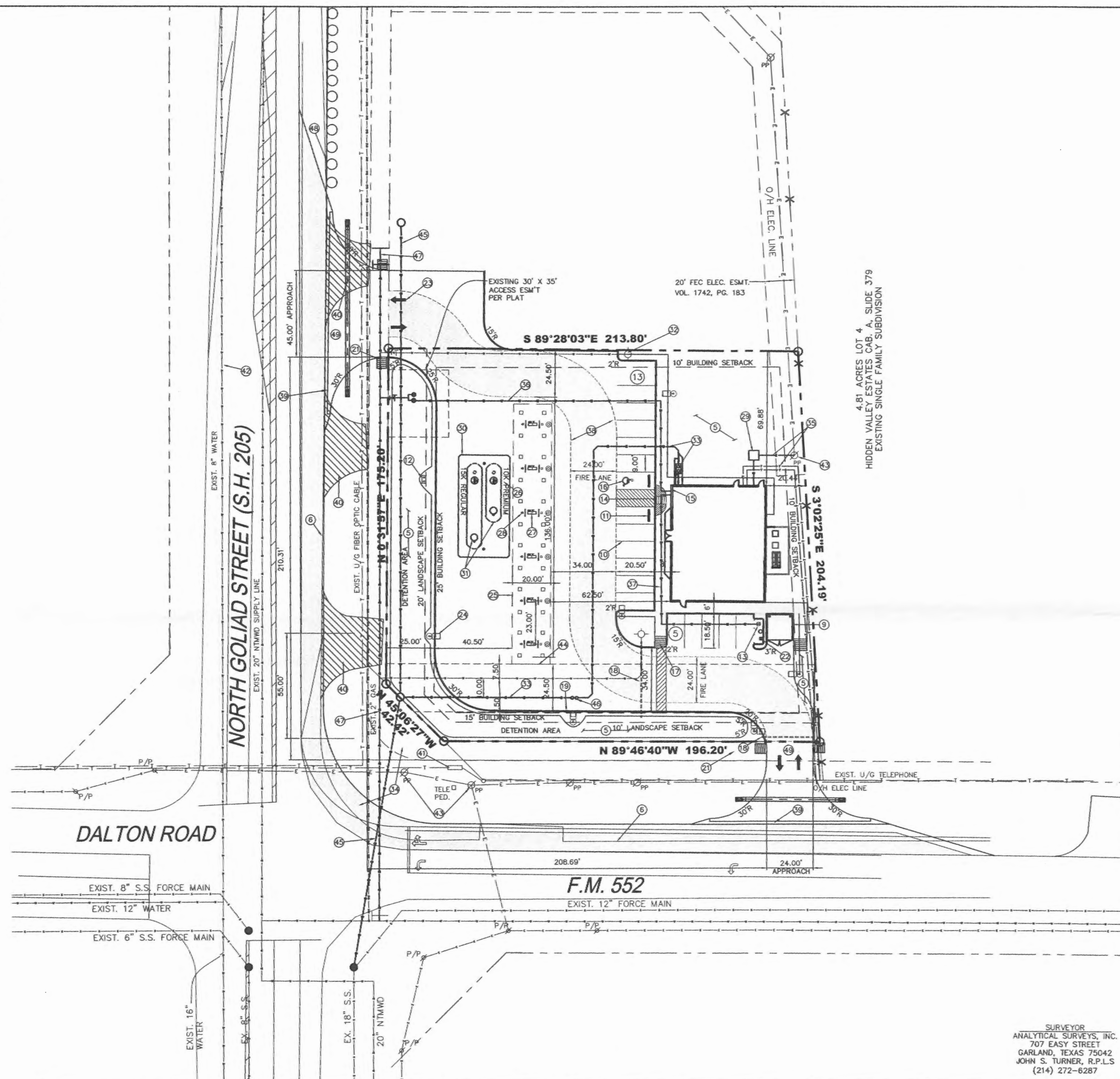


PROPOSED WATER METER SCHEDULE

| ID | Type | Size |
|----|------|------|
| ① | DOM. | 1" |
| ② | IRR. | 1" |



- GENERAL NOTES**
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR HIS MEANS AND METHODS OF CONSTRUCTION, JOB SITE CONDITIONS AND JOB SITE SAFETY, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS. THE CONTRACTOR SHALL SAVE, PROTECT, INDEMNIFY DEFEND AND HOLD HARMLESS THE OWNER, THE ARCHITECT AND THE ENGINEER FROM ANY CLAIM OF LIABILITY, REAL OR ALLEGED, ARISING OUT OF THE PERFORMANCE OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL NAME THE OWNER, THE ARCHITECT AND THE ENGINEER AS "ADDITIONAL INSURED" ON HIS INSURANCE POLICIES.
 - EXISTING ABOVE GROUND UTILITIES HAVE BEEN SHOWN BASED ON INFORMATION SHOWN ON A SURVEY OF THE PROPERTY. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORDED DATA AND MAY NOT BE COMPLETE OR EXACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL ABOVE GROUND AND UNDERGROUND UTILITIES PRIOR TO SETTING THE FINISH GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING ABOVE GROUND OR UNDERGROUND UTILITIES, INCLUDING THOSE NOT SHOWN ON THE PLANS. THE CONTRACTOR IS ADVISED TO CONTACT THE CITY AND ALL FRANCHISE UTILITY COMPANIES, EASEMENT HOLDERS, ETC. AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION IN THE VICINITY OF ANY UNDERGROUND UTILITY.
 - THE CONTRACTOR SHALL COMPLY WITH ALL BUILDING CODES AND REGULATIONS, FEDERAL, STATE, COUNTY, AND CITY SAFETY CODES AND INSPECTION REQUIREMENTS.
 - THE CONTRACTOR SHALL PROVIDE DUST PROTECTION DURING CONSTRUCTION. ALL TRASH AND DEBRIS SHALL BE PICKED UP AT ALL TIMES. COMMERCIAL CONSTRUCTION DEBRIS/SOLID WASTE HAULER PERMIT REQUIRED.
 - REFER TO THE LANDSCAPE & IRRIGATION PLAN FOR CONSTRUCTION AND PLANTING SPECIFICATIONS.
 - EXISTING EDGE OF ASPHALT PAVEMENT
 - EXISTING EDGE OF CONCRETE CURB
 - NOT USED
 - NEW 7'-0" HIGH DUMPSTER ENCLOSURE. SCREEN WALLS TO MATCH BUILDING MATERIALS.
 - NEW 4" WIDE WHITE PARKING STALL STRIPE
 - NEW WHEEL STOP (YELLOW PLASTIC)
 - NEW VENTS
 - NEW AIR/WATER
 - NEW HANDICAP RAMP
 - NEW HANDICAP MOUNTED SIGN
 - NEW HANDICAP PAVEMENT LOGO
 - NEW ADA RAMP
 - NEW IRRIGATION SLEEVES
 - NEW CURB
 - NEW 24' FIRE LANE & ACCESS EASEMENT
 - NEW BARRIER FREE RAMP PER CITY STANDARD
 - NEW ADA ACCESSIBLE TELEPHONE
 - DIRECTIONAL SIGN (ARROW)
 - NEW SITE LIGHT POLE (TYP. OF 5)
 - NEW CANOPY. 14'-0" MIN. CLEARANCE
 - NEW CANOPY LIGHTS
 - NEW PUMPS
 - NEW TRASH CAN
 - NEW ELECTRICAL TRANSFORMER
 - NEW TANK PAD (REF. FUEL PLANS)
 - NEW UNDERGROUND TANKS
 - NEW FIRE HYDRANT
 - NEW 6" SANITARY SEWER & GREASE TRAP
 - NEW OFF-SITE SANITARY SEWER
 - NEW ELECTRIC & TELEPHONE SERVICE
 - NEW 1" WATER LINE TO BUILDING
 - NEW 3/4" WATER LINE TO AIR/WATER MACHINE
 - NEW 24" FIRE LANE & ACCESS EASEMENT
 - NEW ASPHALT TRANSITION
 - EXISTING APPROACH TO BE REMOVED
 - EXISTING TELEPHONE PEDESTALS
 - EXISTING 8" WATER
 - EXISTING POWER POLE
 - NEW 8" WATER
 - NEW 8" SANITARY SEWER
 - TWO-WAY CLEAN-OUT
 - NEW 12" WATER
 - EXISTING GUARD RAIL
 - NEW CONCRETE DRIVE APPROACH

DATA SUMMARY TABLE

| | |
|----------------------------------|----------------------------------|
| EXISTING ZONING | GR (GENERAL RETAIL DISTRICT) |
| PROPOSED USE | CONVENIENCE STORE WITH GAS SALES |
| GROSS LOT AREA | 44,596 S.F. OR 1.024 ACRES |
| PROPOSED BUILDING SQUARE FOOTAGE | 3,030 S.F. |
| CANOPY SQUARE FOOTAGE | 2,680 S.F. |
| BUILDING HEIGHT | 18'-0" |
| CANOPY HEIGHT | 17'-6" |
| LOT COVERAGE | 6.8% |
| TOTAL IMPERVIOUS SURFACE | 30,135 S.F. OR 68% |
| TOTAL PARKING REQUIRED | 16 |
| TOTAL PARKING PROVIDED | 18 |
| TOTAL HANDICAP PARKING REQUIRED | 1 |
| TOTAL HANDICAP PARKING PROVIDED | 1 |
| INTERIOR LANDSCAPING REQUIRED | 6,689 S.F. OR 15% |
| INTERIOR LANDSCAPING PROVIDED | 14,461 S.F. OR 32% |

OWNER
7-ELEVEN, INC.
1202 RICHARDSON DR. SUITE 400
RICHARDSON, TEXAS 75080
MR. CRAIG ZIMMER
214-861-1274

ENGINEER
THE DIMENSION GROUP
10755 SANDHILL ROAD
DALLAS, TEXAS 75238
RICHARD AKIN/KEVIN PATEL
(214)343-9400

HILLCREST CENTER ADDITION
LOT -, BLOCK A
1.024 ACRES OUT OF THE
T.R. BAILEY SURVEY, ABSTRACT NO. 30
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

2007 012
FILE COPY
RECEIVED
JUN 7 2007

I:\711\2006\0617\NEC GOLIAD & DALTON, ROCKWALL\CURRENT\01-06127-SP-C1.DWG
Thursday, June 07, 2007 8:18:05 AM
User: ccauldwell



THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROTECTED BY COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING COPYRIGHT. THEY MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THE DIMENSION GROUP

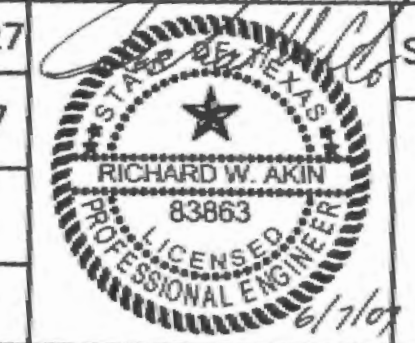
| No. | DATE | REVISION / DESCRIPTION | BY | No. | DATE | REVISION / DESCRIPTION | BY |
|-----|------|------------------------|----|-----|------|------------------------|----|
| | | | | | | | |

THE DIMENSION GROUP
CIVIL ENGINEERING • LAND DEVELOPMENT • PLANNING • ARCHITECTURE • CONSTRUCTION MANAGEMENT
10755 SANDHILL ROAD, DALLAS, TEXAS 75238 TEL: 214-343-9400 FAX: 214-341-9060

PROJECT INFO.
7-ELEVEN
NE.C. OF N. GOLIAD STREET
& FM 552 (DALTON ROAD)
ROCKWALL, TEXAS

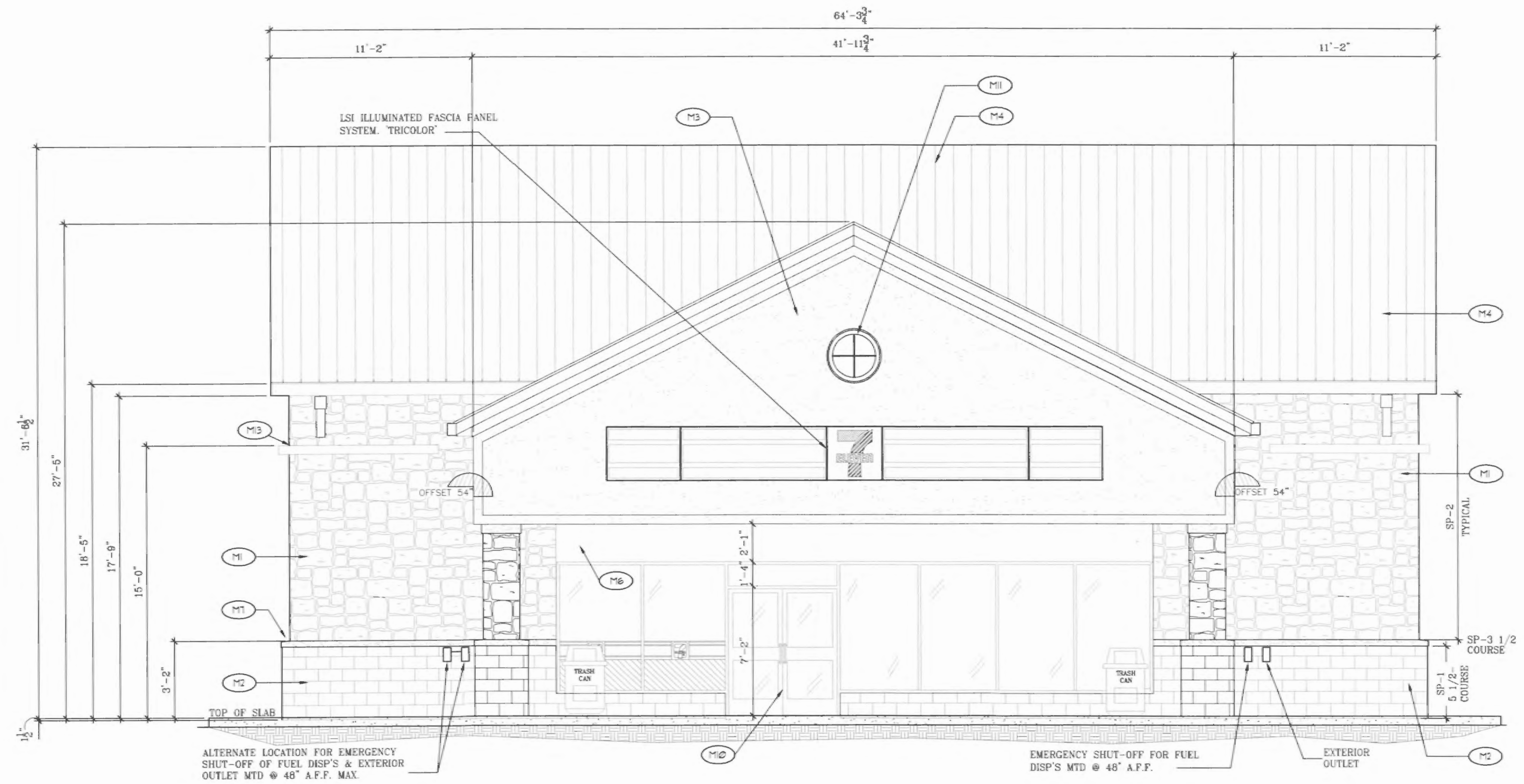
DRAWING INFO.
SITE PLAN

| | |
|-------------------|--------------|
| PROJECT No. 06127 | SHEET NUMBER |
| DATE: 05/18/07 | C1 |
| DRAWN BY: CS | |
| CHECKED BY: RA | |



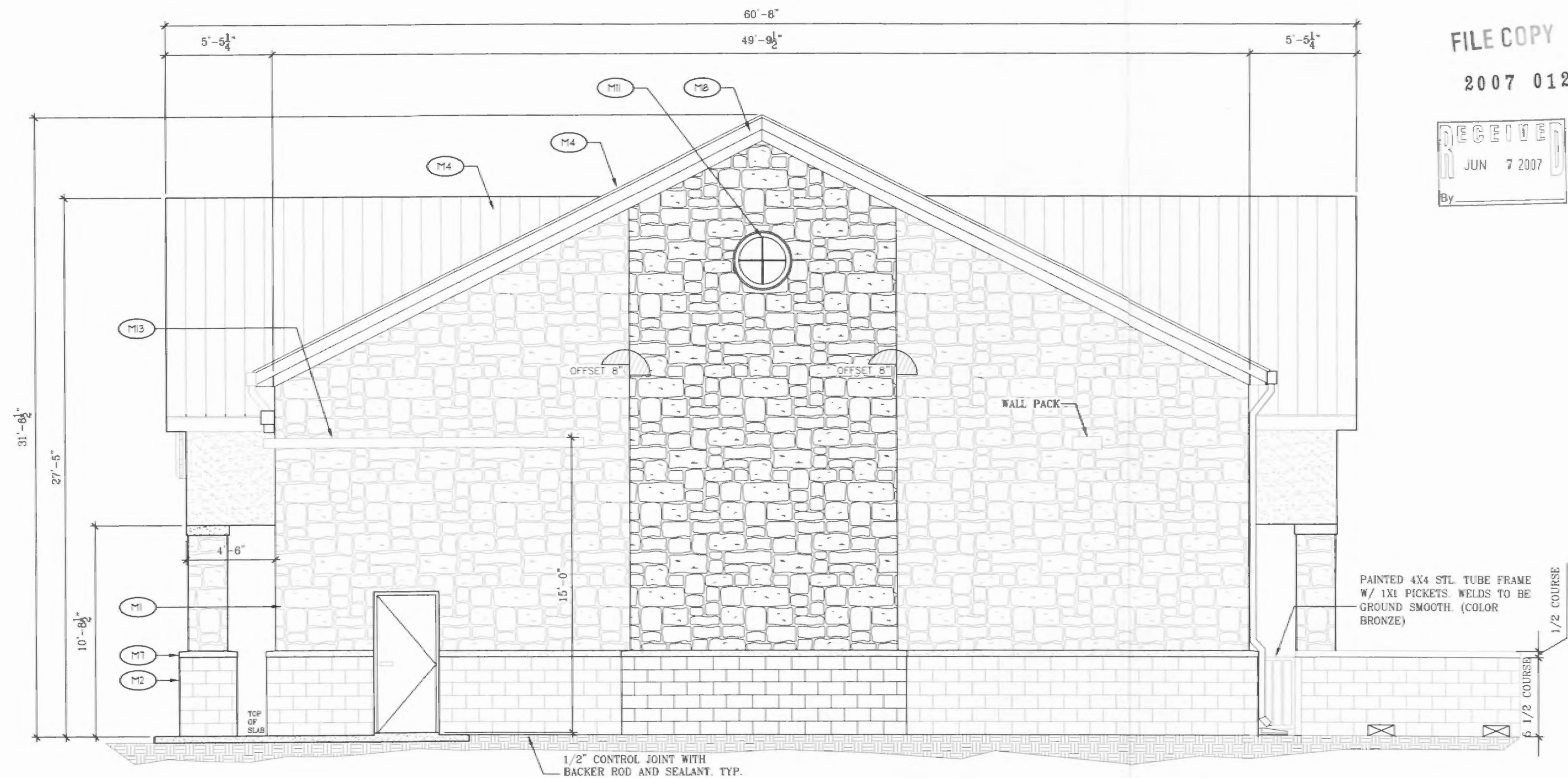
7-ELEVEN - NE.C. OF N. GOLIAD STREET & FM 552 (DALTON ROAD), ROCKWALL, TEXAS

| MATERIAL SCHEDULE | | | EAST ELEV. | |
|-------------------|--|------------------------------|-------------|----|
| MARK | MATERIAL | SELECTION | SQUARE FEET | % |
| M1 | AUSTIN TYPE STONE CUT | COLOR WHITE | 332 | 34 |
| M2 | SCORED 8 x 8 FEATHERLITE | COLOR GRANITE PINK-RED | 148 | 5 |
| M3 | STUCCO | COLOR BUFF | 425 | 43 |
| M4 | STANDING BEAM METAL ROOF | BERRIDGE FREWEATHERED BRONZE | | |
| M6 | FRP | BEIGE | 69 | 1 |
| M7 | CAST STONE | BUFF | 10 | 1 |
| M8 | PAINTED WOOD FASCIA AND SOFFIT | MEDIUM BRONZE | | |
| M10 | STANDARD 1-ELEVEN KAUNER BRONZE ANODIZED ALUM FRAME / DOOR | BRONZE | | |
| M11 | STUCCO DETAIL | BUFF | | |
| M13 | WALL WASHER LIGHTING | BRONZE | | |



