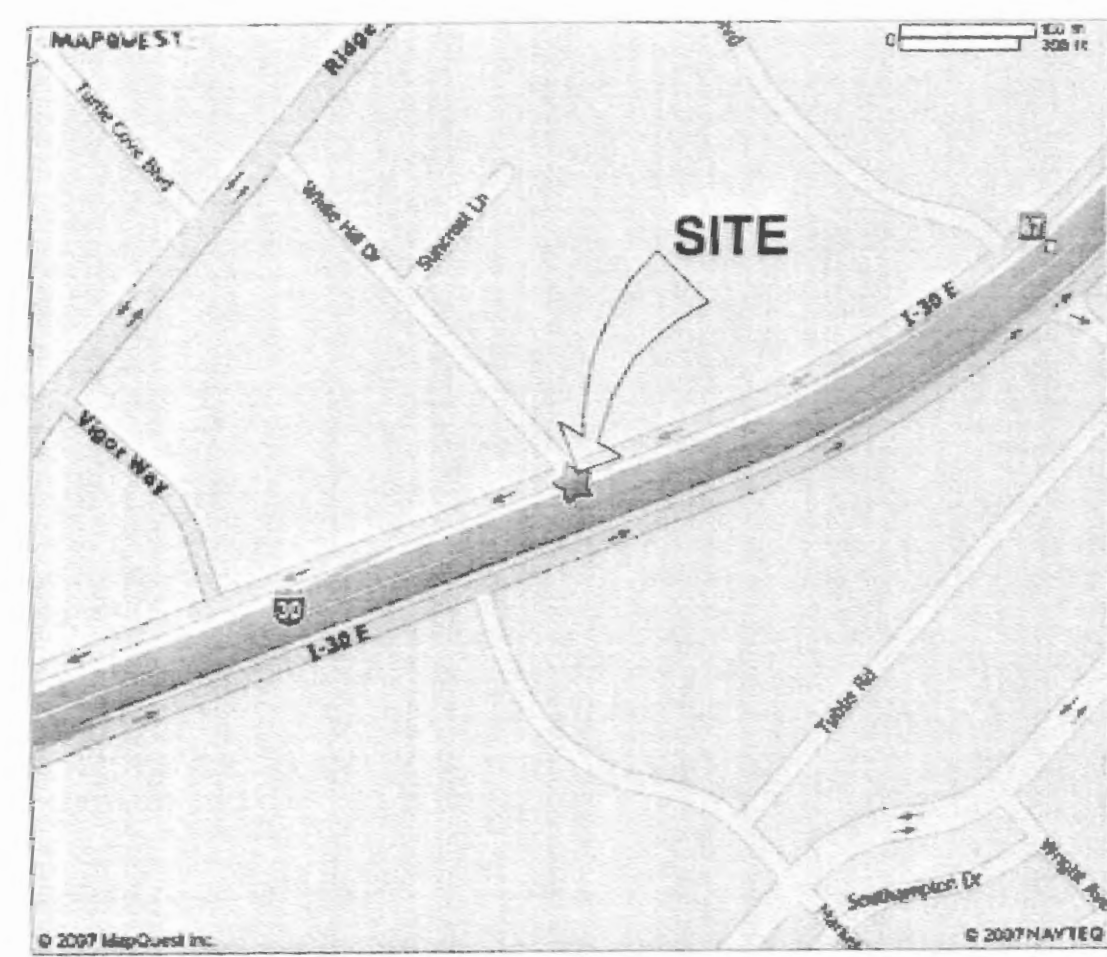
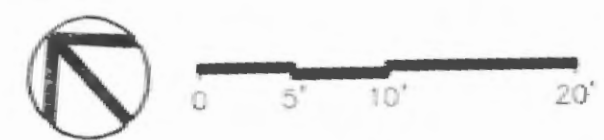
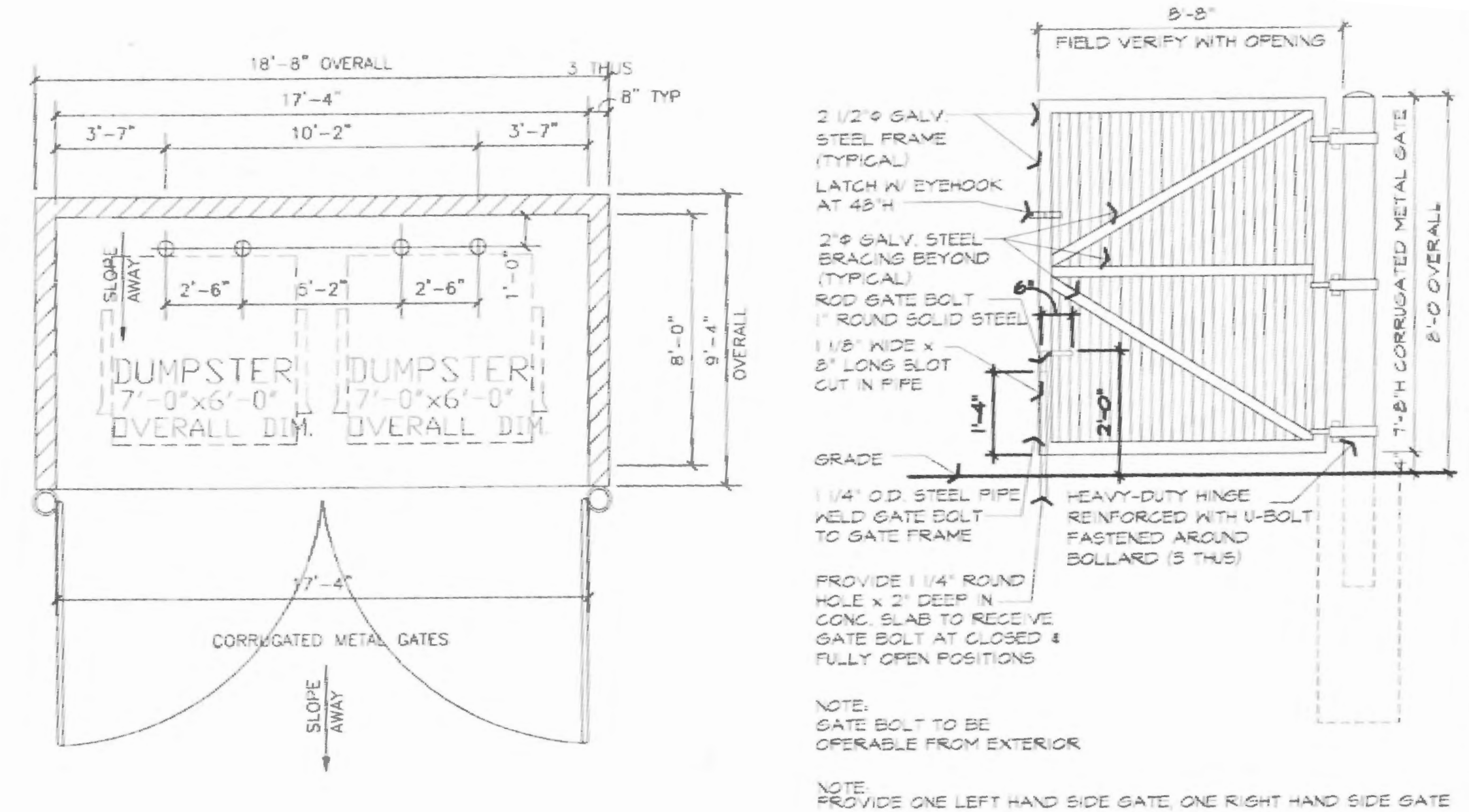


