL	
MASONRY FINISH WALL	= 100 %
STONE FINISH WALL	= 45%
STUCCO FINISH WALL	= 8%
LEFT WALL	
MASONRY FINISH WALL	= 100 %
STONE FINISH WALL	= 53%
STUCCO FINISH WALL	= 16%



PROPOSED USE:
RETAIL AUTOPARTS SALES

COLOR ELEVATIONS



STORE NO. TX 4222

CITY OF ROCKWALL, TEXAS

Sheet No.

CE-1

Project No.

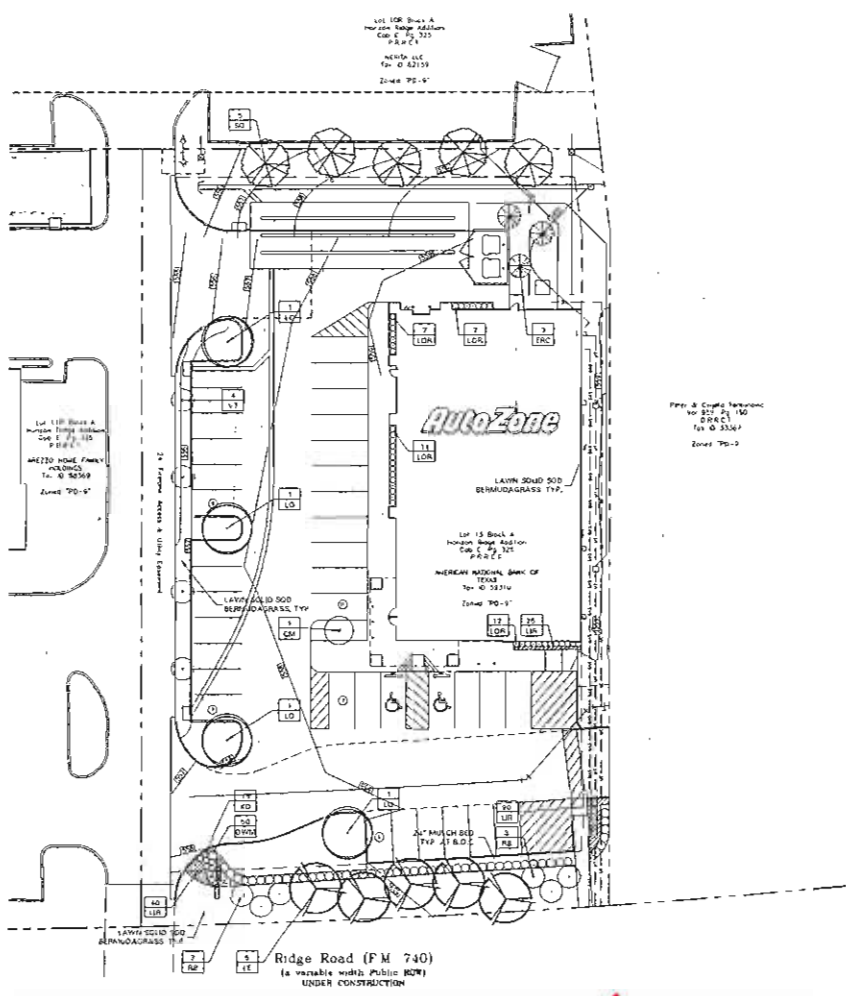
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Issue Dates:	Revisions:	Date:
1 10/13/11	1	11/01/11
2	2	
3	3	
4	4	
5	5	
6	6	

AUTOZONE INC.
Architect: George Callow
123 South Front Street
Memphis, Tennessee 38103
TEL: (901) 495-8705 FAX: (901) 495-8969

Drawn By:	Checked By:	Scale:
WD	WD	1/8" = 1'-0"

AUTOZONE TX 4262



Lot 10B Block A
Meridian Ridge Addition
City of Rockwall
P.O. Box 101
Rockwall, TX 75087
Tel: 972-968-3225
Fax: 972-968-3226

Lot 10B Block A
Meridian Ridge Addition
City of Rockwall
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Rockwall, TX 75087
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Lot 13 Block A
Meridian Ridge Addition
City of Rockwall
P.O. Box 101
Rockwall, TX 75087
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Per City Council Resolution
No. 2011-150
DRC-1
For 03/24/11
Zone 70-1

