

VICINITY MAP
N.T.S.

GENERAL NOTES

1. ALL DIMENSION ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURB RADIUS ARE 2' UNLESS OTHERWISE NOTED.
3. ALL INTERIOR FIRE LANE RADII ARE TO BE A MINIMUM OF 20 FEET.
4. REFERENCE ARCHITECTURAL PLANS FOR BUILDING ELEVATIONS, MONUMENT SIGN AND DUMPSTER ELEVATIONS.
5. REFERENCE PHOTOMETRIC PLAN FOR LIGHT POLE LOCATIONS AND POLE HEIGHTS.

LEGEND

- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING POWER POLE w/ GUY ANCHOR
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING SANITARY SEWER
- EXISTING WATER
- EXISTING POWER
- PROPOSED FIRE LANE
- EXISTING TREE
- PROPOSED CURB INLET
- PROPOSED ROCK RIP-RAP
- RANCH TRAIL DR. CONCRETE PAVEMENT WIDENING
- RANCH TRAIL DR. ASPHALT PAVEMENT TRANSITION

Site Data - Lot 5

EXISTING ZONING	COMMERCIAL
PROPOSED USE	MEDICAL SERVICES / RETAIL
TOTAL LOT AREA	2.491 ACRE (108,511 SF)
BUILDING SQUARE FEET	9,996 S.F.
BUILDING HEIGHT	35' MAX. (1 STORY)
PERCENT OF LOT COVERAGE	9.2%
IMPERVIOUS COVER	43,372 S.F. = 40%
LANDSCAPING	65,139 S.F. = 60%
PARKING REQUIRED	
RETAIL = 1:250 S.F.	9,994 S.F. = 40 SPACES REQUIRED
PARKING PROVIDED	64 SPACES PROVIDED
HANDICAP PARKING REQUIRED	TOTAL OF 3 HANDICAP SPACE REQUIRED
HANDICAP PARKING PROVIDED	TOTAL OF 3 HANDICAP SPACE PROVIDED

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Walls & Associates

Consulting Civil Engineers · Designers · Planners
 F-7663

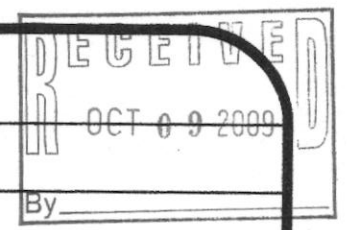
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Contact: David W. Walls, P.E.
 Phone: 214-724-0983
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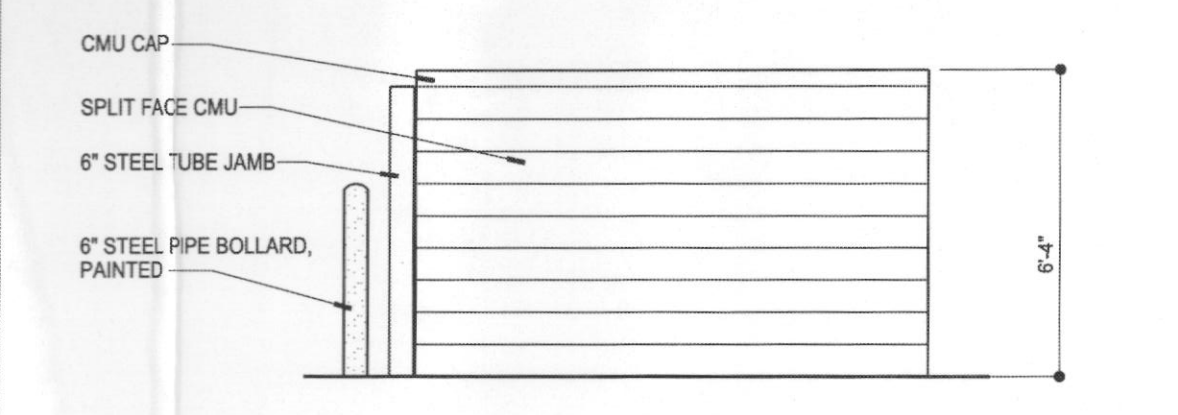
SITE PLAN

RANCH TRAIL CORNERS						
LOT 5 - RAINBO ACRES ADDITION						
N.E.C. HORIZON ROAD (F.M. 3097) AND RANCH TRAIL DR.						
CITY OF ROCKWALL, TEXAS						
DESIGN	DRAWN	CHECKED	SCALE	DATE	FILE	SHEET
Walls	Lovechio	Martinez	H: 1" = 40'	08/11/09	9005	SP-1

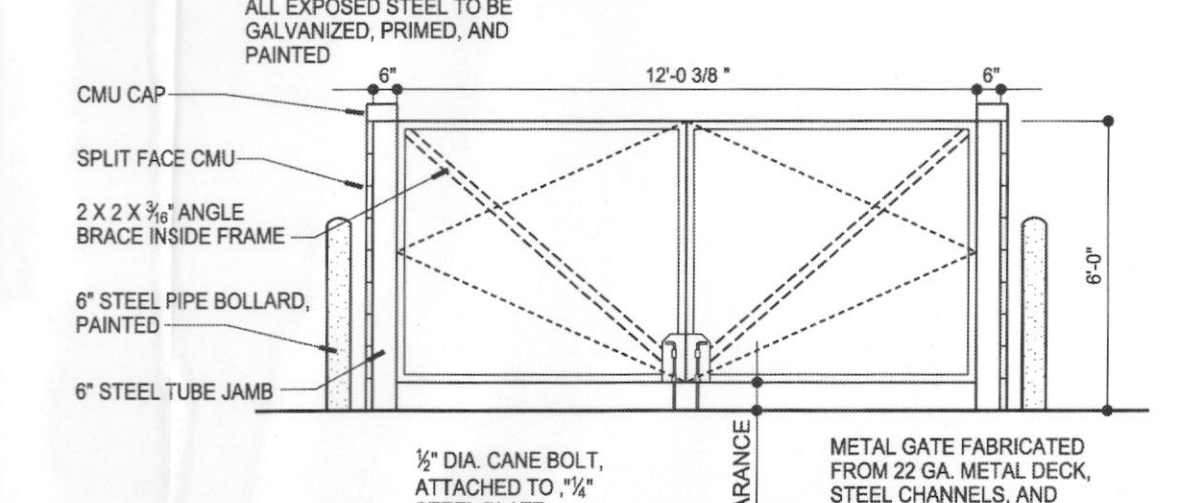
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID W. WALLS, P.E. 93086