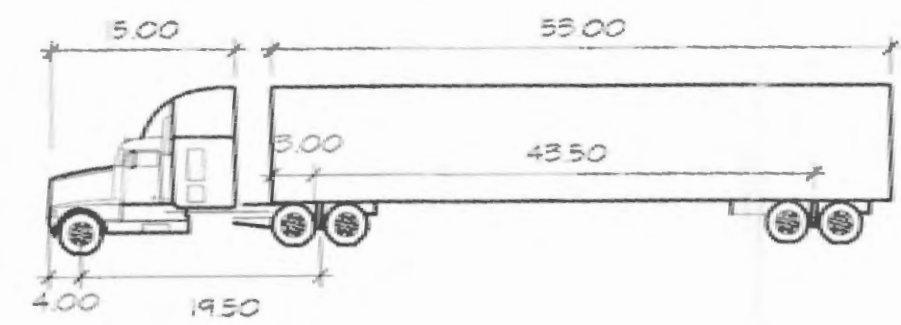
01 CONCEPTUAL SITE PLAN



VICINITY MAP



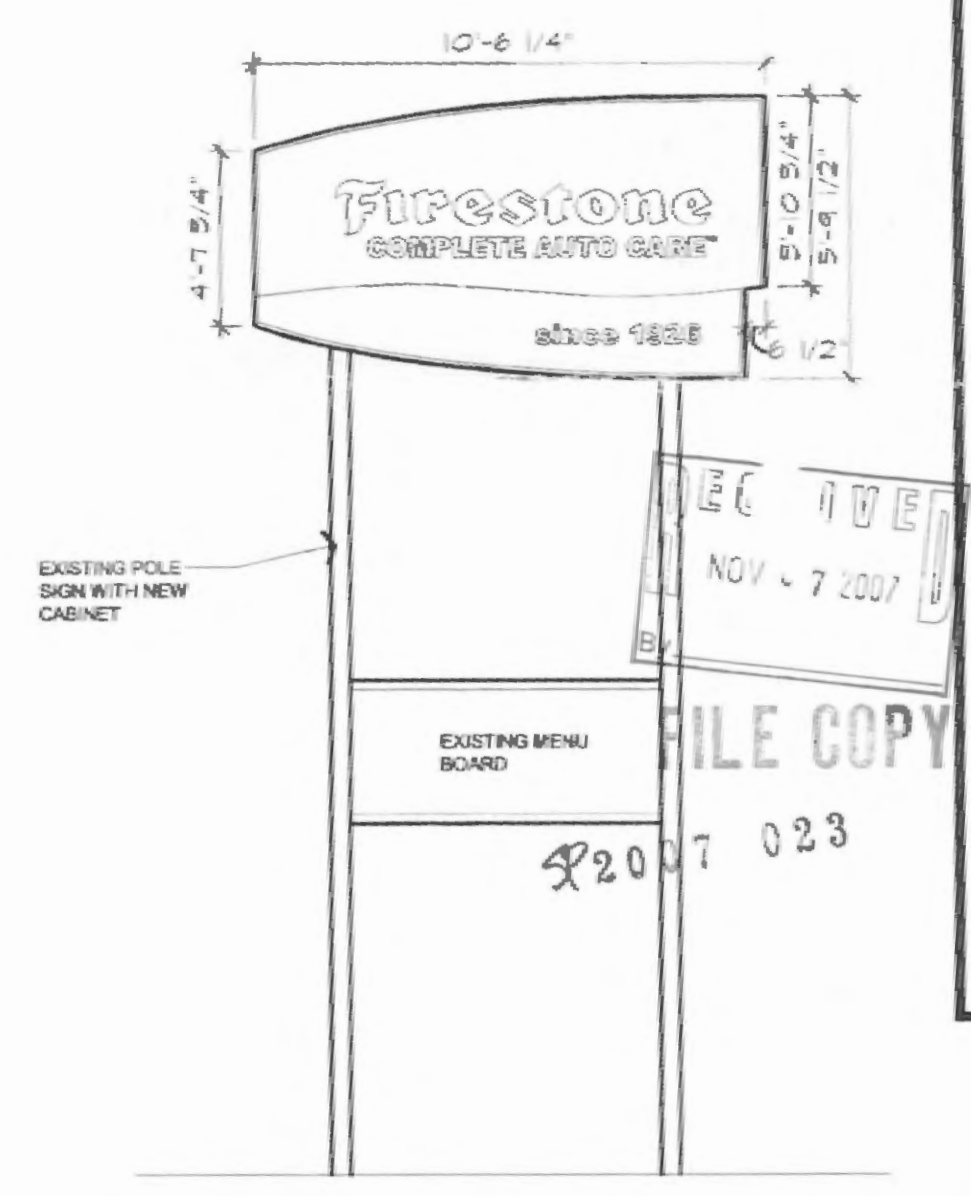
CMU TRASH ENCLOSURE PLAN & DETAIL



TRUCK PROFILE

TIRE CAPACITY:	1,633 TIRES
PARTS SHELVES:	876 L.F.
BUILDING AREAS:	
CUSTOMER WAITING:	953 S.F.
SERVICE AREA:	4,141 S.F.
INVENTORY:	1,872 S.F.
USED INVENTORY:	160 S.F.
OTHERS:	449 S.F.
<b>TOTAL</b>	<b>7,575 S.F.</b>
SITE AREA:	35,376 SF (0.8121 AC)
LOT COVERAGE:	21.4 %
PARKING REQ'D (2 PER BAY):	20 SPACES
PARKING PROVIDED:	29 SPACES

SITE DATA



POLE SIGN DETAIL

**OWNER:**  
 MAYS & COMPANY  
 REAL ESTATE DEVELOPMENT  
 CONTACT: STEVE MEIER  
 5949 SHERRY LANE, STE. 1570  
 DALLAS, TEXAS 75225  
 PHONE: 214-363-8400  
 FAX: 214-363-8409

**ARCHITECT:**  
 NCA ARCHITECTURE  
 CONTACT: KYLE BRUNS  
 12160 N. ABRAMS RD. SUITE 200  
 DALLAS, TEXAS 75243  
 PHONE: 214-361-9901  
 FAX: 214-361-9906

CONTACT INFO

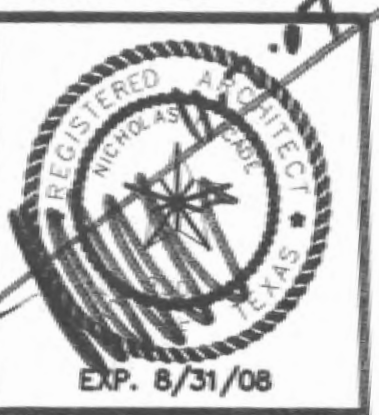
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**FIRESTONE**  
 740 E. INTERSTATE 30  
 ROCKWALL, TX



12160 N. ABRAMS RD.  
 SUITE 200  
 DALLAS, TX 75243  
 214-361-9901  
 214-361-9906 FAX  
 NCAARCHITECTURE.COM



ISSUE DATE:  
 07 NOVEMBER 2007

NCA PLAN NUMBER: 7097  
 SHEET NUMBER: CSP3





**01 WEST ELEVATION**  
1/8"=1'-0"

2555 TOTAL SF	
1508 SF WITHOUT WINDOWS/DOORS	
274 SF STONE	21%
44 SF STUCCO	3%
728 SF CMU	55%

REVISIONS:


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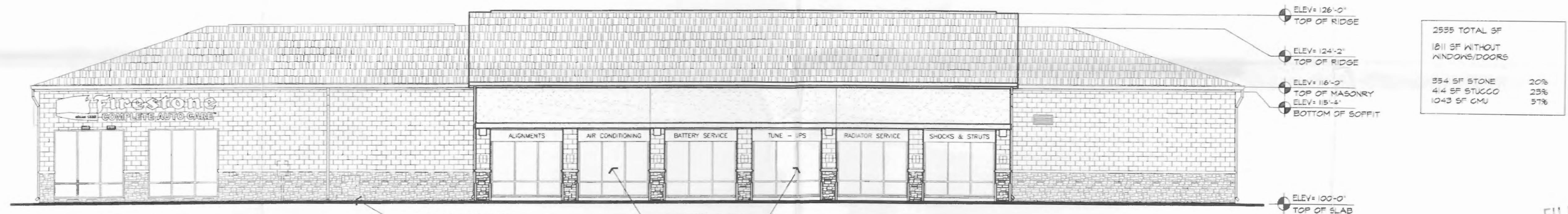
**02 NORTH ELEVATION**  
1/8"=1'-0"  
I-30 & WHITE HILLS DRIVE