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SP 2011 013

SCALE: 1" = 10'-0"
0 10 20 30

Della
DeLuna
Landscape Architects
11111 Rockwall Drive
Dallas, Texas 75244
Tel: 972-968-3225
Fax: 972-968-3226

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED TREE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES, SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING LANDSCAPED UTILITIES AND NOTIFY LANDSCAPE ARCHITECT BY ANY CONTRACTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO MATCH EXISTING GRADE AS INDICATED. LEAVE AREAS TO REMAIN UNGRADED. 1" BELOW FINAL FINISH GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISH GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY ALUMINUM EDGING. NO ALUMINUM EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALLS OR CURBS. CUT ALUMINUM EDGING AT 45 DEGREE ANGLE WHEN IT INTERSECTS WALLS AND CURBS.
- TOP OF MULCH SHALL BE 1" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOID SOO REMEDIATION UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL LANDSCAPE AREAS SHALL BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE MAIN AND FEEDER MAINS.
- CONTRACTOR SHALL PROVIDE NO PROPOSAL LISTING UNIT PRICES FOR MATERIALS PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LAWN CARE AND IRRIGATION PERMITS.
- CONTRACTOR SHALL PROVIDE A WATER PERMEABLE WEED BARRIER/FABRIC UNDER ALL PLANTING BEDS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT IF ANY SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER BY ALL 12:00 P.M. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO MAINTAIN LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS OR DEBRIS FROM THE DATE OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE NO PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGAIN AFTER FINAL ACCEPTANCE.

THERE ARE NO EXISTING TREES ON THIS LOT
NO TREES WITHIN 5'-0" OF ANY UTILITIES.

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISH GRADE. FINISH TO TOPSOIL, UNLESS NOTED.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL ELEVATIONS AS INDICATED ON THIS PLAN. ADJUST TOPSOIL TO ACHIEVE DESIRED DRAINAGE AWAY FROM BUILDINGS, PROVIDE SUBPARVA ROUGHENS AT 1" AND SPACINGS OF 6" IN LAWN AND OTHER AREAS IN GRASS. CORRECT UNDESIRABLES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED. IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S ARCHITECTURE MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, GUM TACKS, STICKS, CONCRETE BRICKS ETC. PRIOR TO PLANTING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE BUT NOT LIMITED TO MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF GRASS AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOO NOTES

- PLANT SOO BY HAND TO COVER DESIGNATED AREAS COMPLETELY. EXPOSED EDGES OF SOO ARE TOUCHING TOP LINES ADJUST BY HAND WITH TOPSOIL TO FILL VOIDS.
- SOO SHALL BE MOVED TO ACHIEVE A SMOOTH EVEN SURFACE FREE FROM OBSTACLES, UNDESIRABLES, AND WEEDS.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVERLAY BENEATH SOO AND TOPSOIL WITH PERFORATED 1/2" x 1/2" x 1/2" POLYSTYRENE BEADS AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

VICINITY MAP



LANDSCAPE TABULATIONS

THE CITY OF ROCKWALL, TEXAS

PARKING LOT LANDSCAPING
5% of the interior parking lot shall be landscaped.
Total interior parking lot area = 18,649 sq ft
Total parking spaces = 77 spaces

Required: 922.57 sq ft
Provided: 9,100.00 sq ft

SOO LANDSCAPING
15% of the total area shall be landscaped for COMPLETION.
9% of the total requirements shall be located in the form of grass along main buildings for COMPLETION.

Total area = 1,02 AC 44,447 sq ft
Required: 5,067 sq ft (15%)
2,234 sq ft (9%)
Provided: 12,147 sq ft (27%)
4,834 sq ft (18%)

LANDSCAPE TABULATIONS

THE CITY OF ROCKWALL, TEXAS

STREET LANDSCAPING
1. 20' wide landscape buffer
2. Continuous along 30' to 40' wide along the entire length of the property frontage along the F.M. 740 right-of-way
3. Three (3) canopy trees 4" cal. min. per 100 sq ft of the F.M. 740 right-of-way.
4. Four (4) street trees 4" cal. min. per 100 sq ft of the F.M. 740 right-of-way.