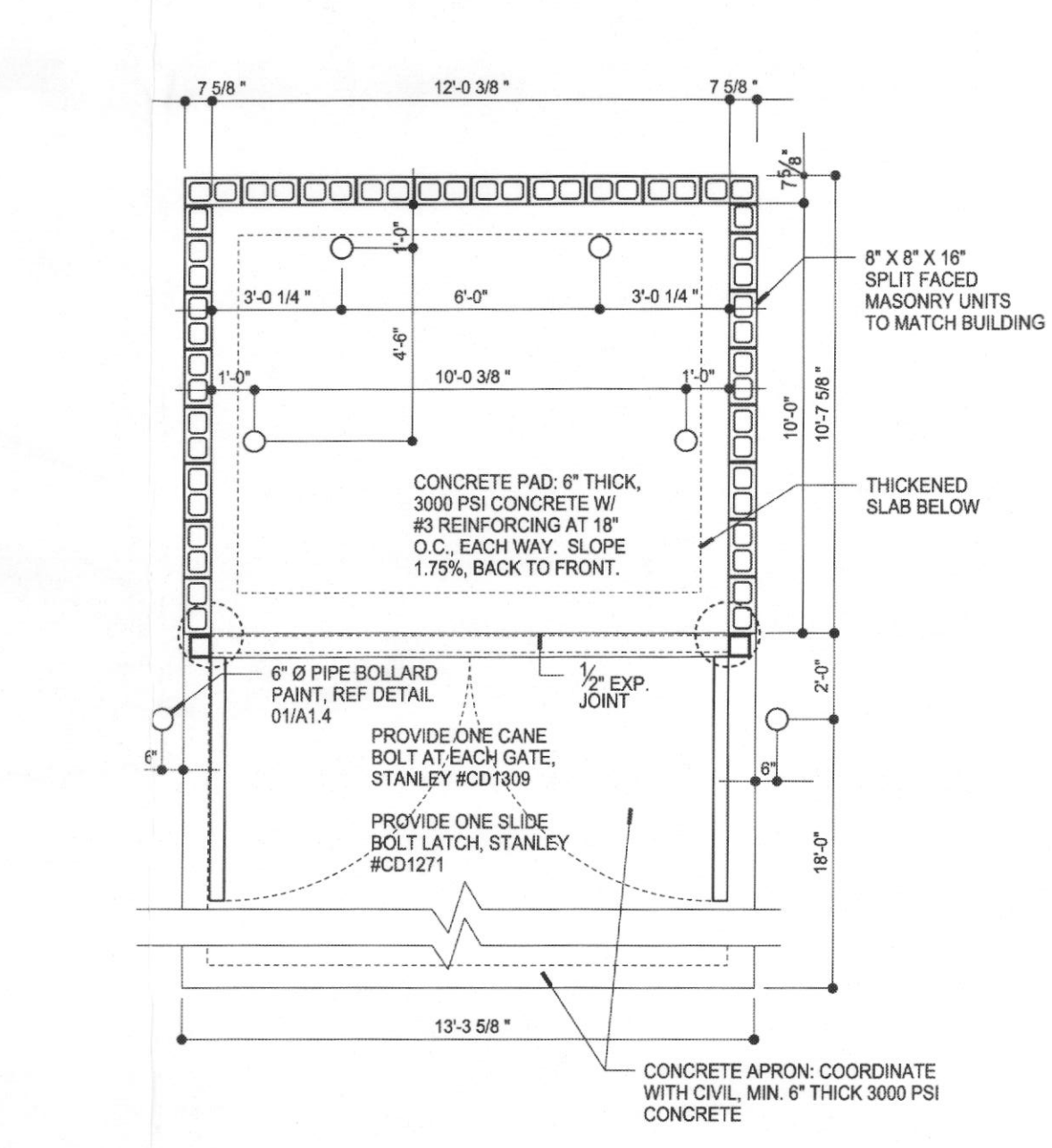
MARK	ITEM	DESCRIPTION
B-1	SPLIT-FACE CMU	OLDCASTLE/JEWELL CONCRETE PRODUCTS INC., CUSTOM CONCRETE MASONRY UNIT, BUFF
S-1	CULTURED STONE	WATERFORD STONE, OLD CASTLE BLEND, RUSTIC BIEGE
C-1	CEMENT PLASTER/EIIFS	COLOR TO MATCH SHERWIN WILLIAMS, SW7573 EAGLET BEIGE
M-1	PRE-FINISHED METAL COPING/AWNING	BERRIDGE METAL CO. KYNAR 500, MEDIUM BRONZE
M-2	PRE-FINISHED METAL DOWNSPOUT	BERRIDGE METAL CO. KYNAR 500, SIERRA TAN
AL-1	ALUMINUM STOREFRONT	YKK AP, YBSN, DARK BRONZE ANODIZED PLUS FINISH
P-1	METAL DOORS/FRAMES	PAINT TO MATCH BERRIDGE METAL SIERRA TAN



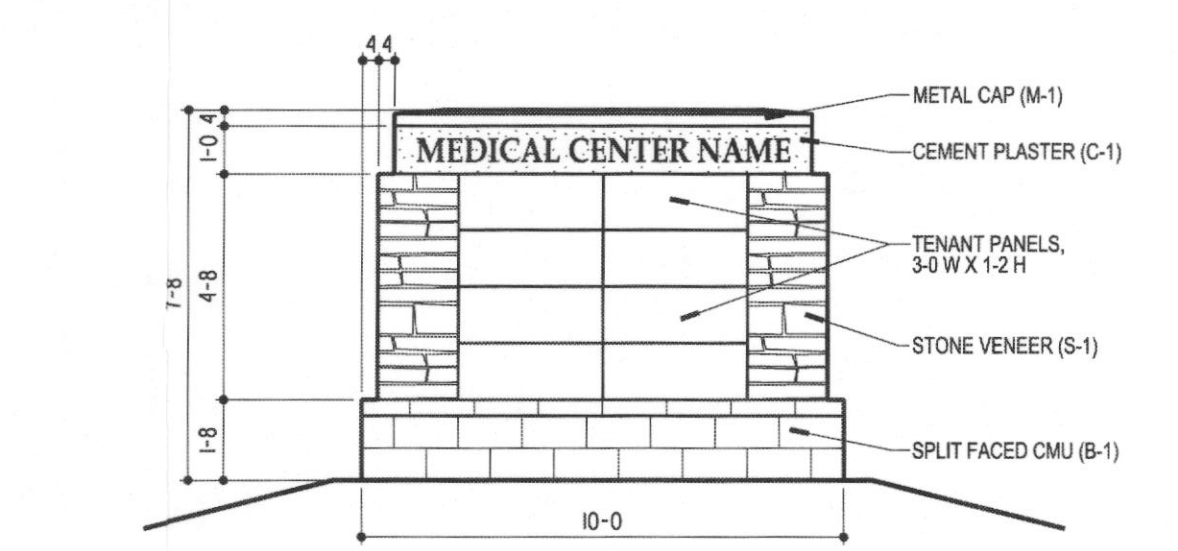
07A Dumpster Elevation - Side
 1/4"=1'-0" dumpster sdt12.dgn