788 TOTAL SF	
692 SF WITHOUT WINDOWS/DOORS	
151 SF STONE	23%
43 SF STUCCO	6%
442 SF CMU	71%



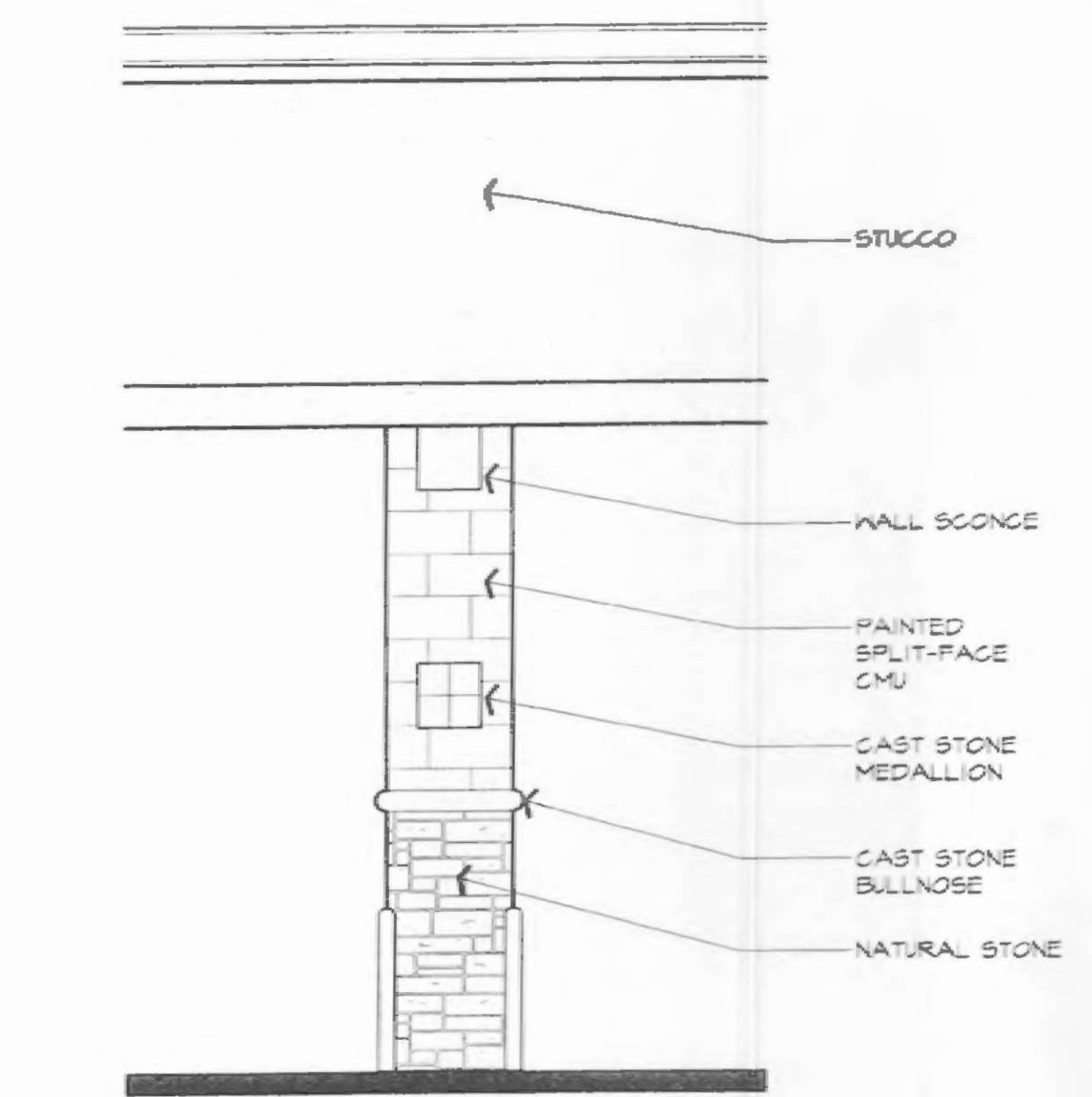
**03 SOUTH ELEVATION**  
1/8"=1'-0"  
I-30 FRONTAGE

788 TOTAL SF	
664 SF WITHOUT WINDOWS/DOORS	
155 SF STONE	24%
42 SF STUCCO	6%
467 SF CMU	70%



**04 EAST ELEVATION**  
1/8"=1'-0"  
WHITE HILLS DRIVE FRONTAGE

2555 TOTAL SF	
1511 SF WITHOUT WINDOWS/DOORS	
354 SF STONE	20%
44 SF STUCCO	23%
1043 SF CMU	57%



**05 COLUMN ELEVATION**  
3/8"=1'-0"

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2007 023



**FIRESTONE**  
740 E. INTERSTATE 30  
ROCKWALL, TX



12160 N ABRAMS RD  
SUITE 200  
DALLAS, TX 75243  
214.361.9901  
214.361.9906 FAX  
NCAARCHITECTURE.COM



ISSUE DATE:  
07 NOVEMBER 2007

NCA JOB NUMBER  
7097  
SHEET NUMBER  
**ELEV**



**CITY OF ROCKWALL - LANDSCAPE STANDARDS**

- MANDATORY PROVISIONS**  
 15% OF SITE TO BE LANDSCAPED (ZONED: COMMERCIAL)  
 TOTAL S.F.: 35,347  
 LANDSCAPE S.F.: 8,947 (25%)
- BUFFER:**  
 10' MIN. BUFFER .....PROV: 20'  
 1- LARGE TREE (3" CAL. MIN.) PER 50 L.F. (INTERSTATE-30) 167.36/ 50 = 3.3 OR .....REQ: 3 PROV: 3  
 (WHITE HILLS DR.) 272.90/ 50 = 5.5 OR .....REQ: 6 PROV: 6  
 SHRUB SCREEN NOT REQ. (VOLUNTARY)
- PARKING LOT:**  
 5% MIN. LANDSCAPED  
 TOTAL S.F.: 29,523  
 LANDSCAPE S.F.: 2,977 (10%)  
 1- LARGE TREE PER 10 SPACES (29 SPACES) 29/ 10 = 2.9 OR .....REQ: 3 PROV: 3
- INTERSTATE 30 OVERLAY:**  
 20' MIN. BUFFER .....PROV: 20'  
 3- LARGE TREES (4" CAL. MIN.) PER 100 L.F. 167.36/ 100 (3) = 4.8 OR .....REQ: 5 PROV: 5  
 4- ACCENT TREES (4' HT. MIN.) PER 100 L.F. 167.36/ 100 (4) = 6.8 OR .....REQ: 7 PROV: 7  
 SHRUBS SCREEN REQ. (30" HT MIN.) ALONG ENTIRE LENGTH OF PROPERTY FRONTAGE. ....PROV: YES