1 WEST ELEVATION
A4.0 SC: 1/4"=1'-0"

| MATERIAL SCHEDULE | | | SOUTH ELEV. | |
|-------------------|--|------------------------------|-------------|----|
| MARK | MATERIAL | SELECTION | SQUARE FEET | % |
| M1 | AUSTIN TYPE STONE CUT | COLOR WHITE | 99 | 79 |
| M2 | SCORED 8 x 8 FEATHERLITE | COLOR GRANITE PINK-RED | 22 | 17 |
| M3 | STUCCO | COLOR BUFF | 44 | 3 |
| M4 | STANDING BEAM METAL ROOF | BERRIDGE FREWEATHERED BRONZE | | |
| M6 | FRP | BEIGE | | |
| M7 | CAST STONE | BUFF | 11 | 1 |
| M8 | PAINTED WOOD FASCIA AND SOFFIT | MEDIUM BRONZE | | |
| M10 | STANDARD 1-ELEVEN KAUNER BRONZE ANODIZED ALUM FRAME / DOOR | BRONZE | | |
| M11 | STUCCO DETAIL | BUFF | | |
| M13 | WALL WASHER LIGHTING | BRONZE | | |



2 SOUTH SIDE ELEVATION
A4.0 SC: 1/4"=1'-0"

FILE COPY
2007 012

JUN 7 2007

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |

EXTERIOR ELEVATIONS
 FOR 7-ELEVEN STORE NUMBER #####
 GOLIAD & DALTON
 ROCKWALL, TX

PROJECT No: 06127
 DATE: 5/17/07
 DRAWN BY: JC
 CHECKED BY: TB

THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROTECTED BY COPYRIGHT LAW. NO PART OF THESE PLANS MAY BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THE DIMENSION GROUP.

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |

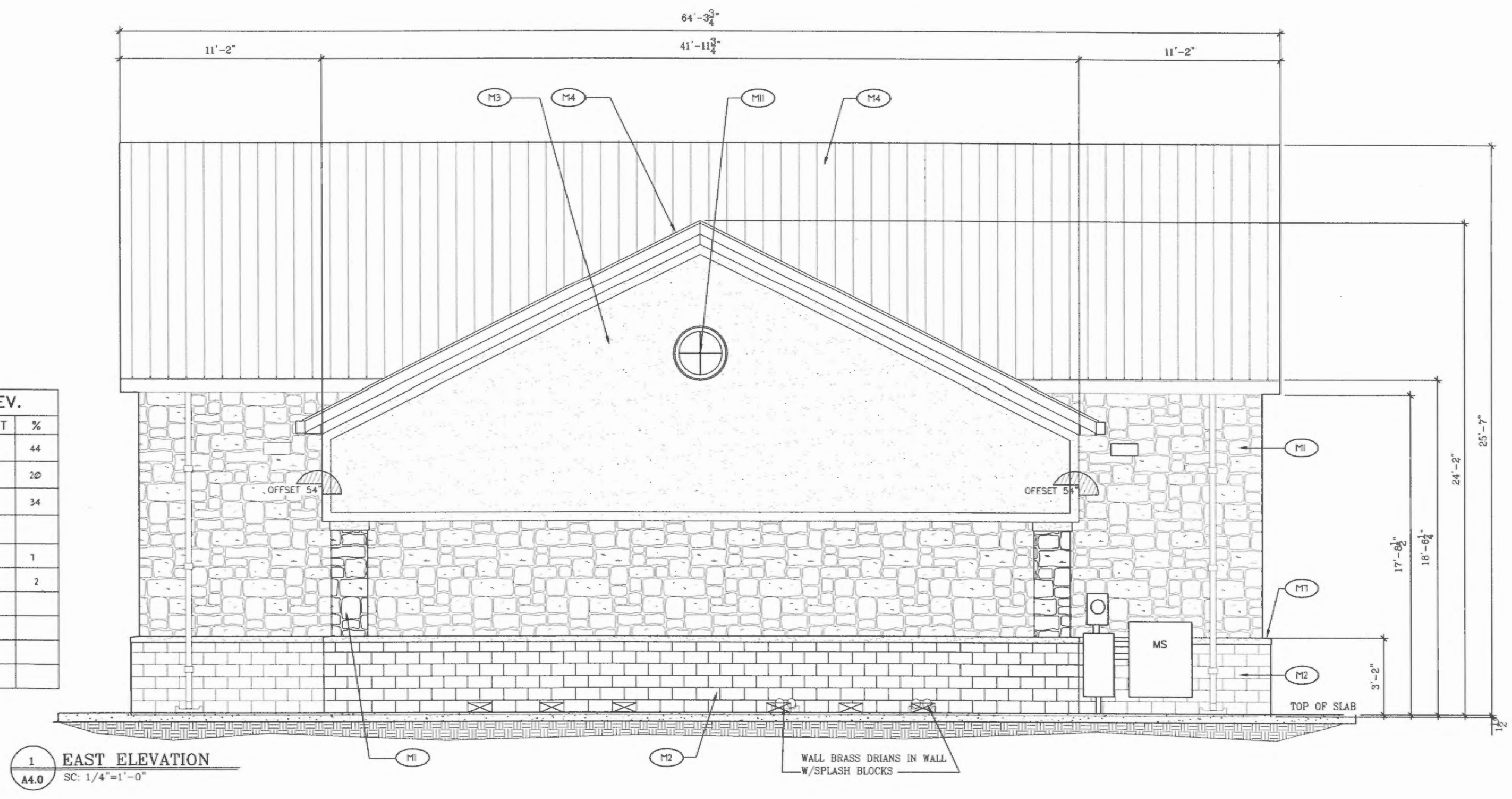
EXTERIOR ELEVATIONS
 FOR 7-ELEVEN STORE NUMBER #####
 GOLIAD & DALTON
 ROCKWALL, TX

PROJECT No: 06127
 DATE: 5/17/07
 DRAWN BY: JC
 CHECKED BY: TB

THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROTECTED BY COPYRIGHT LAW. STATUTORY AND OTHER RESERVATION RIGHTS INCLUDING COPYRIGHT, THEY MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THE DIMENSION GROUP.

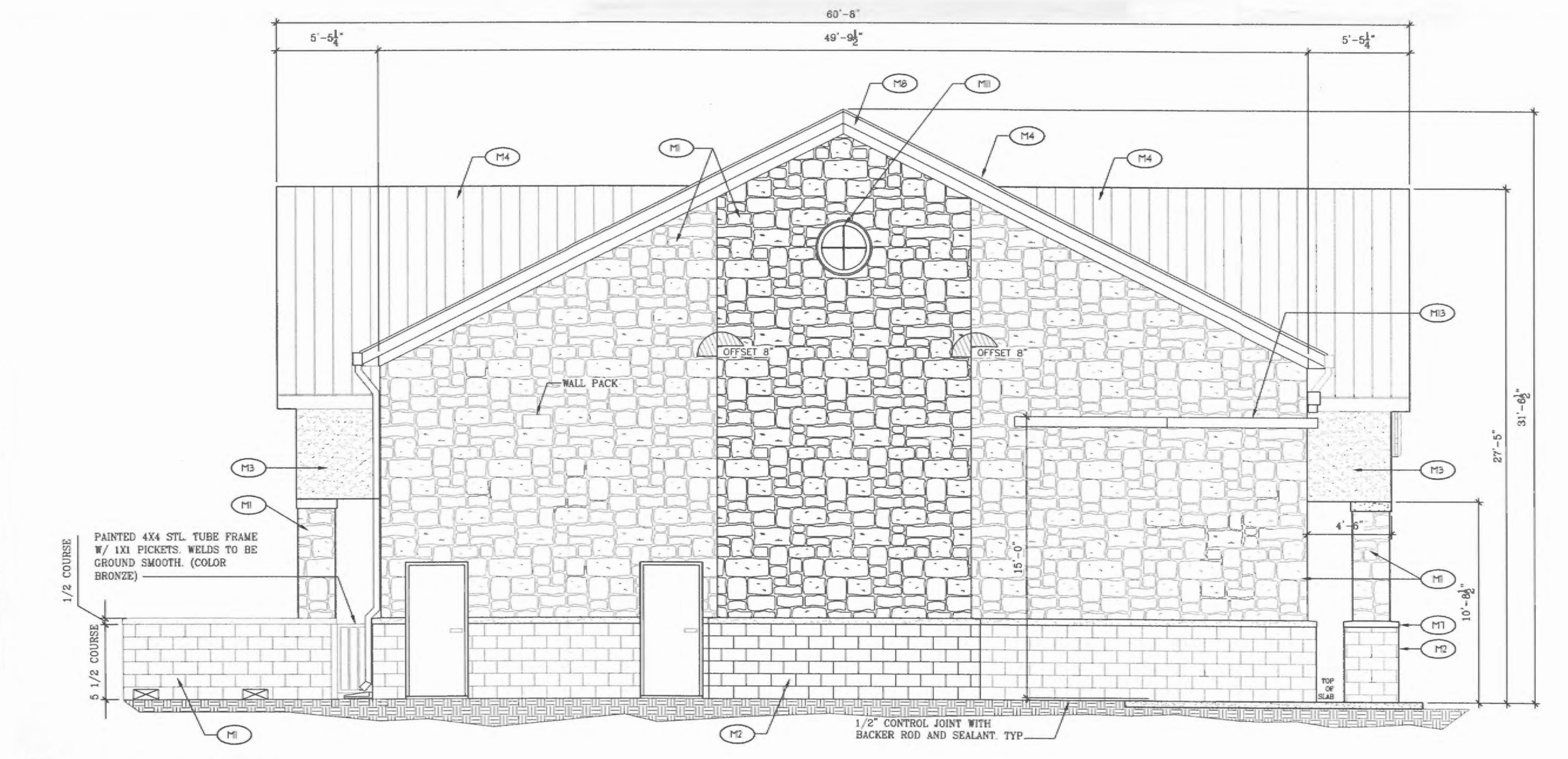
SHEET NUMBER
A4.1

| MATERIAL SCHEDULE | | | WEST ELEV. | |
|-------------------|--|------------------------------|-------------|----|
| MARK | MATERIAL | SELECTION | SQUARE FEET | % |
| M1 | AUSTIN TYPE STONE CUT | COLOR WHITE | 544 | 44 |
| M2 | SCORED 8 x 8 FEATHERLITE | COLOR GRANITE PINK-RED | 253 | 20 |
| M3 | STUCCO | COLOR BUFF | 429 | 34 |
| M4 | STANDING SEAM METAL ROOF | BERRIDGE PRELEATHERED BRONZE | | |
| M6 | FRP | BEIGE | 63 | 1 |
| M11 | CAST STONE | BUFF | 21 | 2 |
| M8 | PAINTED WOOD FASCIA AND SOFFIT | MEDIUM BRONZE | | |
| M10 | STANDARD 1-ELEVEN KAWNEER BRONZE ANODIZED ALUM. FRAME / DOOR | BRONZE | | |
| M11 | STUCCO DETAIL | BUFF | | |
| M13 | WALL WASHER LIGHTING | BRONZE | | |