Required: 25 landscape buffer
Continuous street buffer
30' to 40' wide
(1) trees 4" cal
(2) street trees 4" cal
(4) street trees 4" cal

BUILDING LANDSCAPING

All relative commercial buildings shall have one (1) row of trees defined on the perimeter of the building.
Required: 18 row of trees placed on the perimeter of the building.
Provided: 18 row of trees placed on the perimeter of the building.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS
CM	Leptochloa purpurea	Crack Murf. Murf.	1	30 gal.	container grown 3-8 trunk no. 1000 comes 6 in. 4 spaced matching
ENC	Leptochloa purpurea	Crack Murf. Murf.	2	6 in.	container grown 1/8 to base 3 1/2" spacing
LT	Leptochloa purpurea	Crack Murf. Murf.	5	4" cal.	container grown 15 in. 5 spaced 5' branching no. matching
LO	Leptochloa purpurea	Crack Murf. Murf.	4	3" cal.	container grown 15 in. 5 spaced 5' branching no. matching
TR	Leptochloa purpurea	Crack Murf. Murf.	6	20 gal.	container grown 8 in. 4 spaced no.
SD	Leptochloa purpurea	Crack Murf. Murf.	5	3" cal.	container grown 15 in. 5 spaced 5' branching no. matching
VT	Leptochloa purpurea	Crack Murf. Murf.	4	2" cal.	container grown 15 in. 5 spaced 5' branching no.
BYMS	Leptochloa purpurea	Crack Murf. Murf.	50	36" cal.	container full 24" spaced 36" cal.
AO	Leptochloa purpurea	Crack Murf. Murf.	15	5 gal.	container full 20" spaced 24" cal.
LR	Leptochloa purpurea	Crack Murf. Murf.	155	4" cal.	container full top of container 12" cal.
LOR	Leptochloa purpurea	Crack Murf. Murf.	40	5 gal.	container full 30" spaced 24" cal.

NOTE: ALL CALLED SHALL HAVE 5" TRUNKS AND BE MATCHED WITHIN VALUE TREE. PLANT LIST IS A GUIDE TO HELPERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHTS AND SPACINGS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

Issue Number	Revisions	Date
1	1	1/21/11
2	2	
3	3	
4	4	
5	5	
6	6	

CROSS ENGINEERING CONSULTANTS
11111 Rockwall Drive
Dallas, Texas 75244
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Fax: 972-968-3226

Drawn By: [Signature]
Checked By: [Signature]
Scale: 1" = 20'

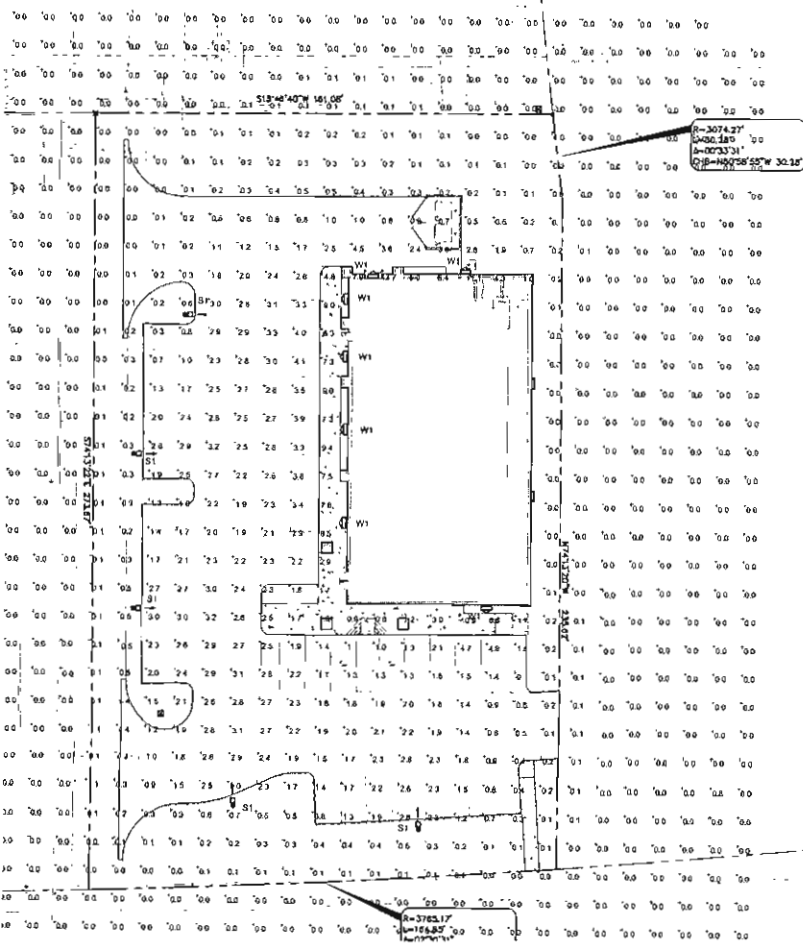
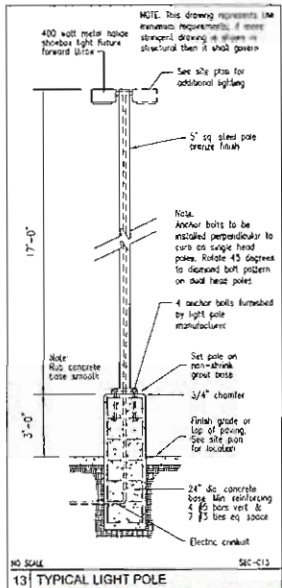