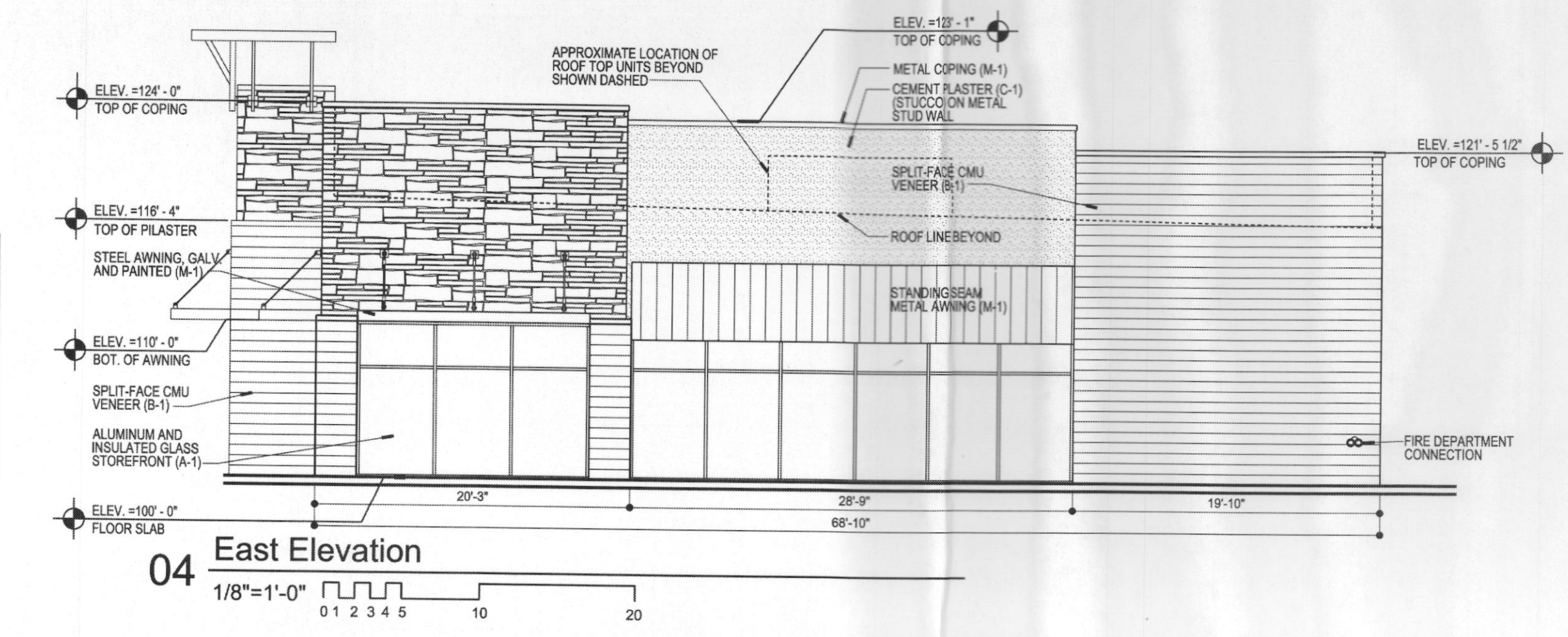
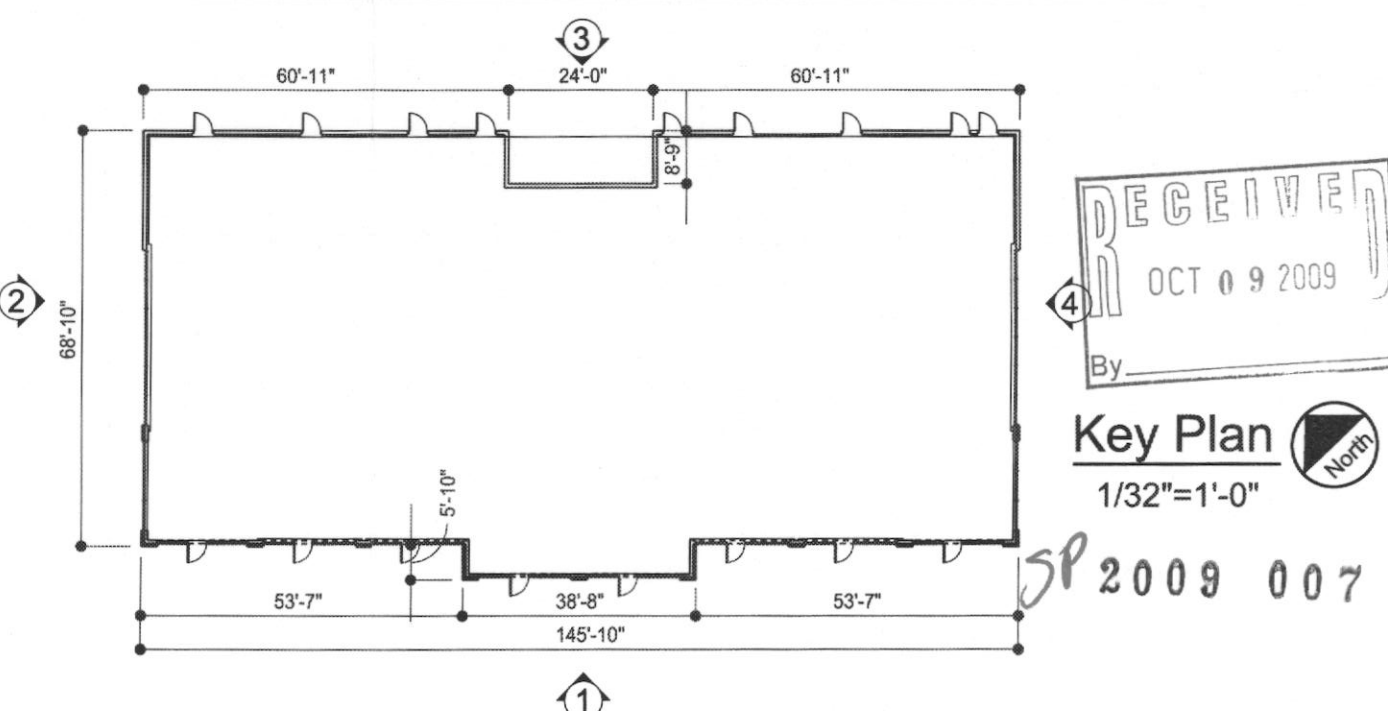
07B Dumpster Elevation - Front
 1/4"=1'-0" dumpster sdt12.dgn



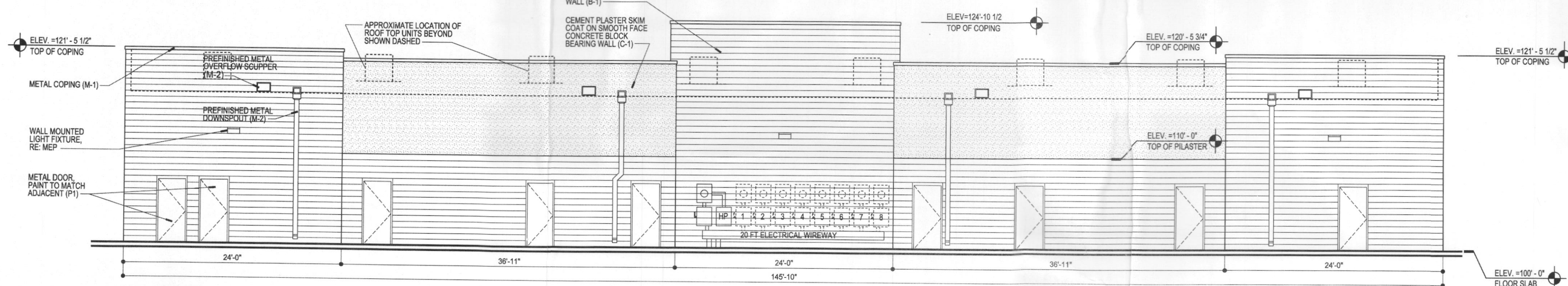
06 Dumpster Plan
 1/4"=1'-0" dumpster sdt12.dgn



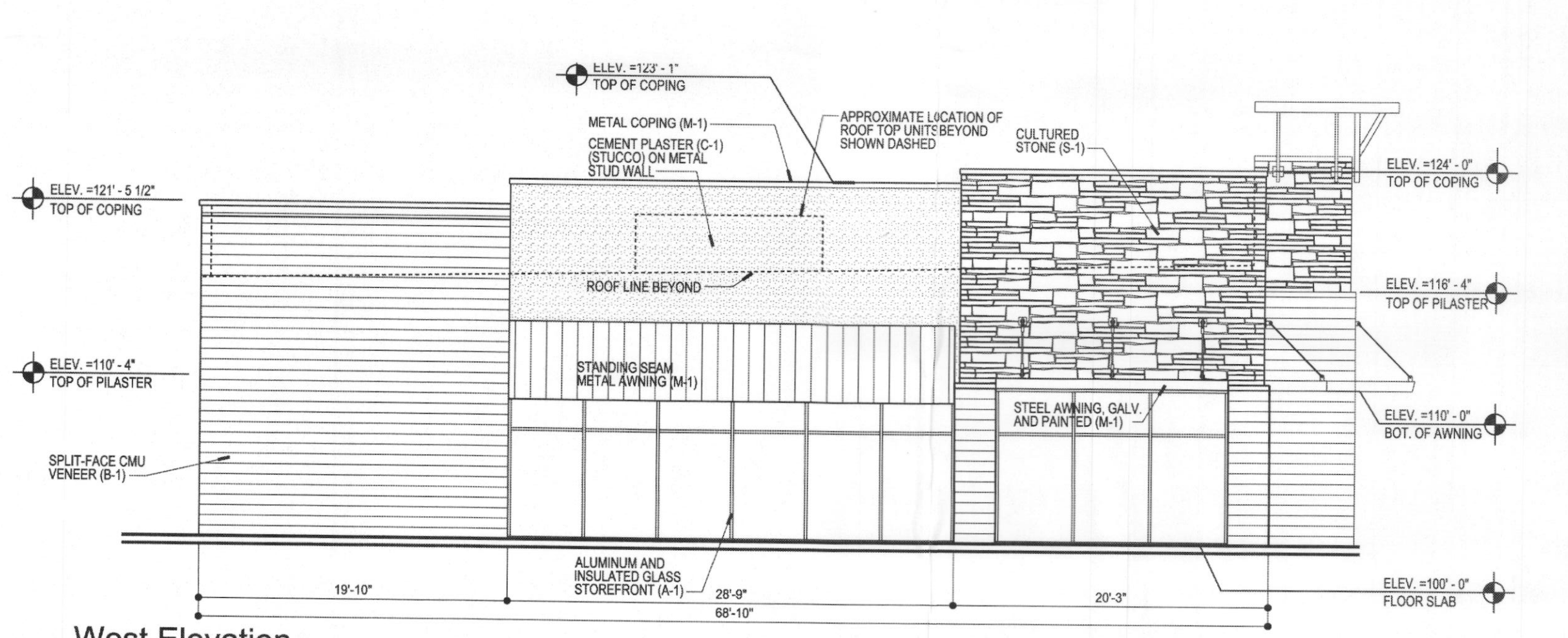
05 Monument Sign Detail
 1/4"=1'-0" dumpster sdt12.dgn