1 EAST ELEVATION
 SC: 1/4"=1'-0"

| MATERIAL SCHEDULE | | | NORTH ELEV. | |
|-------------------|--|------------------------------|-------------|----|
| MARK | MATERIAL | SELECTION | SQUARE FEET | % |
| M1 | AUSTIN TYPE STONE CUT | COLOR WHITE | 98 | 79 |
| M2 | SCORED 8 x 8 FEATHERLITE | COLOR GRANITE PINK-RED | 191 | 16 |
| M3 | STUCCO | COLOR BUFF | 44 | 4 |
| M4 | STANDING SEAM METAL ROOF | BERRIDGE PRELEATHERED BRONZE | | |
| M6 | FRP | BEIGE | 61 | 1 |
| M11 | CAST STONE | BUFF | 8 | 1 |
| M8 | PAINTED WOOD FASCIA AND SOFFIT | MEDIUM BRONZE | | |
| M10 | STANDARD 1-ELEVEN KAWNEER BRONZE ANODIZED ALUM. FRAME / DOOR | BRONZE | | |
| M11 | STUCCO DETAIL | BUFF | | |
| M13 | WALL WASHER LIGHTING | BRONZE | | |

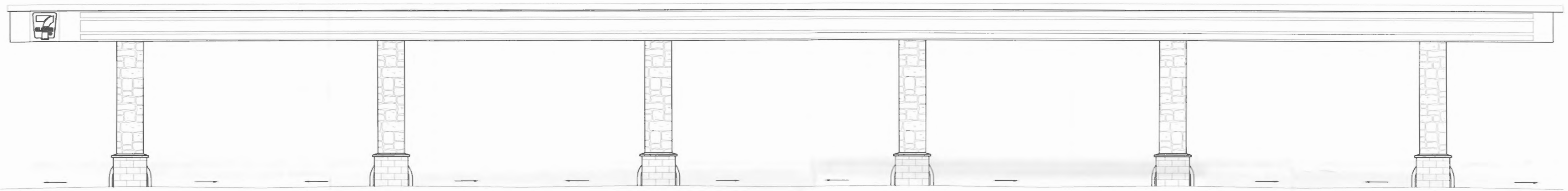


2 NORTH SIDE ELEVATION
 SC: 1/4"=1'-0"

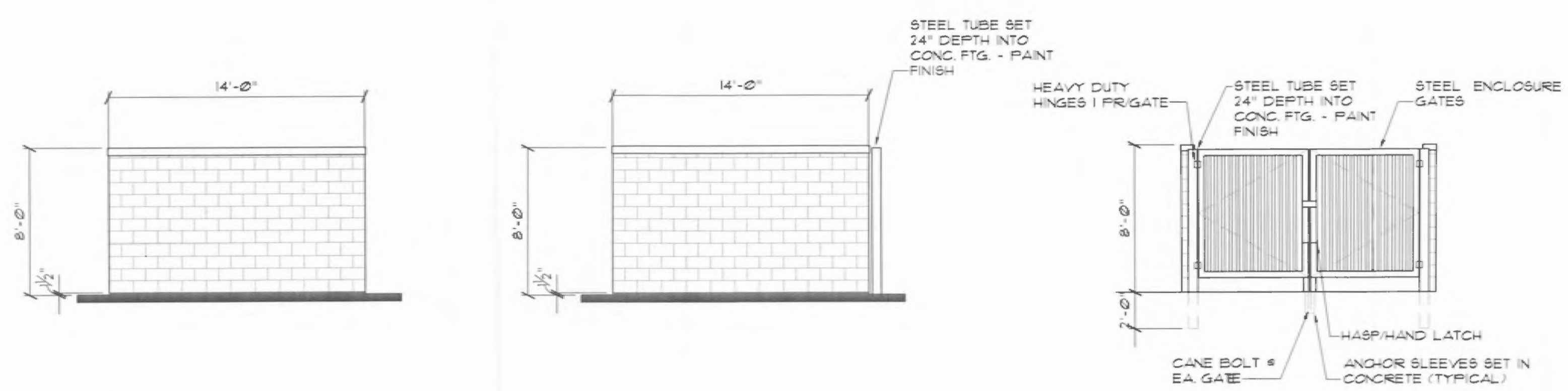
FILE COPY
 2007 012
 JUN 7 2007



1 CANOPY - END ELEVATION
 GAS SC: 3/16"=1'-0"



2 FRONT ELEVATION
 GAS SC: 3/16"=1'-0"



3 DUMPSTER DETAILS
 GAS SC: 3/16"=1'-0"

RECEIVED
 JUN 7 2007
 By

2007 012

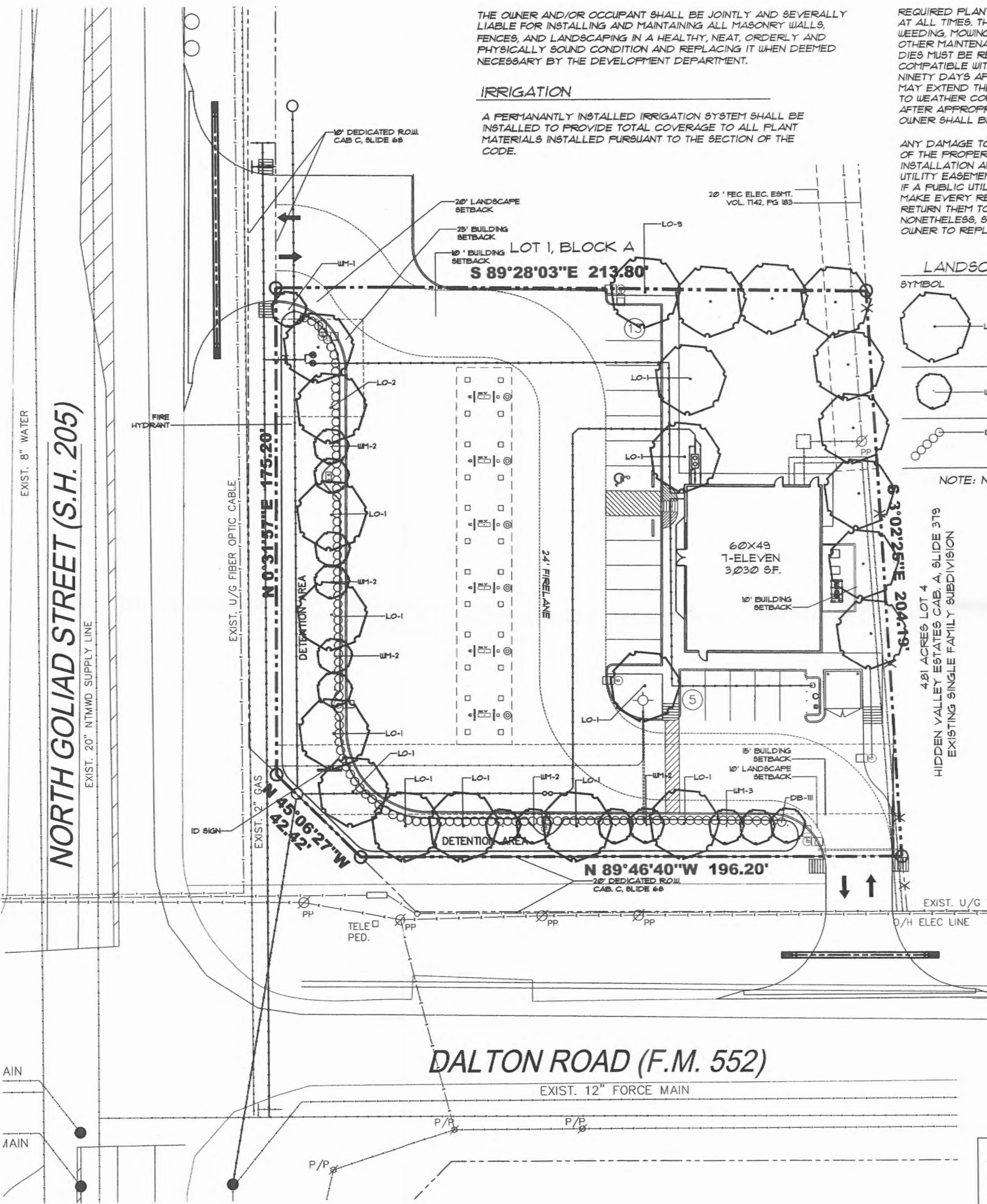
FILE COPY

| No. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

6 MPD GAS CANOPY ELEVATIONS
 FOR 7-ELEVEN STORE NUMBER #####
 GOLIAD & DALTON
 ROCKWALL, TX

PROJECT No: 06127
 DATE: 5/17/07
 DRAWN BY: JC
 CHECKED BY: TB

THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROTECTED BY CONSUMER LAW STATUTES AND OTHER RESERVATIONS. RIGHTS INCLUDING COPYRIGHT. THEY MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THE DIMENSION GROUP.



THE OWNER AND/OR OCCUPANT SHALL BE JOINTLY AND SEVERALLY LIABLE FOR INSTALLING AND MAINTAINING ALL MASONRY WALLS, FENCES, AND LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND PHYSICALLY SOUND CONDITION AND REPLACING IT WHEN DEEMED NECESSARY BY THE DEVELOPMENT DEPARTMENT.

