

## DOOR / WINDOW NOTES

- ALL FUTURE INTERIOR DOORS TO BE UNDERCUT 3/4" FOR RETURN AIR.
- ALL DOORS AND WINDOWS TO COMPLY WITH THE UNIFORM BUILDING SECURITY CODE, EDITION 1994.
- GLAZING TO BE TEMPERED IF REQUIRED BY GOVERNING CODES AND ORDINANCES.
- LOCK OR LATCH AT ALL EXIT DOORS SHALL BE OPERABLE FROM INSIDE UNIT WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- ALL DOOR HARDWARE TO MEET TEXAS ACCESSIBILITY STANDARDS.
- ALL ENTRANCE DOORS TO BE 3'-0" WIDE WITH A FLOOR LEVEL CHANGE OF 1/2" MAX.
- VERIFY WITH FUTURE TENANTS FOR EXACT ATTIC ACCESS LOCATIONS. THE OPENING SHALL BE LOCATED IN A CORRIDOR, HALLWAY OR OTHER READILY ACCESSIBLE LOCATION.
- ALL ATTIC ACCESS DOORS ARE TO BE R-30 RATED.
- NUMBER OF ATTIC ACCESS DOORS REFLECTS THE NUMBER OF TENANTS WITHIN BUILDING. THERE MUST BE ONE ATTIC ACCESS DOOR PER TENANT.
- WINDOW AND DOOR SAMPLES SHALL BE PROVIDED BY CONTRACTOR TO OWNER FOR APPROVAL BEFORE ORDERING.
- EXTERIOR DOOR HARDWARE: REFER TO SHEET A-3 FOR SPECIFICATIONS.
- HARDWARE MUST BE APPROVED BY OWNER BEFORE PURCHASING.
- INTERIOR DOOR HARDWARE MUST MATCH EXTERIOR DOORS, BUT WILL NOT INCLUDE KICKPLATES OR DOOR SWEEPS.

## FINISH MATERIAL SPECIFICATIONS

### EXTERIOR

- ROOFING  
COMPOSITION ROOF TILES  
ELK PRESTIQUE® HIGH DEFINITION® 30-YR LIMITED WARRANTY OR SIMILAR PRODUCT. MUST BE APPROVED BY OWNER. COLOR - REFER TO OWNER'S SPECIFICATIONS.  
STANDING SEAM METAL  
BERRIDGE® TEE-PANEL STANDING SEAM ROOF OR SIMILAR PRODUCT. MUST BE APPROVED BY OWNER. COLOR - REFER TO OWNER'S SPECIFICATIONS.
- TRIM & BRACKETS  
WOOD  
PAINTED SEMI-GLOSS LATEX ENAMEL, REFER TO OWNER'S SPECS FOR COLOR  
E.I.F.S. TRIM  
TEXTURE - SAND BLAST, REFER TO OWNER'S SPECS FOR COLOR
- GUTTER & DOWNSPOUT - PREFINISHED METAL
- WALL  
CULTURED STONE - CALIFORNIA OLD WINDSOR CASTLE  
STUCCO  
TEXTURE - SKIP TROWEL, REFER TO OWNER'S SPECS FOR COLOR
- DOORS - HOLLOW METAL DOORS AND FRAMES (MATCH EXISTING BUILDING)  
VISTAWALL® STOREFRONT DOORS AND WINDOWS OR SIMILAR PRODUCT, MUST BE APPROVED BY OWNER. REFERENCE DOOR SCHEDULE
- WINDOWS - STOREFRONT (MATCH EXISTING BUILDING)  
VISTAWALL® STOREFRONT DOORS AND WINDOWS OR SIMILAR PRODUCT, MUST BE APPROVED BY OWNER. REFERENCE DOOR SCHEDULE
- LIGHTING  
TO BE SELECTED BY OWNER
- MISCELLANEOUS  
BUILDING/TENANT IDENTIFICATION