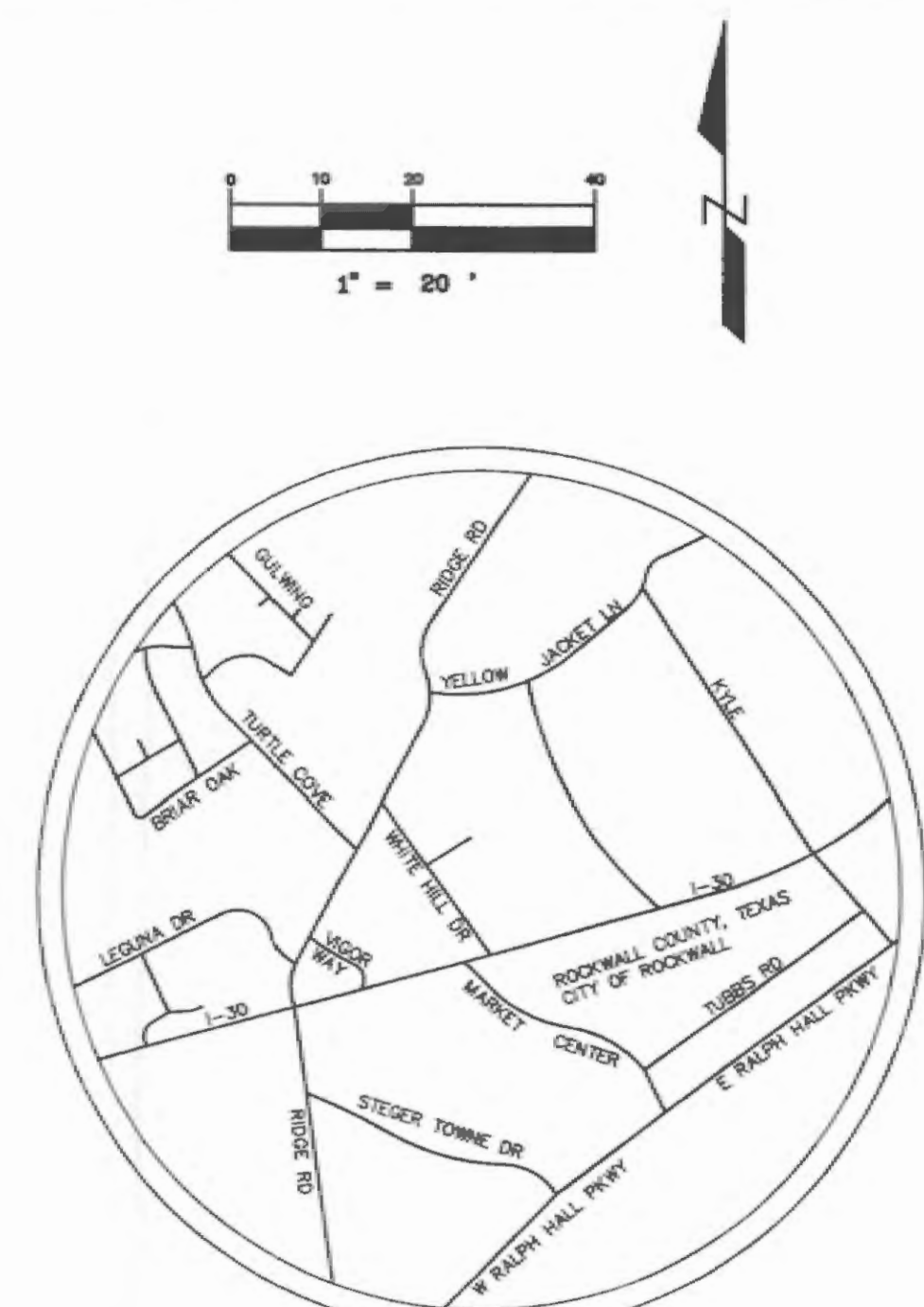
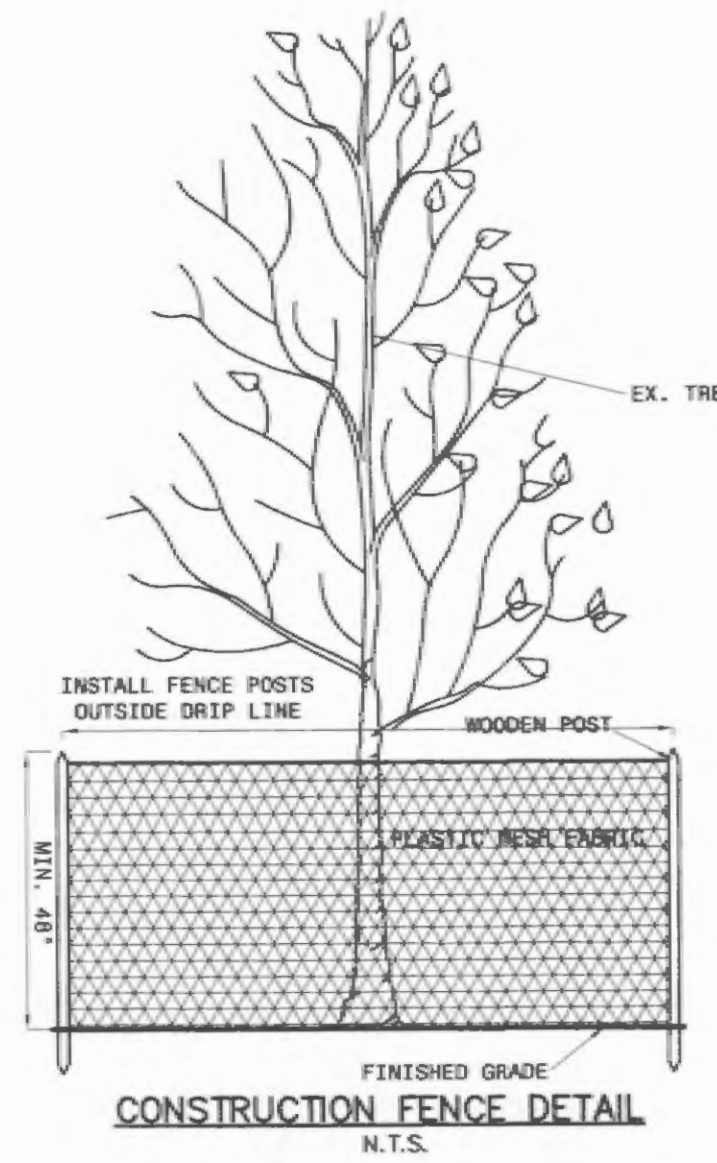
- ALL OPEN SPACES ARE TO BE COVERED BY SOD AS NOTED ON THE PLAN.
- ALL LANDSCAPED AREAS ARE TO BE WATERED BY A AUTOMATIC SPRINKLER SYSTEM ACCOMPANIED WITH A RAIN-FREEZE SENSOR.

**TREE MITIGATION SUMMARY**  
 CITY OF ROCKWALL (ARTICLE IX - TREE PRESERVATION)

- PROTECTED TREES:**  
 TREES 4" CAL. OR GREATER/ HACKBERRY AND CEDAR TREES 11" CAL. OR GREATER.  
 NOT PROTECTED ARE BOIS D' ARC, WILLOW, COTTONWOOD, LOCUST AND CHINABERRY.
- TREE REMOVAL SUMMARY:**  
 HACKBERRY ..... LIVE OAK (6") 3  
 (6") 3
- \*TREES COUNTING TOWARDS MITIGATION**
- REPLACEMENT RATIO:**  
 1:1 FOR 4" - 29"  
 1:2 FOR 30" OR GREATER  
 0.5:1 FOR HACKBERRY AND CEDAR TREES 11" OR GREATER
- TOTAL MITIGATION REQUIRED = 16 CAL. INCHES OR 6 3" CAL. TREES**  
**TREES PROVIDED = 16 CAL. INCHES OR 6 3" CAL. TREES**