IRRIGATION

A PERMANENTLY INSTALLED IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE TOTAL COVERAGE TO ALL PLANT MATERIALS INSTALLED PURSUANT TO THE SECTION OF THE CODE.

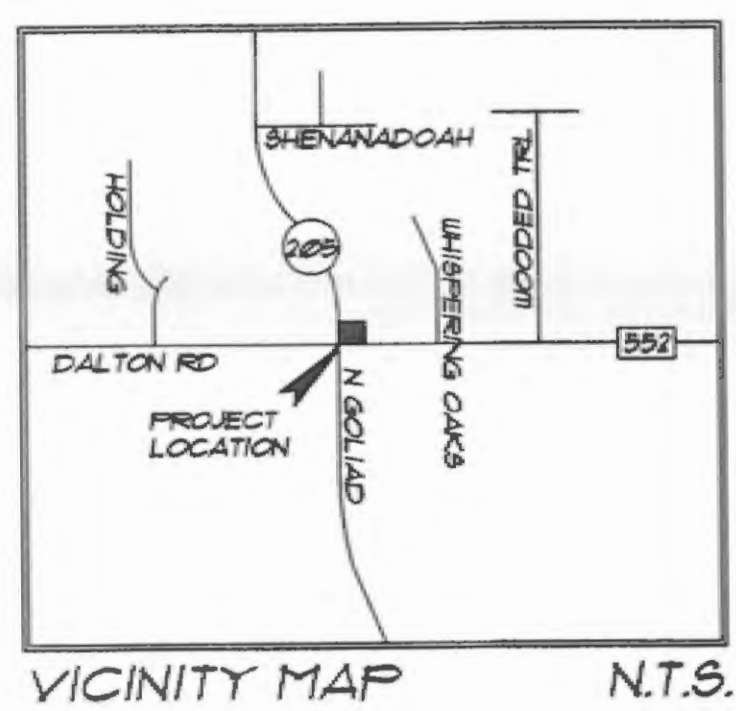
REQUIRED PLANTS MUST BE MAINTAINED IN A HEALTHY CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE FOR REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PRUNING, AND OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES MUST BE REPLACED WITH ANOTHER LIVING PLANT THAT IS COMPATIBLE WITH THE APPROVED LANDSCAPE PLAN WITHIN (90) NINETY DAYS AFTER NOTIFICATION FROM THE CITY. THE BUILDING OFFICIAL MAY EXTEND THE TIME PERIOD UP TO AN ADDITIONAL (90) DAYS DUE TO WEATHER CONSIDERATIONS. IF THE PLANTS HAVE NOT BEEN REPLACED AFTER APPROPRIATE NOTIFICATION AND/OR EXTENSION, THE PROPERTY OWNER SHALL BE IN VIOLATION OF THIS ORDINANCE.

ANY DAMAGE TO UTILITY LINES RESULTING FROM THE NEGLIGENCE OF THE PROPERTY OWNER OR HIS AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING IN A UTILITY EASEMENT IS THE RESPONSIBILITY OF THE PROPERTY OWNER. IF A PUBLIC UTILITY DISTURBS PLANTS WITHIN AN EASEMENT, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE PLANTS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF NONETHELESS, SOME PLANTS DIE, IT IS THE OBLIGATION OF THE PROPERTY OWNER TO REPLACE THEM.

LANDSCAPE PLANT LIST

| SYMBOL | QTY | PLANT NAME | SIZE |
|--------|-----|---|-------------------------|
| LO | 22 | LIVE OAK QUERCUS VIRGINIANA | 4" CAL. MIN |
| WM | 14 | WAX MYRTLE MYRTICA CERIFERA | 4' HT |
| DB | III | DWARF BURFORD HOLLY ILEX VOMITORIA "CORNUTA" | 5 GALLON 30" MIN HT. |

NOTE: NO EXISTING TREES ON SITE TO BE SAVED



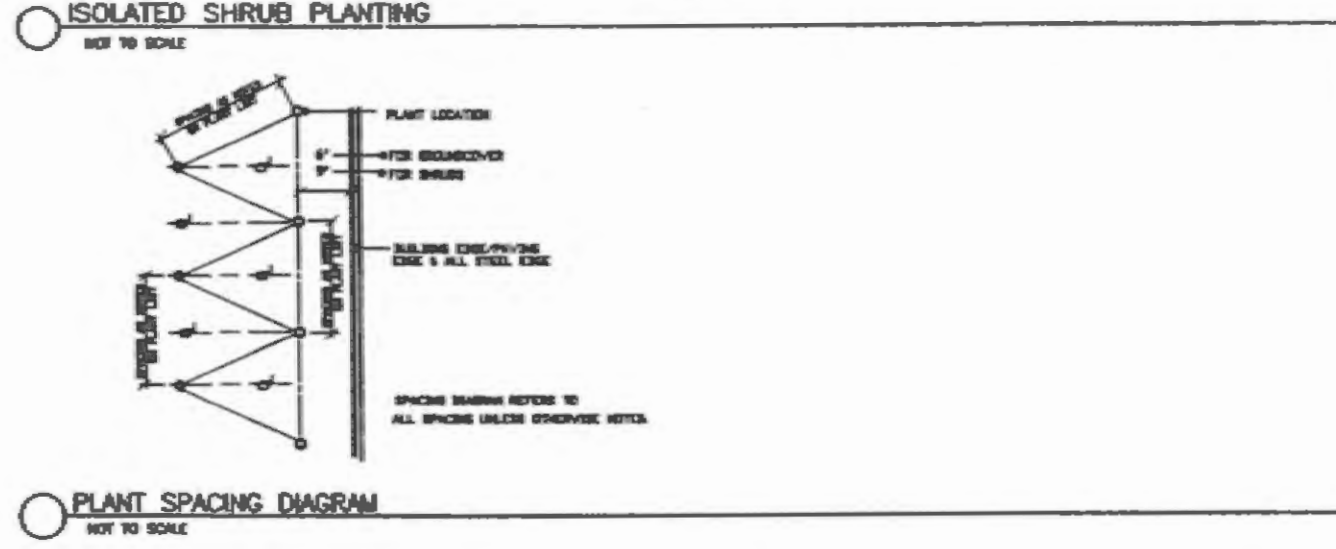
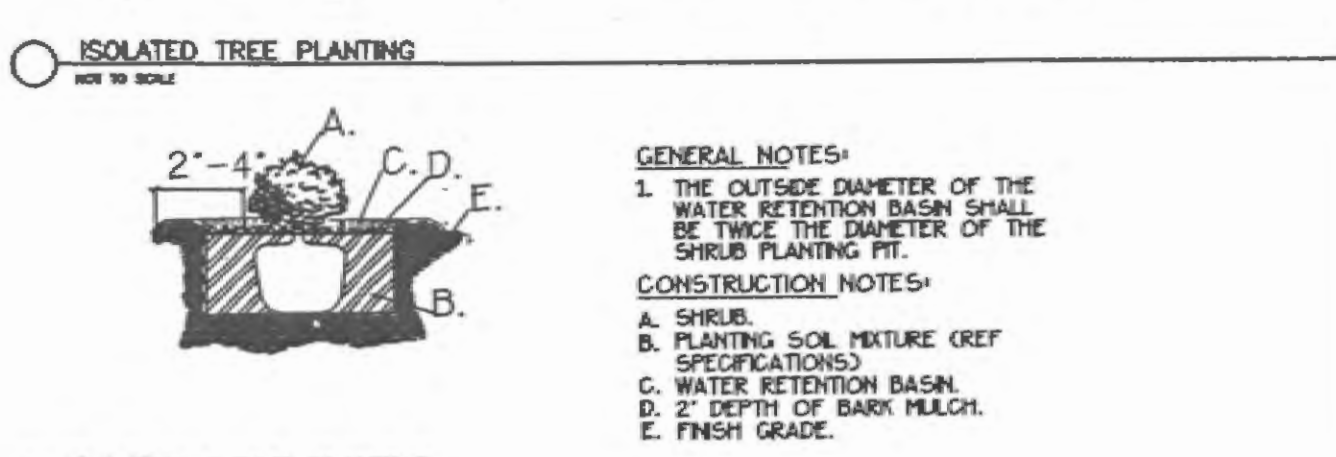
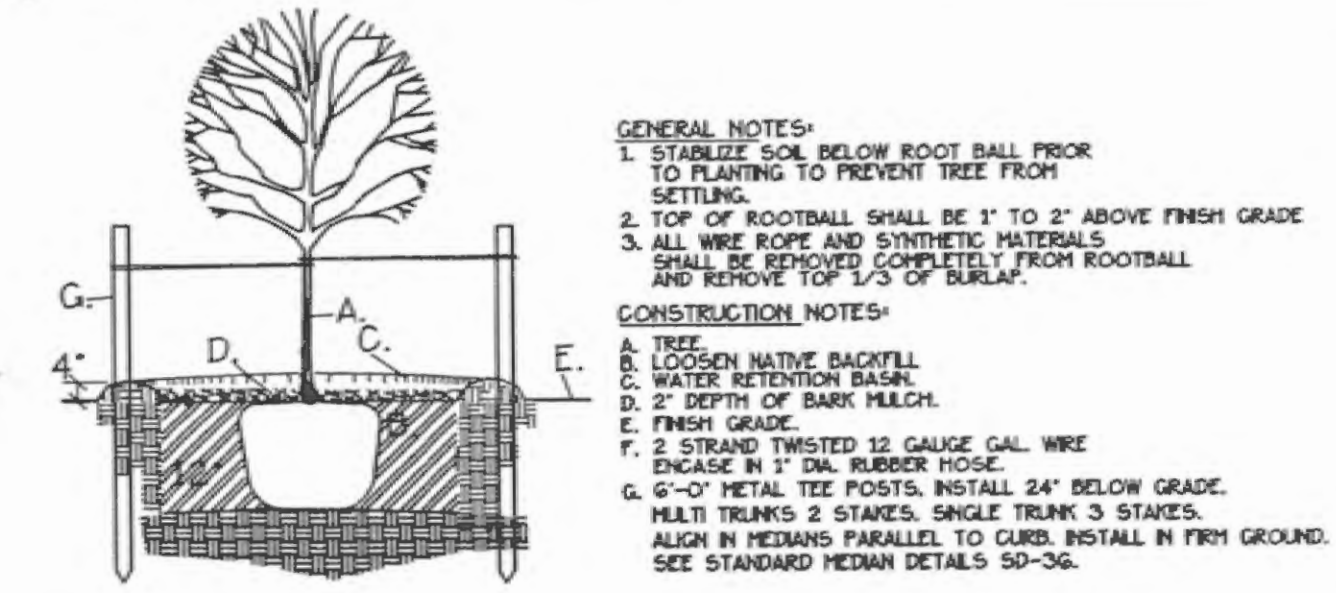
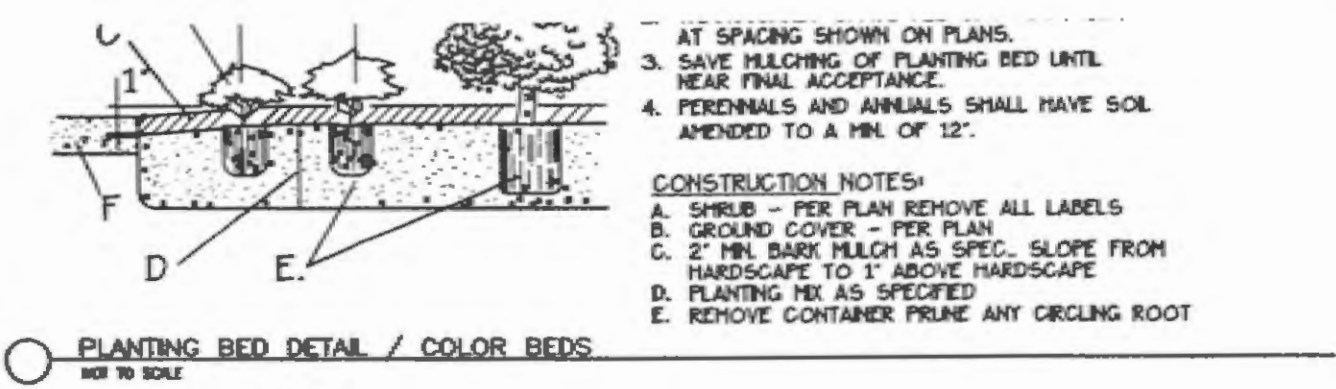
OWNER
7-ELEVEN, INC.
1202 RICHARDSON DR. # 400
RICHARDSON, TEXAS 75080
MR CRAIG ZIMMER
214-861-1274