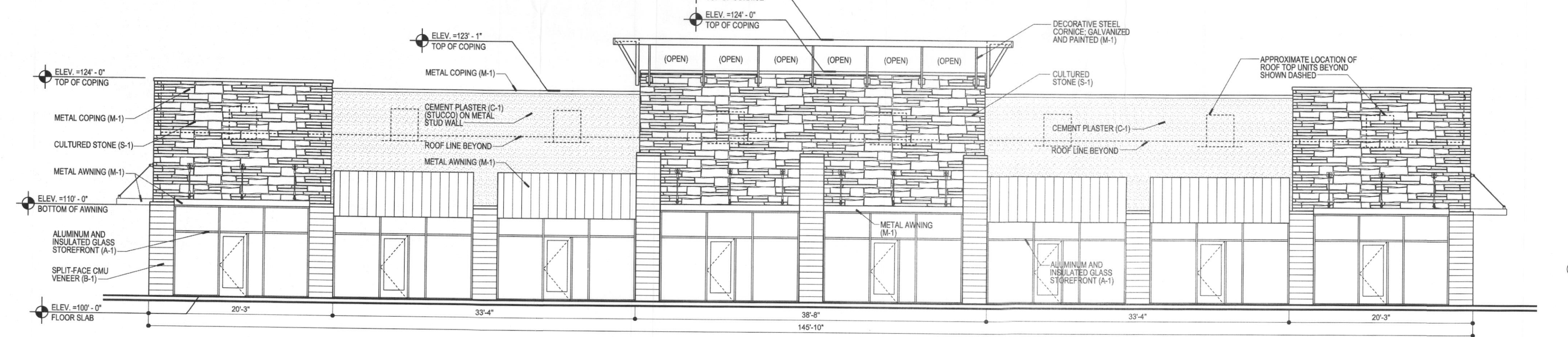
04 East Elevation
 1/8"=1'-0"



03 North Elevation
 1/8"=1'-0"



02 West Elevation
 1/8"=1'-0"



01 South Elevation
 1/8"=1'-0"

MATERIAL	SQ. FT.	PERCENTAGE
SPLIT-FACE CMU	475	41%
CULTURED STONE	256	22%
CEMENT PLASTER	256	22%
COPING	24	2%
METAL AWNING	154	13%
TOTAL AREA	1,165	100%

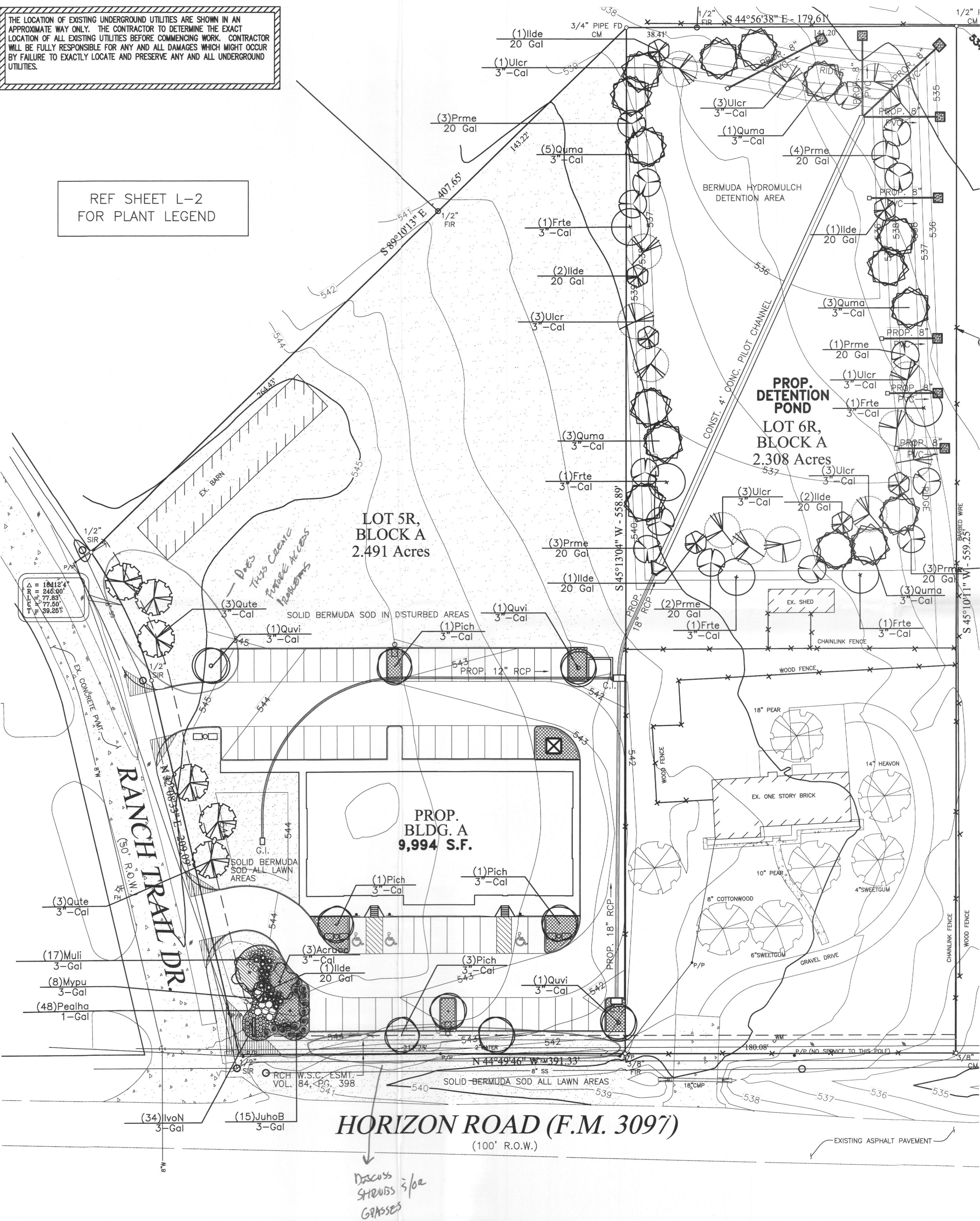
MATERIAL	SQ. FT.	PERCENTAGE
SPLIT-FACE CMU	2,128	73%
CEMENT PLASTER	748	26%
COPING	49	1%
TOTAL AREA	2,924	100%

MATERIAL	SQ. FT.	PERCENTAGE
SPLIT-FACE CMU	475	41%
CULTURED STONE	256	22%
CEMENT PLASTER	256	22%
COPING	24	2%
METAL AWNING	154	13%
TOTAL AREA	1,165	100%

MATERIAL	SQ. FT.	PERCENTAGE
SPLIT-FACE CMU	300	13%
CULTURED STONE	1018	43%
CEMENT PLASTER	616	26%
COPING	49	2%
METAL AWNING	348	15%
METAL CORNICE	38	1%
TOTAL AREA	2,369	100%