**TREE PRESERVATION NOTES**

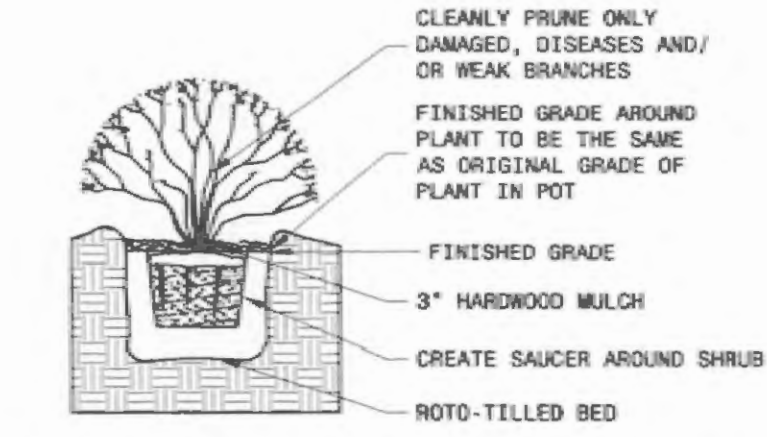
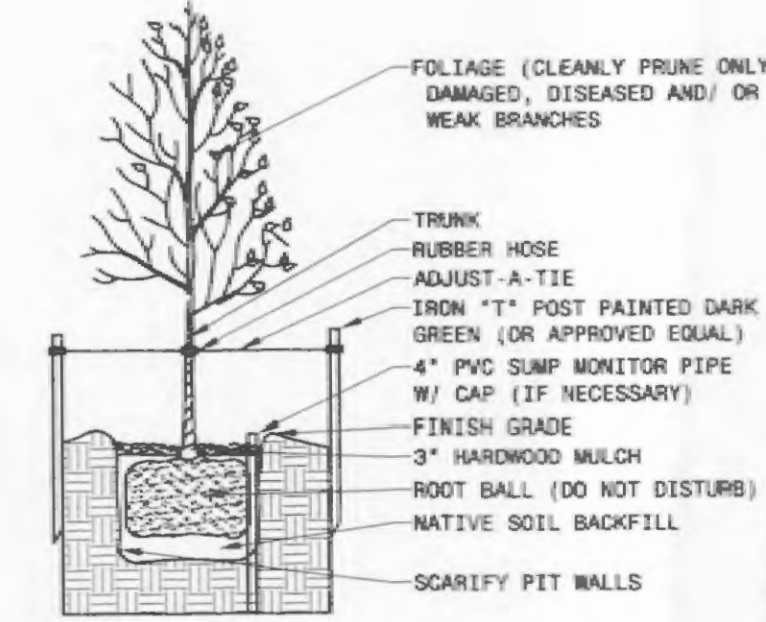
- CONTRACTOR AND DEVELOPER SHALL ADHERE TO THE FOLLOWING TREE PROTECTION MEASURES:
- PRIOR TO GRADING, BRUSH REMOVAL OR CONSTRUCTION, THE DEVELOPER SHALL CLEARLY TAG OR MARK ALL TREES TO BE PRESERVED.
  - "TREE PROTECTION"  
 2. THE DEVELOPER SHALL ERECT A PLASTIC MESH FENCE A MINIMUM OF (4') FOUR FEET IN HEIGHT AROUND EACH TREE OR GROUP OF TREES TO PREVENT THE PLACEMENT OF DEBRIS OR FILL WITHIN THE DRIP LINE.
  - DURING THE CONSTRUCTION PHASE OF DEVELOPMENT, THE DEVELOPER SHALL PROHIBIT CLEANING, PARKING OR STORAGE OF EQUIPMENT OR MATERIALS UNDER THE CANOPY OF ANY TREE OR GROUP OF TREES BEING PRESERVED. THE DEVELOPER SHALL NOT ALLOW THE DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, ETC. IN THE CANOPY AREA.
  - NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
  - NO FILL OR EXCAVATION MAY OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED UNLESS THERE IS A SPECIFIC APPROVED PLAN FOR USE OF THE TREE WELLS OR RETAINING WELLS. MAJOR CHANGES OF GRADE (6" OR GREATER) WILL REQUIRE ADDITIONAL MEASURES TO MAINTAIN PROPER OXYGEN AND WATER EXCHANGE WITH THE ROOTS. IN ADDITION, THE DEVELOPER SHOULD ADHERE TO THE FOLLOWING GUIDELINES TO PROTECT THE TREE OR GROUP OF TREES TO BE PRESERVED:
    - WITH MAJOR GRADE CHANGES, A REINFORCED RETAINING WALL OR TREE WELL OF A DESIGN APPROVED BY THE CITY SHOULD BE CONSTRUCTED AROUND THE TREE NO CLOSER THAN HALF THE DISTANCE BETWEEN THE TRUNK AND THE DRIP LINE. THE RETAINING WALL SHOULD BE CONSTRUCTED SO AS TO MAINTAIN THE EXISTING GRADES AROUND A TREE OR GROUP OF TREES.
    - AT NO TIME SHOULD A WALL, PAVEMENT OR POROUS PAVEMENT BE PLACED CLOSER THAN (3') THREE TO THE TRUNK OF AN EXISTING OR NEW TREE.
    - ROOT PRUNING MAY BE NECESSARY WHEN THE CRITICAL ROOT ZONE IS TO BE DISTURBED.
    - IF A PATIO, SIDEWALK, DRIVE, PARKING LOT OR OTHER PAVED SURFACE MUST BE PLACED WITHIN THE DRIP LINE OF AN EXISTING TREE, MATERIAL SUCH AS A POROUS PAVEMENT OR OTHER APPROVED CONSTRUCTION METHOD THAT WILL ALLOW THE PASSAGE OF WATER AND OXYGEN MAY BE REQUIRED.



**LANDSCAPE NOTES**

- QUANTITIES INDICATED ON PLANT LIST ARE LANDSCAPE DESIGNER'S ESTIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS REQUIRED AT SPACING DESIGNATED FOR BED SIZES AND CONFIGURATIONS SHOWN ON PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT SCHEDULE.
- CONTRACTOR SHALL NOTIFY LANDSCAPE DESIGNER OF ANY DISCREPANCIES, AMBIGUITY OR UNLABELED PLANTS ON PLANS PRIOR TO BID SUBMITTAL. IF DISCREPANCIES, AMBIGUITY OR UNLABELED PLANTS ARE NOT CLARIFIED BY LANDSCAPE DESIGNER PRIOR TO BID SUBMITTAL DATE, CONTRACTOR SHALL NOTE SUCH ITEMS ON BID.
- SOIL AMENDMENTS TO BE "MIXED SOIL WITH COMPOST" AS PRODUCED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL.
- ALL HOLES FOR TREES AND LARGE SHRUBS SHALL BE TESTED FOR WATER RETENTION PRIOR TO TREE OR SHRUB PLANTING. AFTER HOLE IS EXCAVATED, IT IS TO BE FILLED WITH WATER TO THE TOP OF THE EXCAVATION. IF, AFTER 24 HOURS, THE HOLE STILL HOLDS WATER, THE CONTRACTOR SHALL EXCAVATE AN ADDITIONAL 6" FROM THE BOTTOM OF THE HOLE. THE LANDSCAPE CONTRACTOR SHALL THEN INSTALL 6" OF NATIVE WASHED GRAVEL COVERED ON THE TOP (AND UP TO A MINIMUM OF 12" ON THE SIDES OF THE HOLE) WITH FILTER FABRIC. THE CONTRACTOR SHALL ALSO INSTALL A CAPPED 3" DIAMETER PVC SUMP WHICH WILL EXTEND FROM NEAR THE BOTTOM OF THE ROCK LAYER TO 3" ABOVE THE PROPOSED FINISH GRADE SO THE HOLE CAN BE EXCAVATED THROUGH MECHANICAL MEANS.
- MULCH TOP DRESSING TO BE MINIMUM 3" LAYER SHREDDED HARDWOOD, SPREAD UNIFORMLY ON ALL SHRUB AND GROUNDCOVER BEDS ON ALL TREE SPECIES.
- BED EDGING TO BE 1/8"x4" REYERSON ESTATE" TYPE OR APPROVED EQUAL.
- TREE HOLES TO BE EXCAVATED 2" GREATER THAN BALL DIAMETER. BACKFILL NATIVE SOIL.
- ALL TREES SHALL BE PLANTED A MINIMUM OF FIVE FEET CLEAR FROM ANY UTILITIES, EXISTING OR PROPOSED AND TEN FEET CLEAR OF THE BUILDING AND AC UNITS. CALL DIG TESS 48 HOURS BEFORE SCHEDULED PLANTING FOR THE LOCATING OF UTILITIES. UTILITY METER AND VALVE COVERS SHALL NOT BE COVERED BY EARTH OR PLANTINGS.
- ALL PLANTING (TREES, SHRUBS, GROUNDCOVER, AND/OR GRASS APPLICABLE, TO BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- LANDSCAPED AREAS WITH IRRIGATION SHALL BE REQUIRED IN ALL SUBDIVISIONS AND FOR ALL DEVELOPMENT AND CONSTRUCTION AND SHALL BE MAINTAINED FOR ONE YEAR. AFTER A YEAR THE PROPERTY OWNER IS RESPONSIBLE. THESE AREAS SHALL BE ADEQUATELY MAINTAINED AND PROMPTLY REPLACED IF NECESSARY.
- ALL IRRIGATION IS TO BE FITTED WITH A FREEZE GAUGE AND A RAIN GAUGE IN ACCORDANCE WITH CITY STANDARDS. SEE SHEET I.2 FOR MANUFACTURER AND MODEL.