ENGINEER
THE DIMENSION GROUP
10755 SANDHILL ROAD
DALLAS, TEXAS 75238
MOSTAFA SETAYESH
214-343-9400

LANDSCAPE ARCHITECT
MEEKS DESIGN GROUP
1100 CENTENNIAL BLVD #210
RICHARDSON, TEXAS 75081
HERB MEEKS
972-690-7474

SITE AREA CALCULATIONS

| | |
|-----------------------------|------------------|
| LOT AREA: | 44,555 SF. |
| LANDSCAPE - OPEN SPACE AREA | 14,410 SF. (32%) |
| IMPERVIOUS AREA: | 30,145 SF. (68%) |



LANDSCAPE REQUIREMENTS

ZONING: GENERAL RETAIL - 15% OF SITE REQUIRED TO BE LANDSCAPED
32% OF SITE IS PROVIDED LANDSCAPING

BUFFER STRIP (S.H. 205 OVERLAY DISTRICT)
REQUIRED: MINIMUM OF A 20' WIDE BUFFER STRIP
PROVIDED: 20' WIDE BUFFER STRIP
REQUIRED: MIN. 30" HEIGHT SHRUBBERY BUFFER ALONG ENTIRE PROPERTY FRONTAGE
PROVIDED: 30" HT SHUBBERY BUFFER ALONG STREET FRONTAGE
REQUIRED: (3) CANOPY TREES AND (4) ACCENT TREES PER 100' OF N S.H. 205 ROW.
(198 LF. / 100 = 6 CANOPY AND 8 ACCENT TREES)
PROVIDED: 7 CANOPY AND 8 ACCENT TREES

BUFFER STRIP (F.M. 552)
REQUIRED: MINIMUM OF A 10' WIDE BUFFER STRIP
PROVIDED: 10' WIDE BUFFER STRIP
REQUIRED: MIN. 30" HEIGHT SHRUBBERY BUFFER ALONG ENTIRE PROPERTY FRONTAGE
PROVIDED: 30" HT SHUBBERY BUFFER ALONG STREET FRONTAGE
REQUIRED: (1) CANOPY TREES PER 50' OF STREET FRONTAGE
(196 LF. / 50 = 4 CANOPY TREES)
PROVIDED: 4 CANOPY AND 6 ACCENT TREES

LANDSCAPE OPEN SPACE
REQUIRED: 20% OF LOT AREA
PROVIDED: 32% OF LOT TO BE LANDSCAPE OPEN SPACE

PARKING LOT LANDSCAPE
REQUIRED: 5% OR 200 SF. OF LANDSCAPING IN THE INTERIOR OF THE PARKING LOT
PROVIDED: 380 SF OF INTERIOR LANDSCAPE
REQUIRED: 1 CANOPY TREE FOR PARKING LOTS EXCEEDING 20,00 SF.
PROVIDED: 4 CANOPY TREE

DETENTION AREA
REQUIRED: 1 TREE PER 150 SF. OF DETENTION POND AREA (10 NEEDED)
PROVIDED: 10 TREES

1 LANDSCAPE PLAN
SCALE: 1" = 20'-0"

PROJECT NAME: 7-ELEVEN
PROJECT NUMBER: PDG-
REVISIONS:

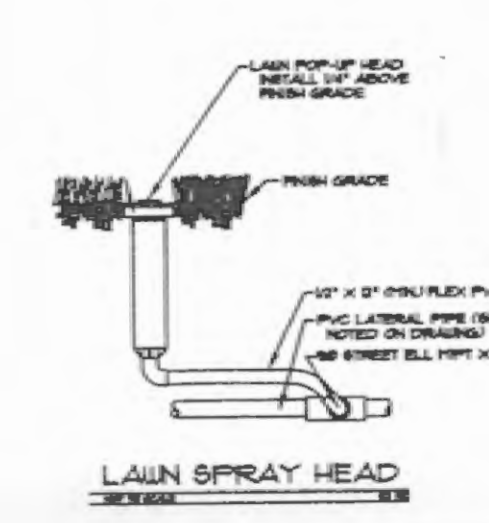
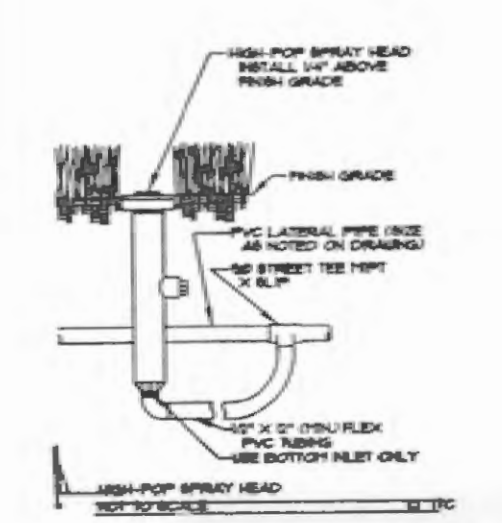
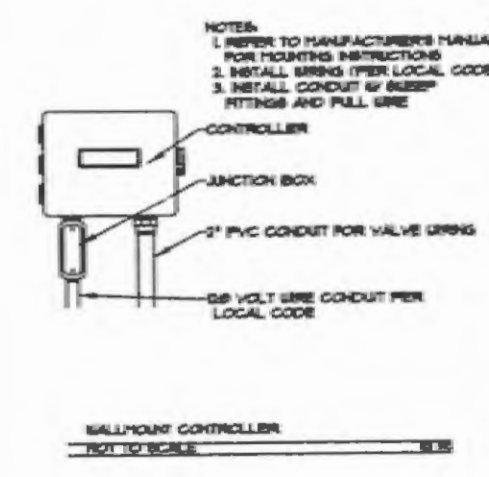
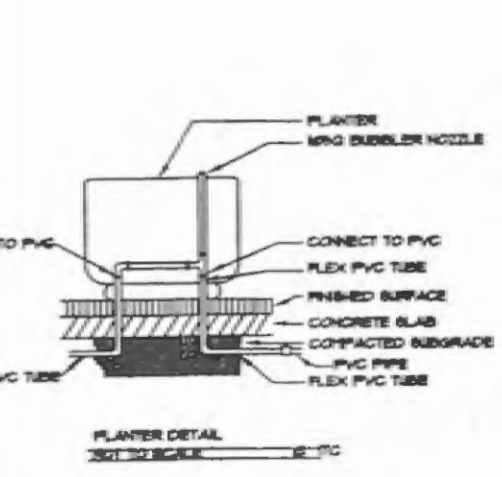
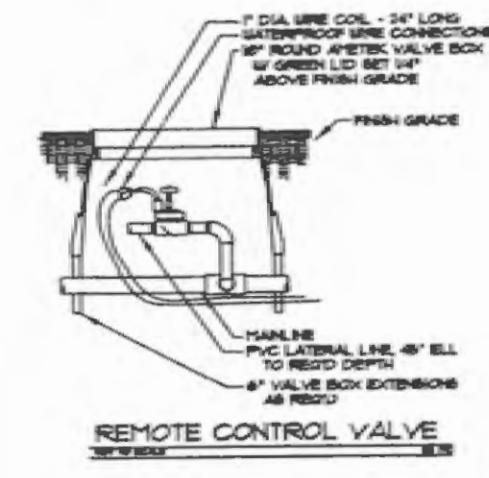
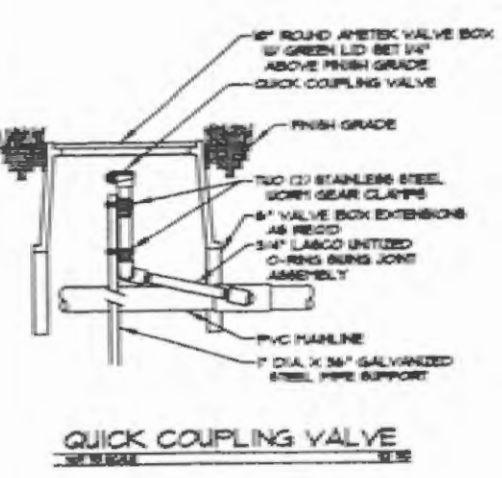
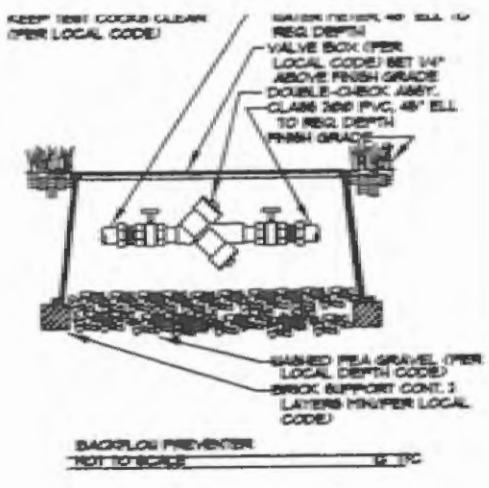
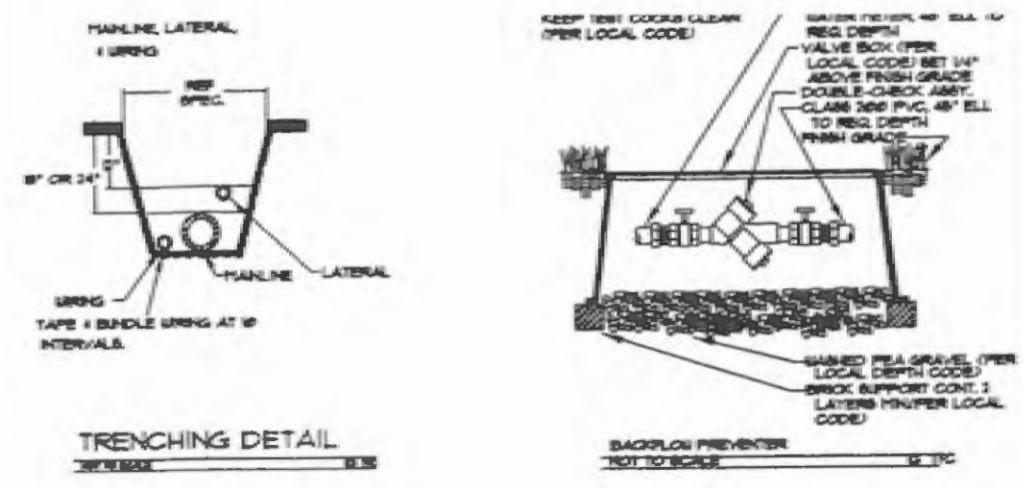