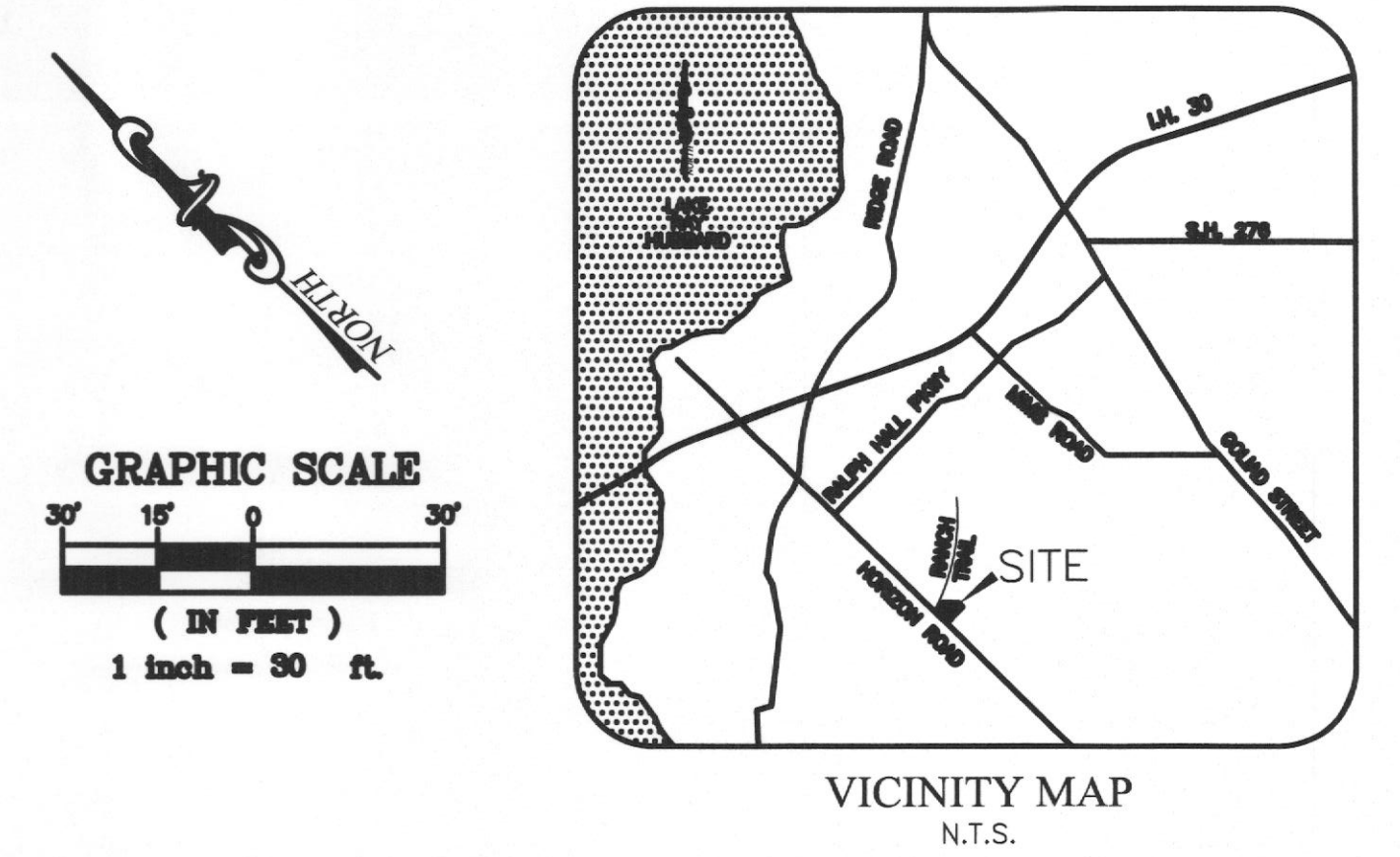
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR WILL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

REF SHEET L-2 FOR PLANT LEGEND



CITY OF ROCKWALL LANDSCAPE REQUIREMENTS		
LANDSCAPE BUFFER	10' LANDSCAPE BUFFER STRIP REQUIRED ALONG PERIMETER	
	REQUIRED	PROVIDED
STREET LANDSCAPING	1 CANOPY TREE FOR EACH 50' OF STREET FRONTAGE	
	REQUIRED	PROVIDED
PARKING LOT LANDSCAPING	5% OR 200 SF (WHICH EVER IS GREATER) IN INTERIOR LANDSCAPING	
	REQUIRED	PROVIDED
PARKING LOT TREES	IF PARKING EXCEEDS 20,000 SF THEN 1 TREE PER 10 SPACES	
	REQUIRED	PROVIDED
PARKING LOT TREES	ALL PARKING SPACES SHALL BE WITHIN 80' OF A TREE	
	REQUIRED	PROVIDED
LANDSCAPE AREA	REQUIRED 15% OF TOTAL SITE IN LANDSCAPE AREA	
	REQUIRED	PROVIDED
LANDSCAPE AREA	50% OF REQUIRED LANDSCAPE AREA IN FRONT YARD	
	REQUIRED	PROVIDED
DETENTION AREA REQUIRED TREES	ONE (1) TREE PER 750 SQ FT OF DETENTION AREA	
	REQUIRED	PROVIDED

- PLANTING NOTES:**
1. PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
 2. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
 3. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
 4. ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
 5. ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
 6. CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
 7. MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
 8. PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
 9. SEE DETAIL SHEET FOLLOWING FOR PLANTING DETAILS.
 10. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
 11. IF EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE AS DIRECTED BY OWNER'S REPRESENTATIVE. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT.
 12. QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
 13. INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
 14. INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURER'S INSTRUCTIONS ON ALL GROUND COVER/SHRUB BEDS WITH A SLOPE OF 4:1 OR GREATER.
 15. AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.



- NOTE:**
1. THE SITE WILL BE IRRIGATED WITH A BELOW GROUND AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE SENSOR, THAT IS CAPABLE OF PROVIDING THE PROPER AMOUNT OF WATER FOR THE PARTICULAR TYPE OF PLANT MATERIAL USED.
 2. THE PROPERTY OWNER IS RESPONSIBLE FOR REGULAR WEEDING, MOWING, IRRIGATION, FERTILIZING, PRUNING AND OTHER MAINTENANCE OF ALL PLANTINGS. THE REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY, GROWING CONDITION AT ALL TIMES AS DEFINED IN ARTICLE VIII, SECTION 9.
 3. ALL LANDSCAPING WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS STATED IN THE CITY LANDSCAPE ORDINANCE, ARTICLE VIII, SECTION 8.
 4. ALL LANDSCAPE AREAS ARE PROTECTED FROM VEHICULAR TRAFFIC BY CONCRETE CURBING.
 5. VISIBILITY TRIANGLES ARE SHOWN AND PROTECTED.
- TREE MITIGATION NOTE:**
1. NO TREES ARE REMOVED FROM SITE

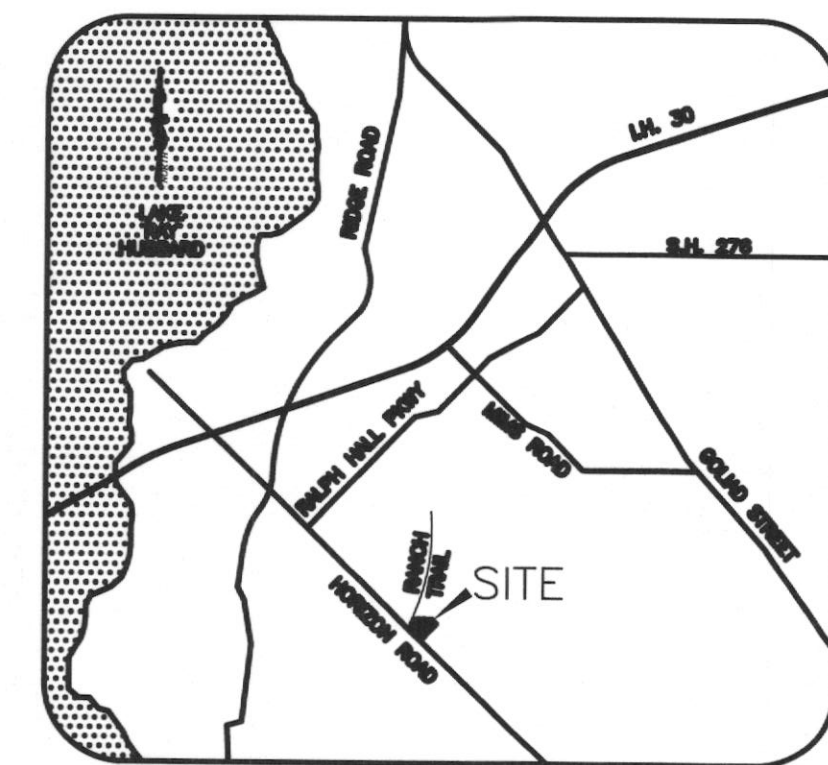
DFL Group, LLC
 PARKS + OPEN SPACE PLANNING · LANDSCAPE ARCHITECTURE
 82338 MID CITIES BLVD, NORTH RICHLAND HILLS TX 76180 817-479-0730
 08/13/09