PLANT SCHEDULE (Per City of Rockwall recommended plant list)		MINIMUM PLANTING REQUIREMENTS	
PLANT MATERIALS	Common Name	Scientific Name	Size/Height/Remarks
11	Live Oak	Quercus virginiana	3" cal., 8' ht., Straight Trunk
12	Red Oak	Quercus texana	3" cal., 8' ht., Straight Trunk
7	Crape Myrtle	Lagerstroemia indica	4' ht., Multi Trunk
49	Carrisa Holly	Ilex cornuta 'Clara'	30' ht.
11,500 sf	Common Bermuda	Cynodon dactylon	Sod
2,000 sf	Hardwood mulch	See Details this Sheet	
	Ex. Tree to Preserve	See Detail this Sheet	
	Ex. Tree to Remove		



- NOTES**
- ROTO-TILL 4" COMPOST INTO BED AREAS AND BLEND PRIOR TO BACKFILL.
  - INSTALL PLANT.
  - TOP DRESS A MINIMUM 3" LAYER SHREDDED HARDWOOD MULCH, SPREAD UNIFORMLY.
  - WATER THOROUGHLY AFTER INSTALLATION.
  - FINISH GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT IN POT.

**SHRUB PLANTING DETAIL**  
 N.T.S.

- NOTES**
- REFER TO LANDSCAPE SPECS FOR ADD'L INFORMATION.
  - TREE STAKING IS OPTIONAL. UTILIZE IF AUTHORIZED BY OWNER OR THE SITE CONDITIONS OR TREE TYPE DICTATE.
  - DURING CONSTRUCTION PHASE, ESTABLISH A 4" DIA. WATERING RING TO WATCH ROOT BALL AREA.
  - AFTER CONSTRUCTION PROVIDE IRRIGATION FROM GENERAL SYSTEM OVERSPRAY OR DIRECTLY FROM A SUBLER.
  - CONFIRM SODD DRAINAGE. CONSTRUCT A DRAINAGE PIER THROUGH HARDPAN IF POOR DRAINAGE EXISTS.

**TREE PLANTING DETAIL**  
 N.T.S.

**PLANNING APPROVAL**

JUN 02 2008

Planner

**ANDERSON LAND DEVELOPMENT SERVICES**  
 LANDSCAPE & IRRIGATION DESIGN & INSTALLATION  
 CAD PRODUCTION  
 CONSULTING \* DESIGNING \* PLANNING \* INSTALLING  
 6301 STONEMOOD DR. SUITE 1423  
 PLANO, TEXAS 75024  
 (ph) 214-893-0007  
 (e-mail) aids007@airmail.net

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**TOMDEN ENGINEERING, L.L.P.**  
 12655 N. Central Expwy., Suite 1016  
 Dallas, Texas 75243  
 Ph: 972.386.6446 Fax: 972.386.6409  
 mail@tomden.com

**Mays & Company**  
 Real Estate Development  
 9608 Shaw Blvd., Suite 100, Dallas, TX 75218  
 Phone: (972) 355-9400 Fax: (972) 355-9400

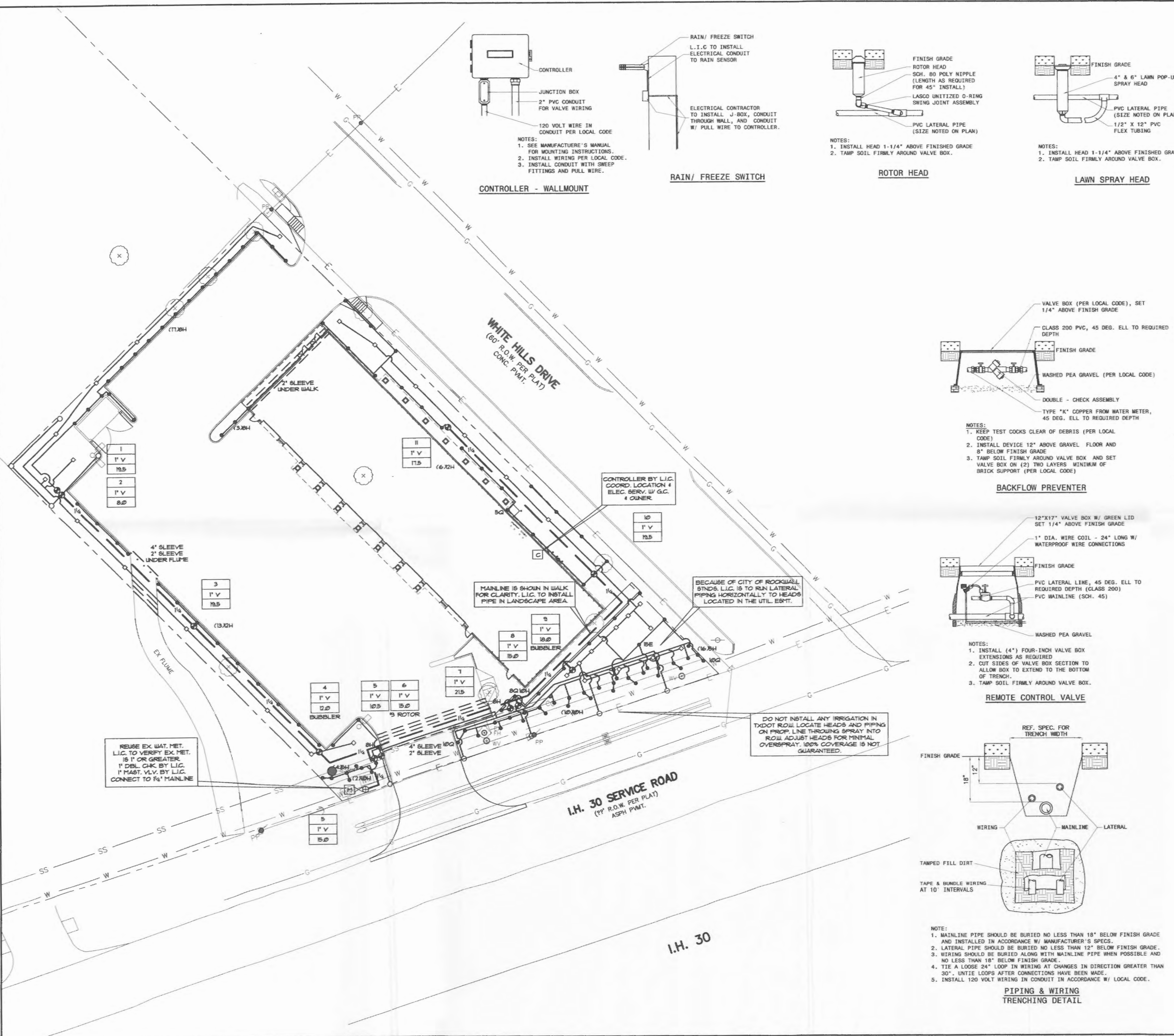
**LANDSCAPE PLAN**  
 FIRESTONE  
 LOT 1, BLOCK A  
 DERRICK ADDITION  
 ROCKWALL, TEXAS