FILE COPY
2007 012



PROJECT NAME: 7-ELEVEN
CITY SUBMITTAL
DATE: 06/06/07
SCALE: 1" = 20'-0"
SHEET: L0.01





IRRIGATION LEGEND:

| SYMBOL | DESCRIPTION | MANUFACTURER | MODEL NO. |
|--------|----------------------|----------------|---|
| ● | ROTOR-HEAD | HUNTER | I 20 |
| ○ | SHRUB HEAD RISER | WEATHERMATIC | LW2 W/ 1/2", 3/4", OR 1/2" UNLESS NOTED OTHERWISE |
| ○ | LAWN SPRAY HEAD | WEATHERMATIC | LX4 W/ 1/2", 3/4", OR 1/2" UNLESS NOTED OTHERWISE |
| □ | REMOTE CONTROL VALVE | RAINBIRD | FEB SERIES, REFER TO PLAN FOR SIZE |
| ■ | CONTROLLER | RAINBIRD | RC SERIES W/ RAINCHECK AND FENN A-15ANC-1 TEMP. SENSOR |
| — | MAINLINE PIPING | REFER TO SPEC. | CLASS 200 PVC |
| — | LATERAL PIPING | REFER TO SPEC. | 3/4" - 4" LARGER - CLASS 200 PVC 1/2" - CLASS 35 PVC |
| — | BACKFLOW PREVENTER | FEBCO | 1905Y |
| ⊗ | WATER METER | REFER TO SPEC. | PER LOCAL BUILDING CODE |
| □ | STATION NUMBER | | |
| □ | VALVE SIZE | | |
| □ | GPM (APPROX) | | |

- NOTES:**
- ALL 24 VOLT LEAD AND COMMON VALVE WIRING SHALL BE A MINIMUM OF UF-14 GA. SINGLE CONDUCTOR. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR PROPER WIRE SIZE. WIRE SPLICES SHALL BE PERMANENT AND WATERPROOF.
 - COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LANDSCAPE CONTRACTOR TO ENSURE ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
 - LATERAL PIPING SHALL HAVE A MINIMUM OF 12" OF COVER. MAINLINE AND PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18" OF COVER.
 - PIPING AND VALVES IN PAVING SHOWN FOR CLARITY, INSTALL IN ADJACENT PLANTING BED OR LAWN AREA.
 - CONNECT LAWN AND HIGH-POP SPRAY HEADS TO LATERAL PIPING WITH 1/2" FLEXIBLE PVC AND 1/2" SCH 40 PVC FITTINGS AS REQUIRED, PER DETAIL SHOWN. USE WELD-ON #199 SOLVENT AND #1-68 PRIMER ON THESE CONNECTIONS.
 - INSTALL QUICK COUPLING VALVES ON TEN (10") INCH AMETEK VALVE BOX PER DETAIL SHOWN. CONNECT QUICK COUPLING VALVES TO MAINLINE PIPE WITH LASCO "UNITIZED" O-RING BUNG JOINTS PER DETAIL. SHOWN #1722-332 SUPPLY OWNER WITH ONE (1) COUPLER KEY WITH SWIVEL HOSE ELL EACH, 533DK AND 154-0 RESPECTIVELY.
 - INSTALL REMOTE CONTROL VALVES IN TEN (10") INCH ROUND AMETEK VALVE BOXES PER DETAIL SHOWN.
 - PERFORM ELECTRICAL WORK IN ACCORDANCE WITH LOCAL BUILDING CODE. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITHIN FIVE (5') FEET OF CONTROLLER LOCATION BY OTHER TRADES.
 - SLEEVES SHALL BE CLASS 200 PVC, SIZED AS NOTED ON PLANS AND INSTALLED BY OTHER TRADES.
 - ROUTE COMMON WIRE FROM CONTROLLER TO REMOTE SENSORS IN SERIES PRIOR TO CONNECTING TO REMOTE CONTROL VALVES.
 - TEN DAYS PRIOR TO START OF CONSTRUCTION, VERIFY STATIC PRESSURE. IF STATIC PRESSURE IS LESS THAN 42.5 PSI, DO NOT START WORK UNTIL NOTIFIED BY OWNER. DESIGN PRESSURE IS 38.5 PSI.

FLOW CHART

SPRAY HEADS:

| NOZZLE | RADIUS | GPM |
|--------|--------|-----|
| 15F | 15' | 4.1 |
| 15E | 15' | 3.1 |
| 15C | 15' | 2.1 |
| 15A | 15' | 2.0 |
| 15B | 15' | 1.4 |
| 15Q | 15' | 1.0 |
| 12F | 12' | 2.9 |
| 12E | 12' | 2.2 |
| 12C | 12' | 1.9 |
| 12H | 12' | 1.4 |
| 12B | 12' | 1.0 |
| 12Q | 12' | .7 |
| 10F | 10' | 1.7 |
| 10H | 10' | .9 |
| 10B | 10' | .6 |
| 10Q | 10' | .4 |

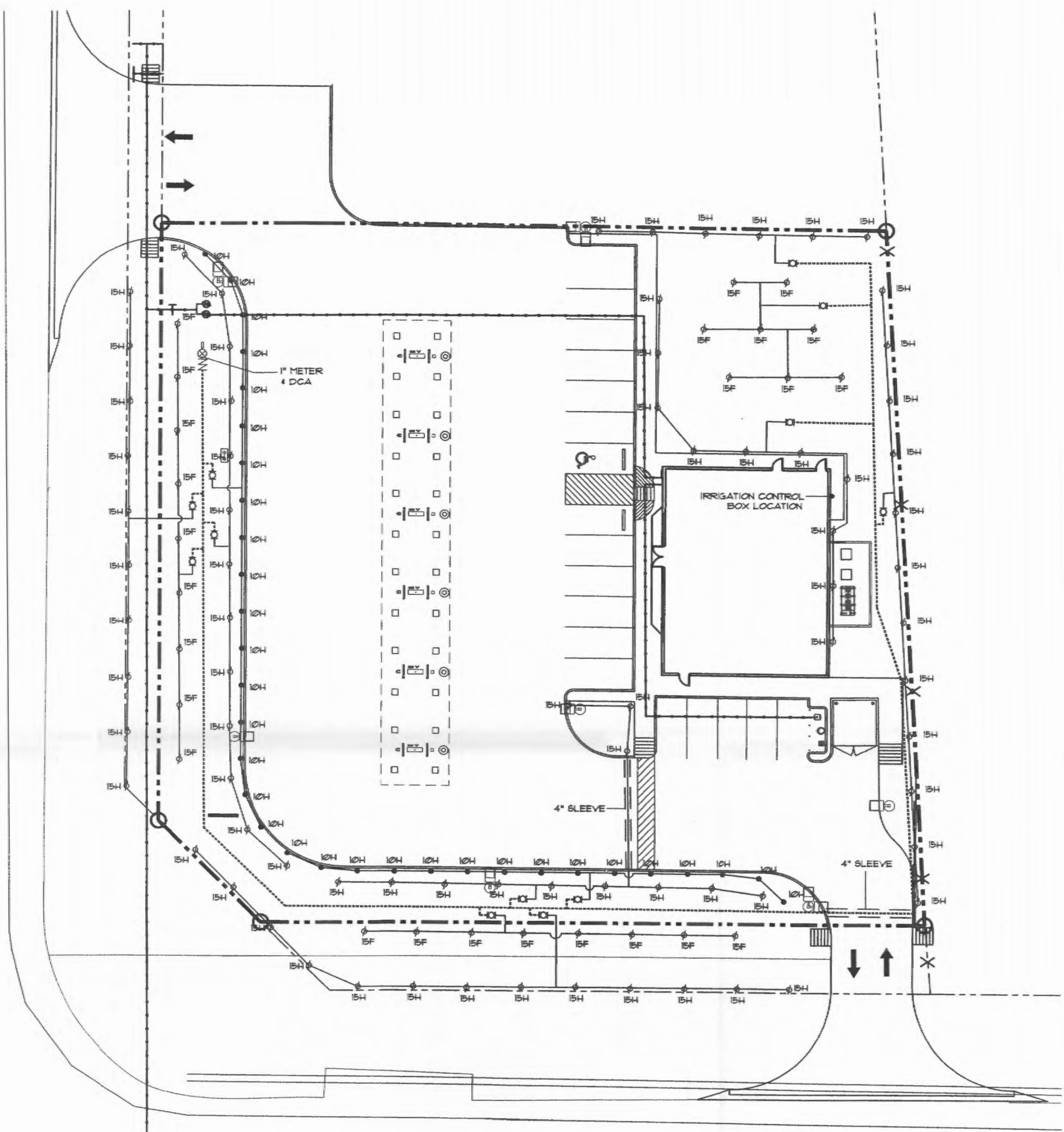
SPRAY HEADS:

| | |
|-----------------|------|
| 30' PART-CIRCLE | 3.3 |
| 30' FULL-CIRCLE | 6.6 |
| 40' PART-CIRCLE | 6.6 |
| 40' FULL-CIRCLE | 12.5 |