### INTERIOR

- (TO BE SELECTED BY TENANT)
- TRIM
  - WALL
  - DOORS
  - FLOORING
  - FINISH CARPENTRY

## HANDICAPPED ACCESSIBILITY NOTE

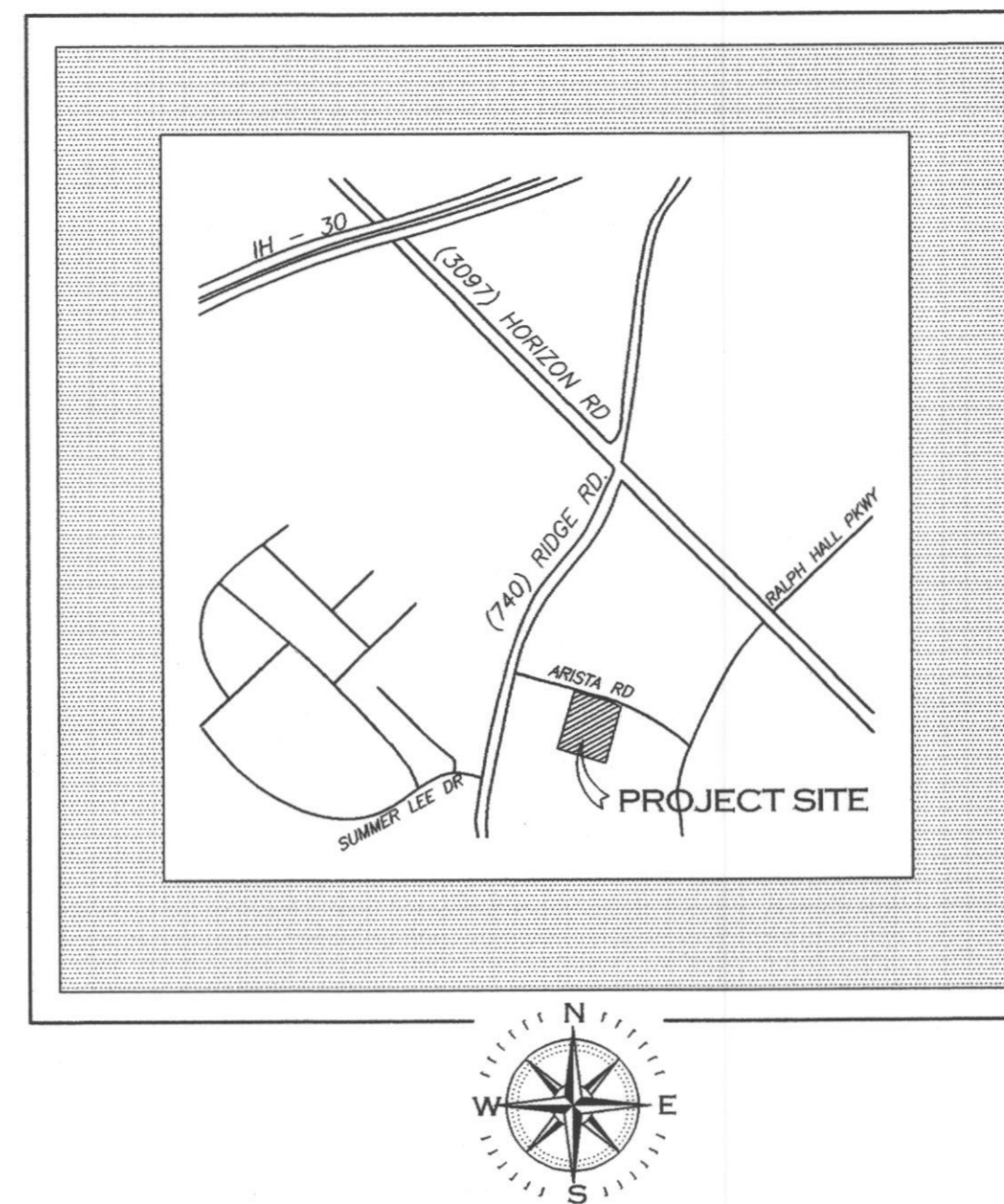
( FUTURE REFERENCE )