Scale: 1" = 20'  
 Designed by: J.K.A.  
 Drawn by: CAD  
 Checked by: J.K.A.  
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 02/01/08

SHEET  
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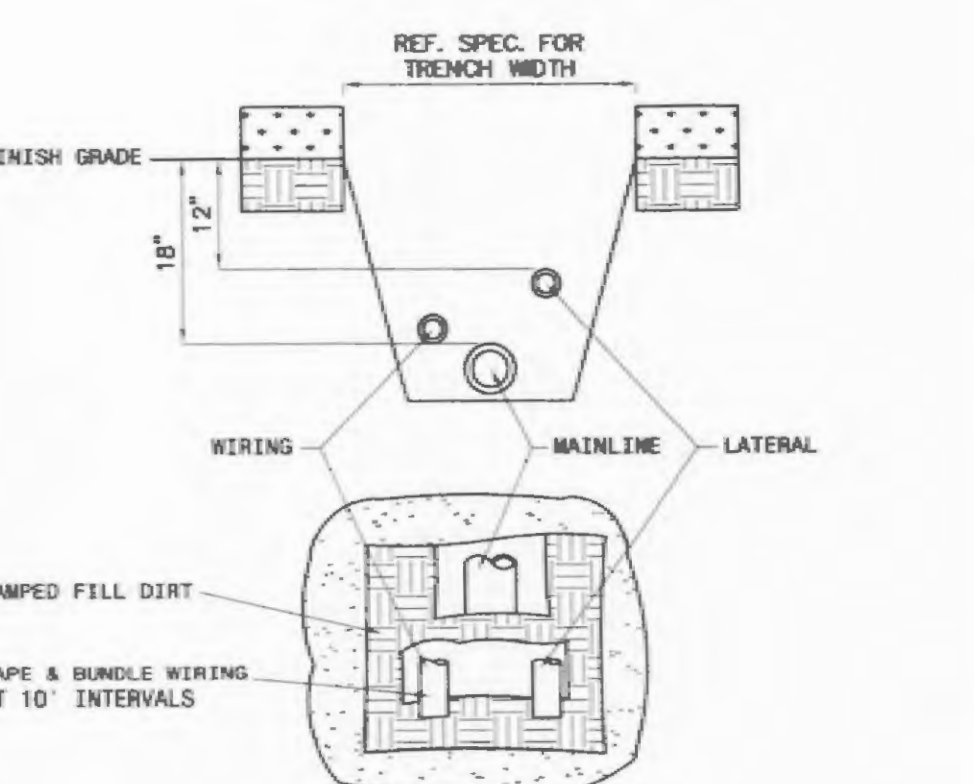
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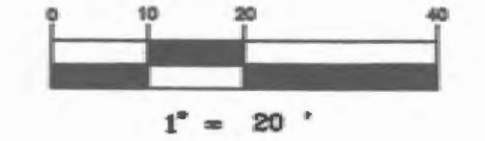
**IRRIGATION SYMBOLS & LEGEND**

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
●	LAWN SPRAY HEAD	RAINBIRD	#1804 SAM-PRS SERIES w/ MPR NOZZLES
○	BUBBLER SPRAY HEAD	RAINBIRD	#1804 SAM-PRS SERIES w/ BUBBLER NOZZLE
○	SMALL ROTOR HEAD	HUNTER	PCM-04-A-SJV NOZZLES AS SHOWN
⊕	REMOTE CONTROL VALVE	RAINBIRD	PEB SERIES SIZED AS SHOWN
⊕	MASTER CONTROL BALL VALVE	RAINBIRD	BV SERIES SIZED AS SHOWN
⊕	WATER METER		PER LOCAL CODE BY OTHER TRADES
⊕	DOUBLE CHECK ASSEMBLY	FESCO	805Y
⊕	CONTROLLER	RAINBIRD	ESP SERIES W/ IRRITROL RAIN-FREEZE COMBO
— 1/4" —	MAINLINE PIPING	REFER TO PLAN	SCH. 40 PVC, SIZED AS SHOWN
— — —	LATERAL PIPING	REFER TO PLAN	CLASS 200 PVC, SIZED AS SHOWN
— 4" SLEEVE —	SLEEVE PIPING	REFER TO PLAN	SCH. 40 PVC, SIZED AS SHOWN
⊕	VALVE STATION #		
1" V	VALVE SIZE		
19.5	GPW		

- IRRIGATION NOTES**
- COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR TO ENSURE ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
  - VERIFY STATIC PRESSURE TEN DAYS PRIOR TO THE START OF CONSTRUCTION. IF STATIC PRESSURE IS LESS THAN 60.0 PSI, DO NOT START WORK UNTIL NOTIFIED TO PROCEED BY THE OWNER.
  - PERFORM ELECTRICAL WORK IN ACCORDANCE WITH LOCAL BUILDING CODE. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITHIN FIVE (5') FEET OF CONTROLLER LOCATION BY OTHER TRADES.
  - ALL 24 VOLT LEAD AND COMMON VALVE WIRING SHALL BE A MINIMUM OF UF-14 GA. SINGLE CONDUCTOR. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR PROPER WIRE SIZING. WIRES SHALL BE SPLICED TOGETHER WITH WATERPROOF CONNECTORS.
  - ROUTE COMMON WIRE FROM CONTROLLER TO REMOTE SENSORS IN SERIES PRIOR TO CONNECTING TO REMOTE CONTROL VALVES.
  - INSTALL REMOTE CONTROL VALVES IN 12" X 17" VALVE BOXES PER DETAIL SHOWN.
  - LATERAL PIPING SHALL HAVE A MINIMUM OF 12" OF COVER AND BE CLASS 200. MAINLINE AND PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18" OF COVER AND BE SCH. 40 PVC AND SIZED AS SHOWN ON THE PLAN. PIPING PER DETAIL SHOWN.
  - SLEEVES SHALL BE SCH. 40 PVC, SIZED AS SHOWN ON THE PLANS AND INSTALLED BY OTHER TRADES.
  - CONNECT LAWN AND HIGH-POP LAWN SPRAY HEADS TO LATERAL PIPE WITH 1/2" X 12" PVC FLEX TUBING. USE BOTTOM INLET ONLY. PER DETAIL SHOWN.
  - IF IRRIGATION PIPE AND VALVES ARE SHOWN OUTSIDE OF PROPERTY LINES IT IS FOR CLARITY PURPOSES ONLY. ALL IRRIGATION EQUIPMENT IS TO BE INSTALLED WITHIN STREET CURBS, LANDSCAPE EASEMENTS, RIGHT-OF-WAYS, PROPERTY LINES, ETC.
  - THIS LANDSCAPE IRRIGATION SYSTEM IS DESIGNED FOR 100% COVERAGE OF ALL LANDSCAPED AREAS. IF ANY CHANGES ARE NECESSARY IN THE FIELD IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR.
  - DUE TO 100% COVERAGE AND ANY OTHER UNCONTROLLABLE CIRCUMSTANCE, THIS IRRIGATION SYSTEM MAY SPRAY OUTSIDE OF ITS INTENDED BOUNDARIES. THIS MAY CAUSE SLIPPERY CONDITIONS ON PAVED SURFACES. IRRIGATION CONTRACTOR IS TO ADJUST NOZZLES TO MINIMIZE OVERSPRAY.
  - BECAUSE CHANGES TO THE FINAL PLAN MAY BE NECESSARY IN THE FIELD, THE IRRIGATION CONTRACTOR IS REQUIRED TO SUBMIT AN AS-BUILT PLAN TO ALL AGENTS WHO HAVE DESIGN RESPONSIBILITIES FOR THIS PROJECT. THIS INCLUDES THE CITY PLANNING OFFICIAL, THE ENGINEER, THE LANDSCAPE DESIGNER, AND THE IRRIGATION DESIGNER.
  - NOZZLE LEGEND: SYMBOL = ARC RADIUS  
F = 100%, E = 75%, C = 66%, H = 50%, B = 33%, Q = 25%.  
ALL NOZZLE ARCS ARE 15' IN RADIUS UNLESS NOTED OTHERWISE ON THE PLAN.