PIPE SIZE CHART

| FLOW/GPM: | PIPE SIZE: |
|--------------|------------|
| 0 - 4.0 | 1/2" |
| 4.1 - 9.5 | 3/4" |
| 9.6 - 14.5 | 1" |
| 14.6 - 27.0 | 1-1/4" |
| 27.1 - 35.0 | 1-1/2" |
| 35.1 - 55.0 | 2" |
| 55.1 - 70.0 | 2-1/2" |
| ALL MAINLINE | 2-1/2" |

NORTH GOLIAD STREET (S.H. 205)



DALTON ROAD (F.M. 552)

EXIST. 12" FORCE MAIN

1 CITY IRRIGATION
SCALE: 1" = 20'-0"

PROJECT NAME: 7-ELEVEN
PROJECT NUMBER: 7DG-
REVISIONS:



7-ELEVEN
SERVICE STATION
ROCKWALL, TEXAS

2007 012

FILE COPY

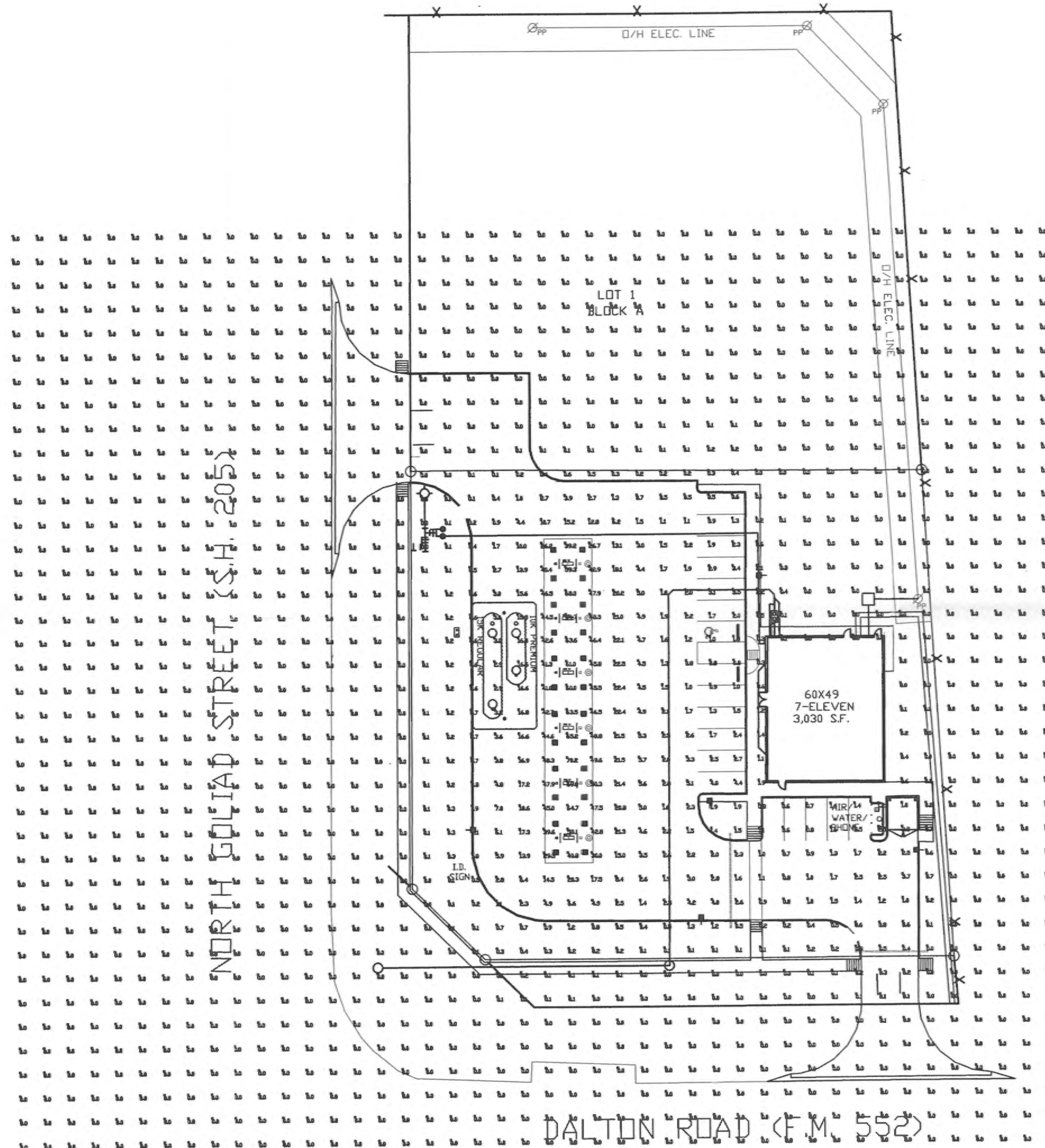


PROJECT NAME: 7-ELEVEN
ROCKWALL, TEXAS

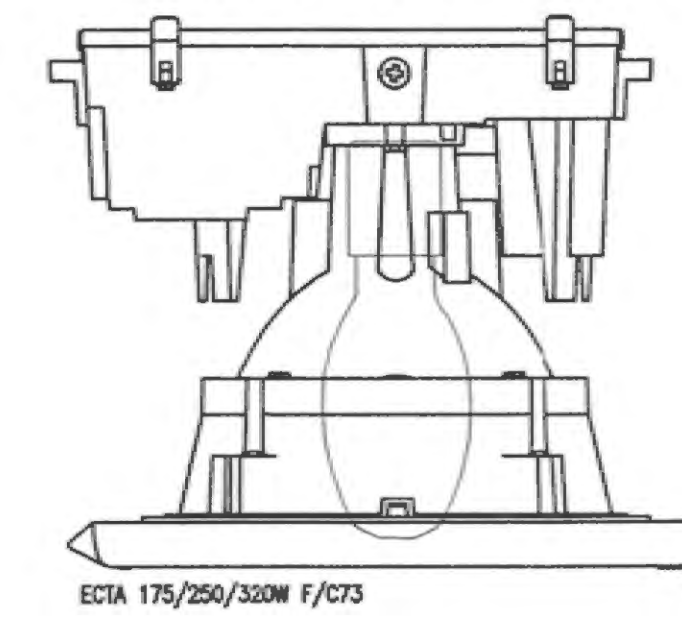
M. D. G. MECKS DESIGN GROUP
1100 CENTENNIAL BLVD, #270
RICHARDSON, TEXAS 75081
(972) 980-7474
FAX (972) 980-7878

TITLE: CITY IRRIGATION
DATE: 06/06/07
SCALE: 1" = 20'-0"
SHEET

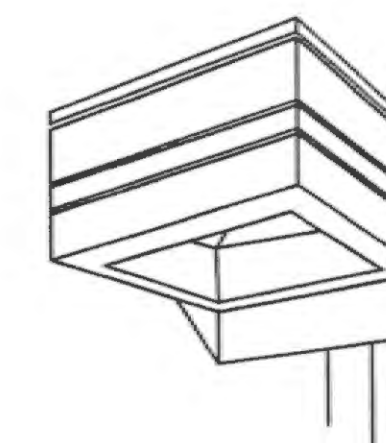
L0.02



ECTA FLAT LENS



ECTA 175/250/350W F/CT3



GREENBRIAR
FLAT LENS
W/HOUSE SIDE SHIELD

| Luminaire Schedule | | | | | | | |
|--------------------|-----|-------|-------------|--------|-------|--|-------------|
| Symbol | Qty | Label | Arrangement | Lumens | LLF | Description | Total Watts |
| ■ | 24 | A | SINGLE | 23500 | 0.720 | ECTA S 250 PSMV MT F | 288 |
| ■ | 5 | B | SINGLE | 23500 | 0.720 | GFM FP 250 PSMV HSS-S-18' PDLE + 2" BASE | 288 |

| Numeric Summary | | | | | |
|-----------------|------|------|-----|---------|---------|
| Label | Avg | Max | Min | Avg/Min | Max/Min |
| ALL CALC POINTS | 1.83 | 70.2 | 0.0 | NA | NA |

Maintained Footcandle levels.

| Statistical Area Summary | | | | | |
|--------------------------|-------|------|------|---------|---------|
| Label | Avg | Max | Min | Avg/Min | Max/Min |
| CANOPY | 48.72 | 70.2 | 26.2 | 1.86 | 2.68 |
| INSIDE CURB | 4.85 | 22.5 | 0.0 | NA | NA |

FILE COPY



2007 012

Based on the information provided, all dimensions and luminaire locations represent recommended positions. The engineer and/or architect must verify the applicability of the layout to existing or future field conditions.

The lighting pattern represents illumination levels calculated from laboratory data under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance may vary due to variation in electrical voltage, tolerance of luminaire components and other variable field conditions.

| Rev. | Date | By |
|--|--------------|----|
| Revisions | | |
| | | |
| LIGHTING PROPOSAL FOR | | |
| 7-11 NORTH GOLIAD ST & DALTON RD ROCKWELL, TX | | |
| SCALE: 1/8" = 1'-0" | LD-85667 | |
| DATE: 05-07-07 | | |
| BY: [Signature] | SHEET 1 OF 1 | |

Total Watts = 8352