LANDSCAPE PLAN
AutoZone
STORE NO. TX #4222
CITY OF ROCKWALL, TEXAS

Sheet No.
L1.01
Project No.
11033

LANDSCAPE PLAN

2011 013



FloodPak Series FPM

ORDERING INFORMATION

PRODUCT SPECIFICATIONS

TECHNICAL INFORMATION

RESISTANCE

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

CONTRUM KAD

ORDERING INFORMATION

LUMINAIRE SCHEDULE						
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	LF/F	QTY
S1	MC	LITHONIA AND CONTRUM SERIES STREET LIGHT DISTRIBUTION MOUNTED BY DOWN POSITION MOUNTED HEIGHT = 20' 0"	400 WATT METAL HALIDE	3020	0.77	9
W1	W	STANDARD FLOODPAK SERIES TYPE 1 DOWN LIGHT DISTRIBUTION MOUNTED BY DOWN POSITION MOUNTED HEIGHT = 11' 0"	150 WATT METAL HALIDE	1600	0.72	7

STATISTICS				
Description	Symbol	Avg	Min	Max
Grid Line	-	0.82	1.74	2.66

- LIGHTING NOTES
1. TIME CONTROL: ALL SITE LIGHTING IS CONTROLLED AND MONITORED BY AN ENERGY MANAGEMENT SYSTEM CALLED VERITAS WHICH IS CONTROLLED BY AUTOMATIC CONTROLLED SWITCHES. ALL SITE LIGHTING IS PROGRAMMED TO AUTOMATICALLY TURN ON AT DAWN AND SHUT OFF BY 30 MINUTES AFTER THE CLOSE OF BUSINESS TO THE NEAREST LIGHTING. PLEASE UNDER THE DESIGN TO ENSURE SAFETY AND EFFICIENCY.
 2. ALL FIXTURES SHALL HAVE CUTOFF DISTRIBUTION AND MOUNTED 8" DOWN POSITION.
 3. NO FLOODLIGHTS ARE PROVIDED.
 4. THE LIGHTING PLAN COMPLIES WITH THE PROVISIONS OF ARTICLE XI OUTDOOR LIGHTING (SECTION 6.466 THRU SEC 6.473) OF THE CITY OF ROCKWALL ORDINANCE.

BENCHMARK:

101 - 89 Spike in Power Pole along utility right-of-way line of Maple Road in front of site (elevation above sea level) (marked by iron pin) Elev = 560.74

102 - Square set on top curb immediately corner of property. Elev = 558.08

103 - City of Rockwall Concrete Monument Board #1 just west on Elmwood Lane and Maple Road Elev = 561.70

Sheet No.	Revision	Date
1	1	
2	2	
3	3	
4	4	
5	5	
6	6	

AutoZone Inc.
123 S. Front Street, 3rd Floor
Memphis, Tennessee 38102
Tel: (901) 495-8705 Fax: (901) 495-8669

Drawn by: [] Checked by: [] Date: 3/21/11 Scale: 1" = 20'

LIGHTING PLAN

AutoZone

STORE NO. TX #4222

CITY OF ROCKWALL, TEXAS

Sheet No. **L.P-1**

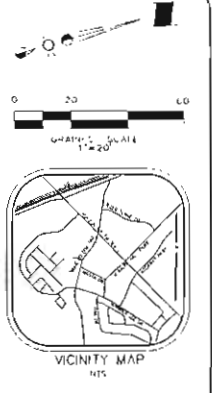
Project No. 101133

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BY:

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SITE PLAN