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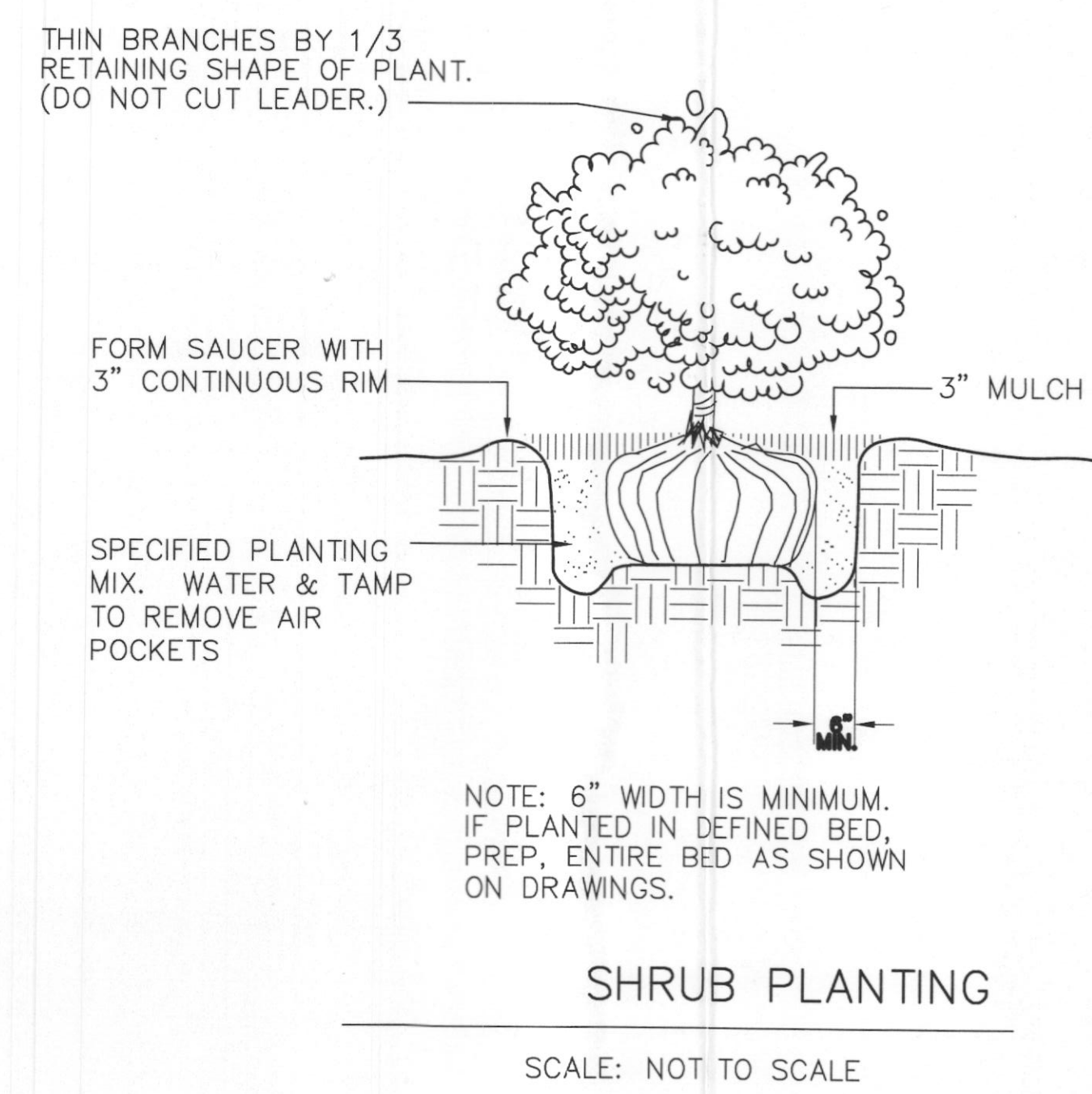
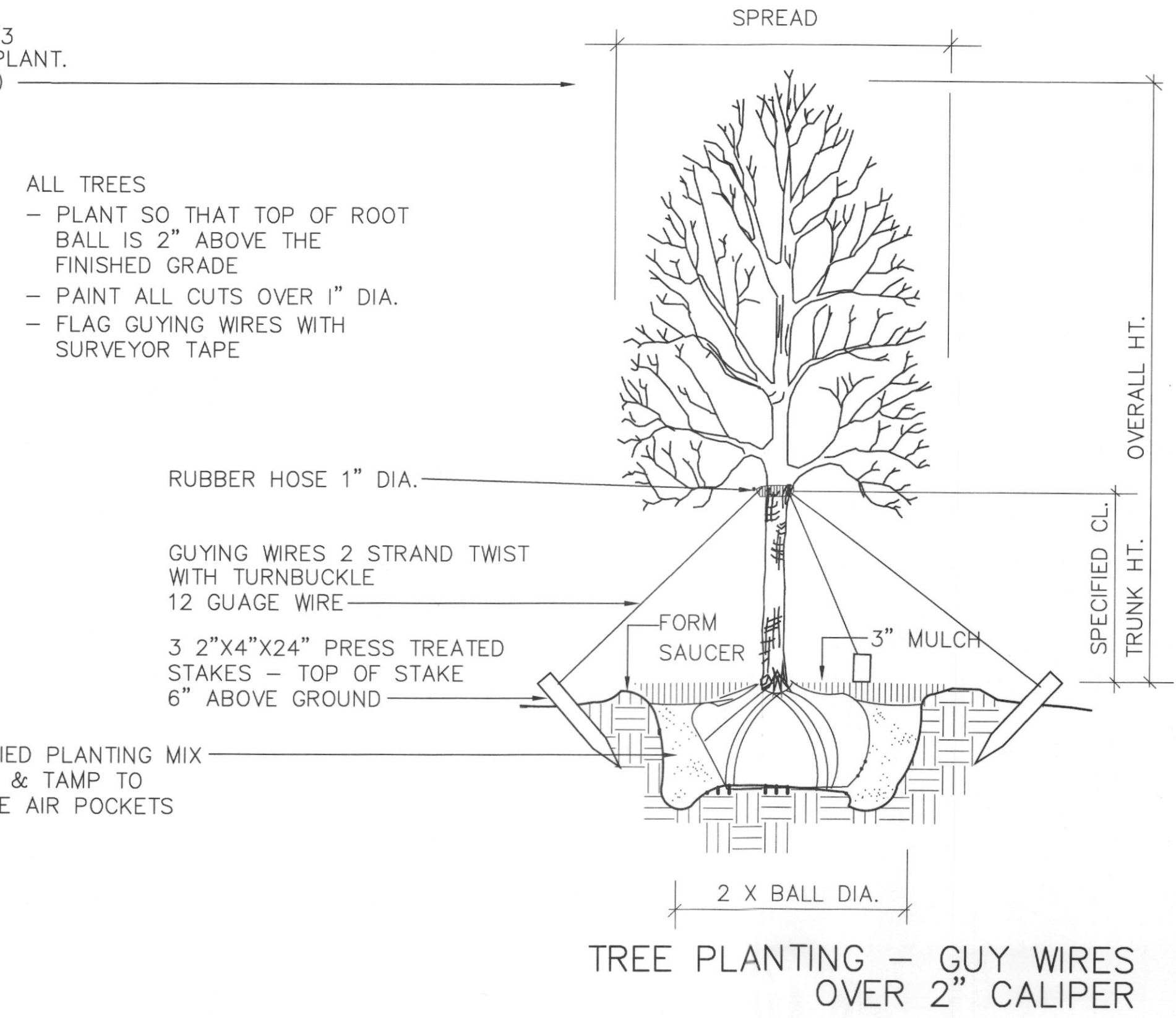
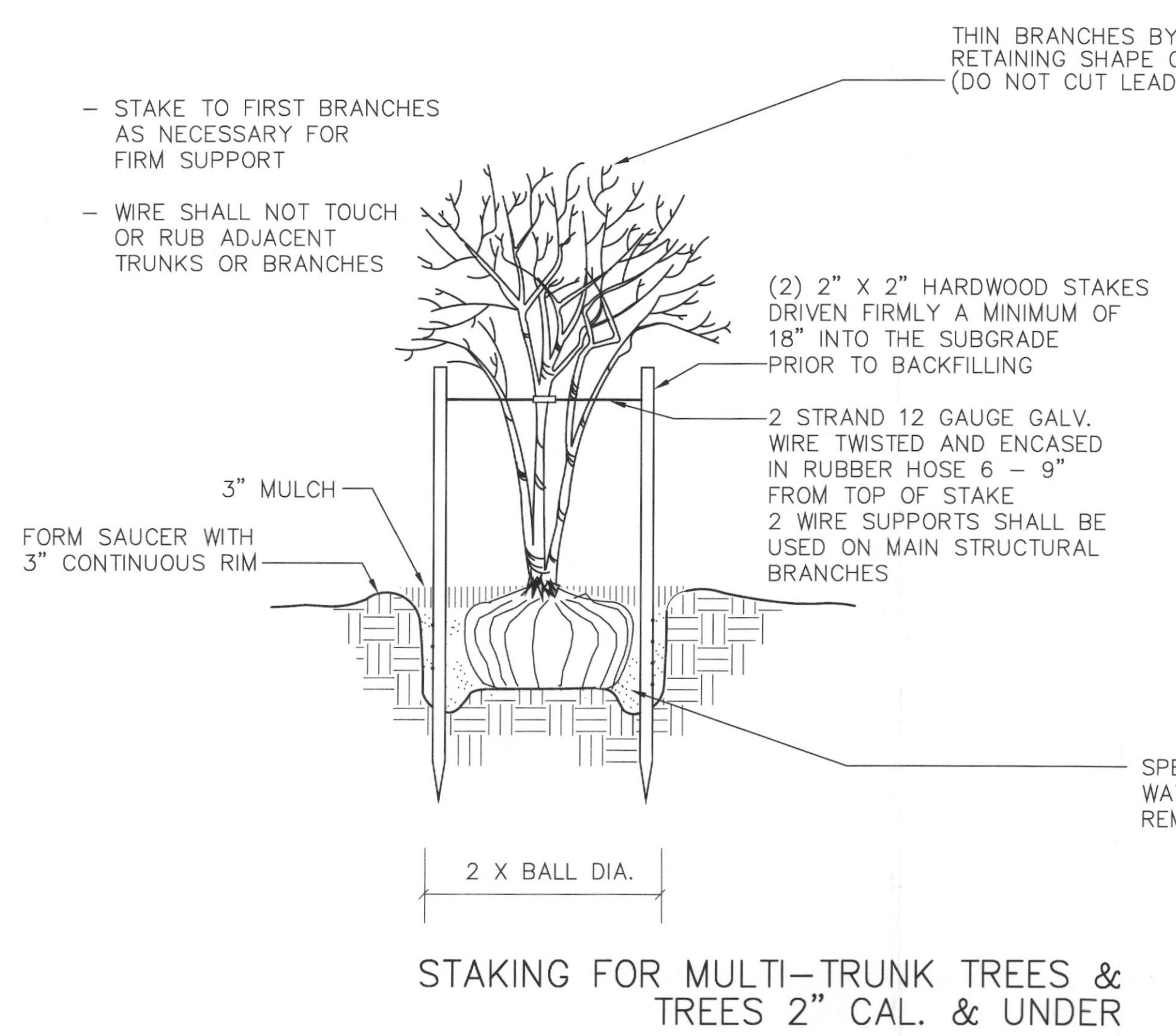
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 Fax: (972) 237-9097 Email: davidwalls@wagobd.net