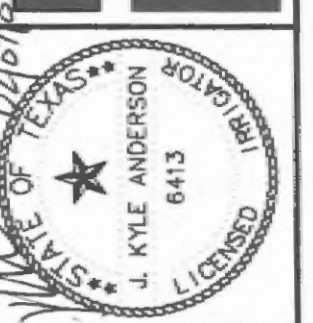


- NOTE:**
- MAINLINE PIPE SHOULD BE BURIED NO LESS THAN 18" BELOW FINISH GRADE AND INSTALLED IN ACCORDANCE W/ MANUFACTURER'S SPECS.
  - LATERAL PIPE SHOULD BE BURIED NO LESS THAN 12" BELOW FINISH GRADE.
  - WIRING SHOULD BE BURIED ALONG WITH MAINLINE PIPE WHEN POSSIBLE AND NO LESS THAN 18" BELOW FINISH GRADE.
  - TIE A LOOSE 24" LOOP IN WIRING AT CHANGES IN DIRECTION GREATER THAN 30°. UNTIE LOOPS AFTER CONNECTIONS HAVE BEEN MADE.
  - INSTALL 120 VOLT WIRING IN CONDUIT IN ACCORDANCE W/ LOCAL CODE.



NO.	DATE	NOTE	APP.

**TOMDEN ENGINEERING, L.L.P.**  
12655 N. Central Expwy., Suite 1016  
Dallas, Texas 75243  
Ph: 972.386.6446 Fax: 972.386.6409  
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**Mays & Company**  
Real Estate Development  
9640 Sherry Lane, Suite 1070, Dallas, Texas 75228  
Phone: (214) 383-9600 Fax: (214) 383-9609

**IRRIGATION PLAN**  
FIRESTONE  
LOT 1, BLOCK A  
DERRICK ADDITION  
ROCKWALL, TEXAS

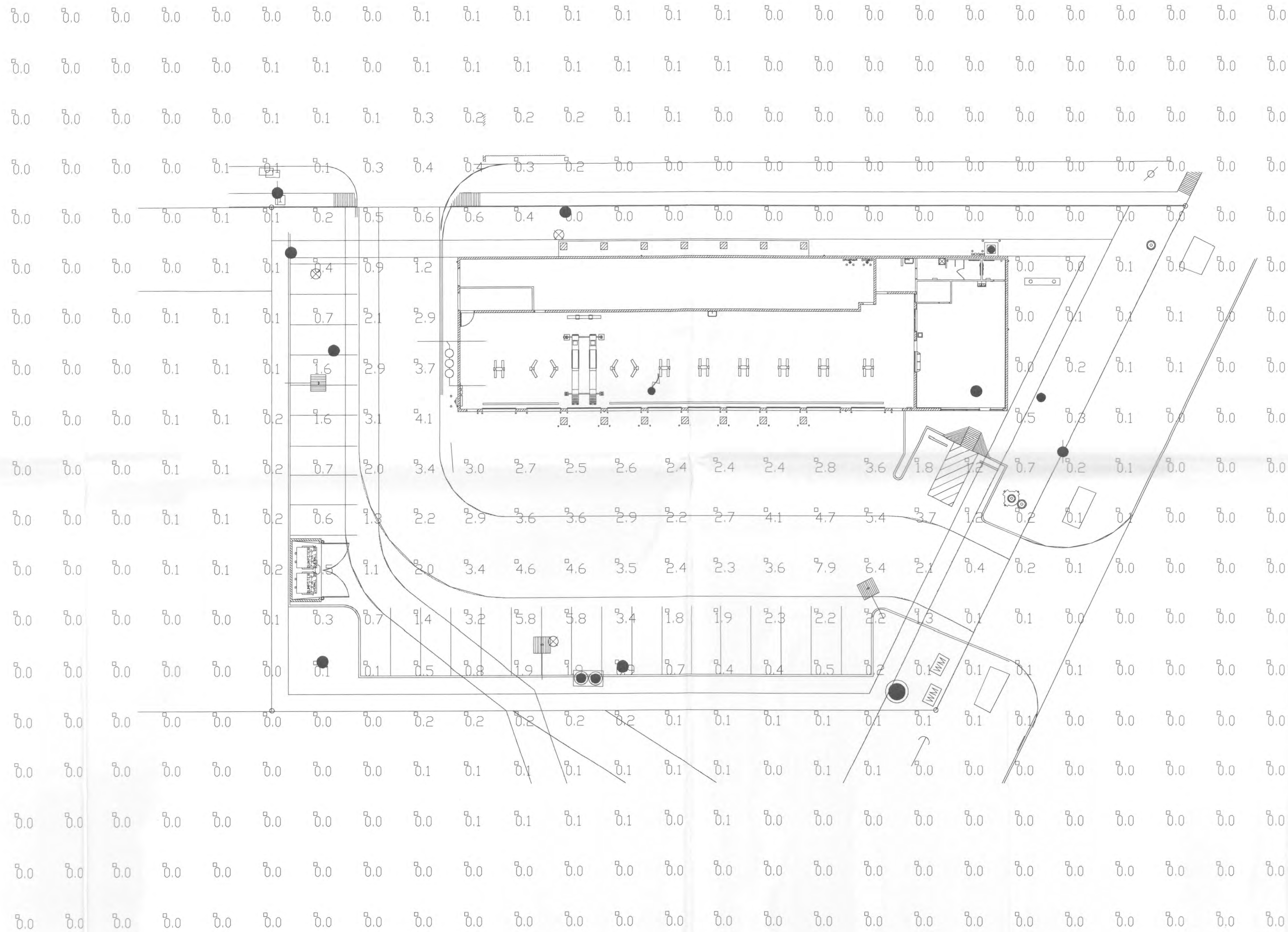
PLANNING APPROVAL  
JUN 02 2008  
Planner

**ANDERSON LAND DEVELOPMENT SERVICES**  
LANDSCAPE & IRRIGATION DESIGN & INSTALLATION  
SITE DEVELOPMENT & CAD PRODUCTION  
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6301 STONEWOOD DR. SUITE 1423  
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(email) aids007@aolmail.net

Scale: 1" = 20'  
Designed by: J.K.A.  
Drawn by: CAD  
Checked by: J.K.A.  
S:\LP 2007\268-33\dwg\01L00L.dwg  
02/01/08



REVISIONS		
REV #	DATE	BY:
1	11/7/07	J.P.



WLS LIGHTING SYSTEMS

FIRESTONE  
ROCKWALL, TX

800-633-8711    BY: J.P.    SHEET 1 OF 1

DATE - 10/18/07    SCALE 1"=20'

WLS-5346    PM: STEVE

Label	Avg	Max	Min	Avg/Min	Max/Min
OVERALL SUMMARY	2.43	7.9	0.1	24.30	79.00

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
	3	A	SINGLE	82000	0.800	WLS-FVR-FP-750-PSMH-FG-GS 25' POLE 2.5' BASE

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