LANDSCAPE PLAN						
RANCH TRAIL CORNERS						
LOT 5R - RAINBOW ACRES ADDITION						
N.E.C. HORIZON ROAD (F.M. 3097) AND RANCH TRAIL DR.						
CITY OF ROCKWALL, TEXAS						
DESIGN	DRAWN	CHECKED	SCALE	DATE	FILE	SHEET
Walls	Lovechio	Barragan	1" = 40'	05/28/09	9005	L-1

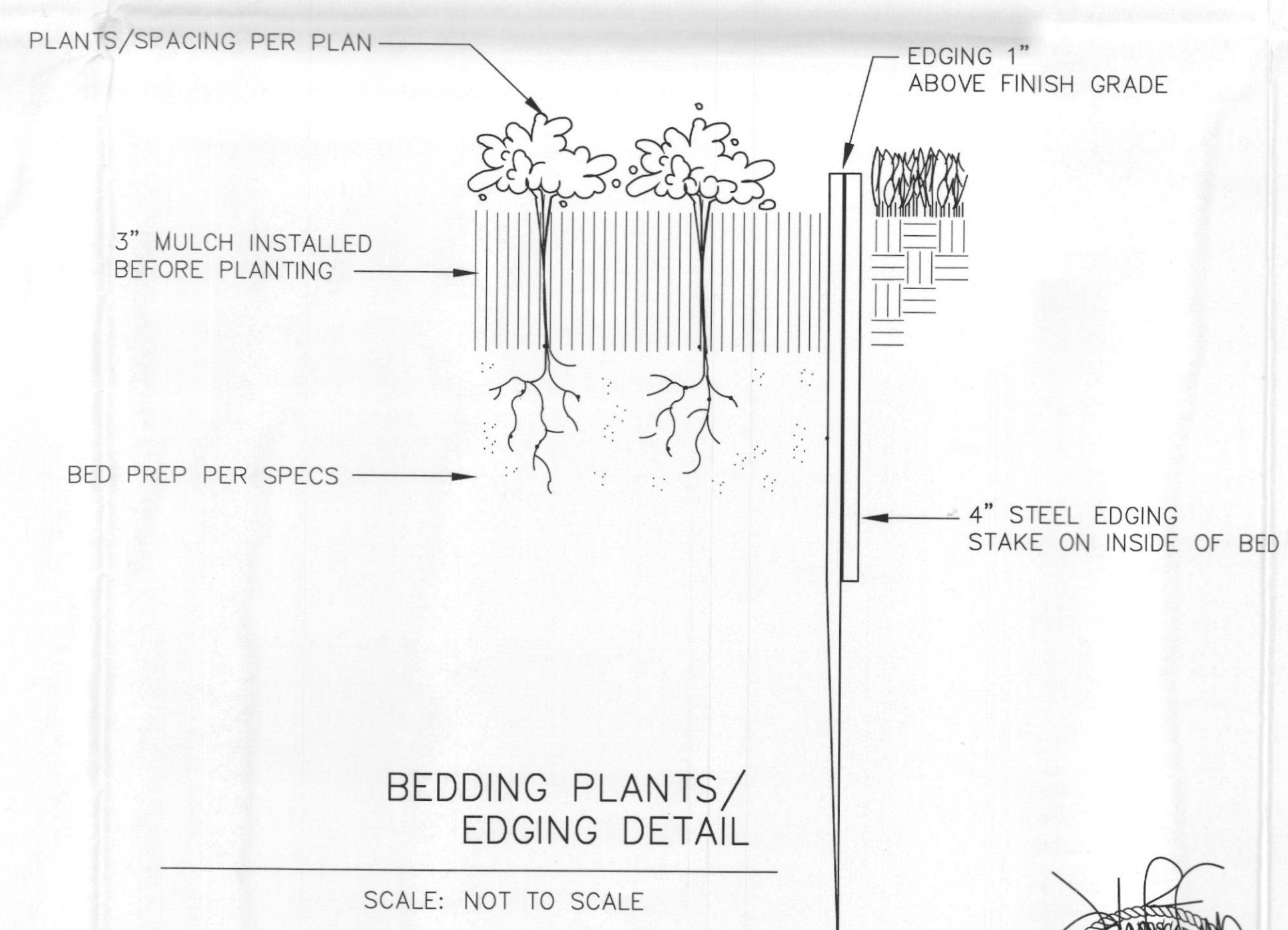


VICINITY MAP
N.T.S.



Plant Table

Quantity	Symbol	Scientific Name	Common Name	Code Name	Planting Size	Comments
8	⊗	Ilex decidua	Possumhaw	Ilde	20 Gal	Female plant
6	⊙	Pistacia chinensis	Chinese pistache	Pich	3"-Cal	B & B
15	⊗	Prunus mexicana	Mexican plum	Prme	2"-Cal	B & B
15	⊗	Quercus macrocarpa	Bur oak	Quma	3"-Cal	B & B
14	⊗	Ulmus crassifolia	Cedar elm	Ultr	3"-Cal	B & B
3	⊗	Acer rubrum 'October Glory'	'October glory' maple	Acruoc	3"-Cal	B & B
5	⊙	Fraxinus texensis	Texas ash	Frte	3"-Cal	B & B
6	⊗	Quercus texana	Texas red oak	Qute	3"-Cal	B & B
3	⊙	Quercus virginiana	Southern live oak	Quvi	3"-Cal	B & B
34	⊙	Ilex vomitoria 'Nana'	Dwarf yaupon	IlvoN	3-Gal	24" O.C.
15	⊙	Juniperus horizontalis 'Bar Harbor'	Bar Harbor juniper	JuhoB	3-Gal	60" O.C.
17	⊙	Muhlenbergia lindheimeri	Muhly grass	Muli	3-Gal	48" O.C.
8	⊙	Myrica pusilla	Dwarf Wax Myrtle	Mypu	3-Gal	48" O.C.
48	⊙	Pennisetum alopecuroides 'Hamelin'	Dwf Fountain Grass	Pealha	1-Gal	24" O.C.
1800	⊙	Euonymus fortunei 'Coloratus'	Purple wintercreeper	Eufo	4" pot	12" O.C.
240	⊙	Liriope spicata	Liriope	Lisp	4" pot	12" O.C.



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PLANTING DETAILS

RANCH TRAIL CORNERS

LOT 5R - RAINBOW ACRES ADDITION

N.E.C. HORIZON ROAD (F.M. 3097) AND RANCH TRAIL DR.

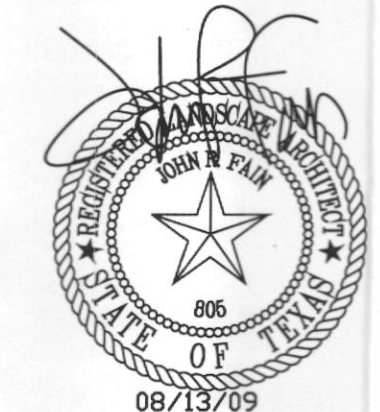
CITY OF ROCKWALL, TEXAS

DESIGN	DRAWN	CHECKED	SCALE	DATE	FILE	SHEET
Walls	Lovecchio	Barragan	H: 1"= 40'	05/28/09	9005	L-2

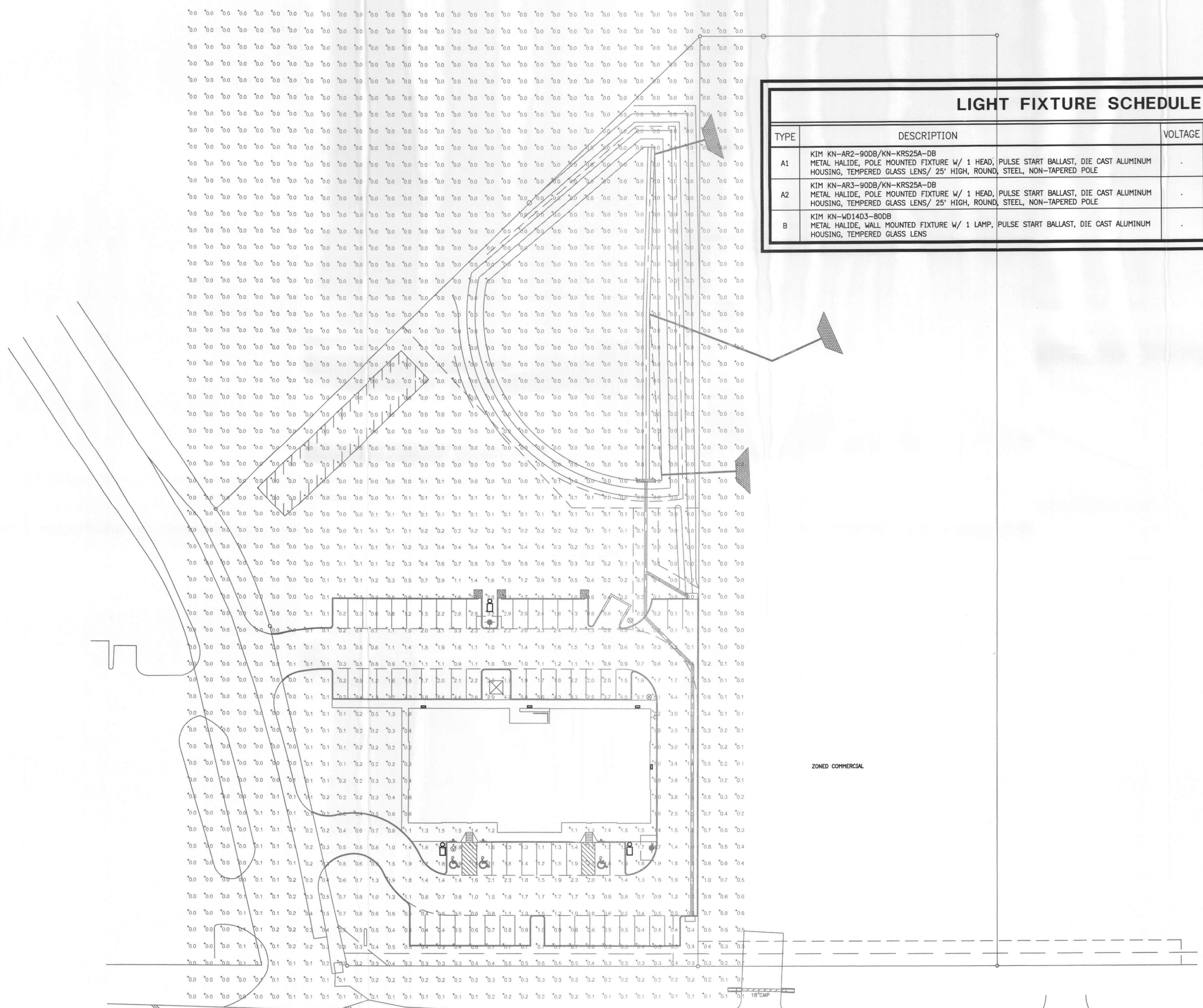
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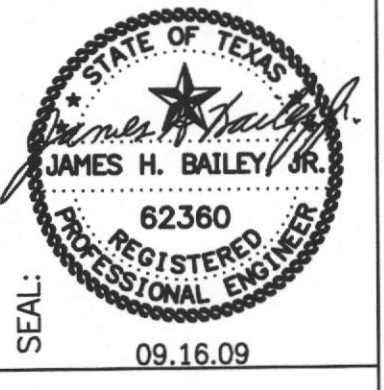


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LIGHT FIXTURE SCHEDULE				
TYPE	DESCRIPTION	VOLTAGE	LAMP(S)	REMARKS
A1	KIM KN-AR2-90DB/KN-KRS25A-DB METAL HALIDE, POLE MOUNTED FIXTURE W/ 1 HEAD, HOUSING, TEMPERED GLASS LENS/ 25' HIGH, ROUND, PULSE START BALLAST, DIE CAST ALUMINUM STEEL, NON-TAPERED POLE	.	(1)MVR250/ HOR/PA	MOUNT POLE ON 36" HIGH (AFG) CONCRETE BASE
A2	KIM KN-AR3-90DB/KN-KRS25A-DB METAL HALIDE, POLE MOUNTED FIXTURE W/ 1 HEAD, HOUSING, TEMPERED GLASS LENS/ 25' HIGH, ROUND, PULSE START BALLAST, DIE CAST ALUMINUM STEEL, NON-TAPERED POLE	.	(1)MVR250/ HOR/PA	MOUNT POLE ON 36" HIGH (AFG) CONCRETE BASE
B	KIM KN-WD14D3-80DB METAL HALIDE, WALL MOUNTED FIXTURE W/ 1 LAMP, HOUSING, TEMPERED GLASS LENS	.	(1)MVR175/ VBU/MEDPA	MOUNT BOTTOM OF FIXTURE AT 12' AFF

1 SITE PLAN - LIGHTING PHOTOMETRICS
SCALE: 1" = 30'-0"



Shell Building For:
Medical Services and Retail
NE Corner of Horizon Road and Ranch Trail
Rockwall, Texas

project no.
09058

Issues/Revisions

5/2009 007



scale verification
0 = 30'

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