- DOORS:
  - PROVIDE AT LEAST 36" MINIMUM WIDTH SCHEDULED FOR ALL APPLICABLE DOORS.
  - PROVIDE AT LEAST 18" MINIMUM CLEARANCE AT THE PULL/LATCH SIDE OF DOORS.
  - THE FLOOR OR GROUND AREA WITHIN REQUIRED MANEUVERING CLEARANCES MUST BE LEVEL AND CLEAR, WITH SURFACE SLOPES NO GREATER THAN 1/4" PER FT. MAX. IN ALL DIRECTIONS.
  - THE CHANGE IN LEVEL AT DOORS, INCLUDING APPLIED THRESHOLDS, IS NO GREATER THAN 1/2" RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT DOORWAYS MUST BE BEVELED.
- WATER CLOSETS:
  - WATER CLOSETS ARE TO BE LOCATED WITH THE FIXTURE CENTERLINE 18" FROM THE NEAR WALL PARTITION.
  - WATER CLOSETS ARE TO BE 17"-19" A.F.F., MEASURED TO TOP OF SEAT.
  - PROVIDE 36" MIN. (BACK WALL) AND 42" (SIDE WALL) GRAB BARS. ENSURE THAT GRAB BARS ARE 33"-36" A.F.F. TO CENTERLINE.
  - FLUSH CONTROLS MUST BE MOUNTED ON THE WIDE SIDE OF TOILET AND NOT MORE THAN 44" A.F.F. CONTROLS MUST REQUIRE NO MORE THAN 5.0 LBF TO OPERATE.
  - DISPENSERS ARE TO BE MOUNTED AT LEAST 19" A.F.F. MIN. TO CENTERLINE, AND NOT MORE THAN 36" MAX. FROM THE BACK WALL TO THE FAR EDGE OF THE FIXTURES.
- URINAL:
  - WALL HUNG URINAL MUST HAVE A TAPERED ELONGATED RIM THAT PROJECTS AT LEAST 14" FROM THE PLUMBING WALL. THE RIM MAY BE MOUNTED NO HIGHER THAN 17" A.F.F. MAXIMUM. FLUSH CONTROLS SHALL BE MOUNTED NO MORE THAN 44" A.F.F.
- LAVATORIES:
  - LAVATORY TOPS SHALL BE AT 34" A.F.F., AND MUST PROVIDE KNEE CLEARANCE AT LEAST 30" WIDE AND 29" A.F.F. MIN. TO THE BOTTOM OF THE APRON.
  - LAVATORIES MUST BE MOUNTED AT LEAST 15" MIN. FROM THE NEAR WALL TO THE FIXTURE CENTERLINE.
  - EXPOSED PIPES AND SURFACES SHALL BE INSULATED AND PROTECT AGAINST CONTACT.
  - THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
- MIRRORS:
  - MIRRORS ARE MOUNTED WITH THE BOTTOM EDGE OF REFLECTING SURFACE NO MORE THAN 40" A.F.F.
  - AT LEAST ONE MIRROR IN EACH ACCESSIBLE TOILET ROOM MUST BE 74" A.F.F. MIN. AT THE TOPMOST EDGE.
- SINKS:
  - KITCHEN SINKS SHALL BE AT 34" A.F.F. COUNTER HEIGHT.
  - ENSURE 27" A.F.F. MIN. TO BOTTOM OF THE APRON FOR KNEE CLEARANCES.
  - SINKS SHALL BE 6 1/2" DEEP MAXIMUM.
  - EXPOSED PIPES AND SURFACES SHALL BE INSULATED AND PROTECT AGAINST CONTACT.
  - THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

## GENERAL NOTES

- THIS PROJECT HAS BEEN DESIGNED IN CONFORMANCE WITH THE INTERNATIONAL BUILDING CODE, 2000 EDITION, AND ANY AMENDMENTS BY THE CITY OF ROCKWALL, TEXAS, AND ALL APPLICABLE LOCAL ORDINANCES AND REGULATIONS. THIS PROJECT ALSO FOLLOWS ALL REQUIREMENTS BY THE STATE OF TEXAS PROGRAM FOR THE ELIMINATION OF ARCHITECTURAL BARRIERS.
- THE CONSTRUCTION TYPE: WD. CONSTRUCTION, TYPE V (N), NON-RATED. THE REQUIREMENTS ARE AS FOLLOWS:
  - EXTERIOR WALLS ARE TO BE NON-RATED.
  - FUTURE PARTY WALLS ARE TO BE ONE-HOUR RATED.
  - PARTITION WALLS ARE TO BE NON-RATED.
  - ROOFS AND CEILINGS ARE TO BE NON-RATED.
- THIS PROJECT HAS BEEN DESIGNED IN COMPLIANCE WITH THE FEDERAL ACCESSIBILITY GUIDELINES IN THE AMERICANS WITH DISABILITIES ACT, 1991.
- PROVIDE HANDICAP HARDWARE PER STATE OF TEXAS PROGRAM FOR THE ELIMINATION OF ARCHITECTURAL BARRIERS AT ALL DOORS.
- ANY OMISSIONS OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING, BEFORE COMMENCEMENT OF ANY WORK EFFECTED BY SUCH VARIANCE OR INCONSISTENCIES.
- THE ARCHITECT IS ONLY RESPONSIBLE FOR CONSTRUCTION DOCUMENTS ALONE AND IS NOT LIABLE FOR ANY DAMAGES OR INJURIES RESULTING FROM NEGLIGENCE, UNSAFE AND UNLAWFUL CONSTRUCTION PRACTICES AND IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS. NO VARIANCE BY A BUILDING OFFICIAL SHALL BE BINDING ON THE ARCHITECT.
- THE CONTRACTOR SHALL PAY ALL FEES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS AND OBTAIN ALL PERMITS AND CERTIFICATES OF APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THESE CONTRACT DOCUMENTS. HE SHALL COMPLY WITH ALL LAWS, ORDINANCES, RULES, AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL CONSTRUCT THE PROJECT IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH ALL CODES AND REGULATIONS PRIOR TO COMMENCEMENT OF THE WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF THE WORK, AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT SITE AND BE RESPONSIBLE FOR THEIR ACCURACY AND CORRECTNESS. ANY DIMENSIONS THAT ARE NOT TO SCALE WILL BE NOTED AS N.T.S.
- THE CONTRACTOR SHALL EMPLOY AN APPROVED TESTING LABORATORY TO MAKE ALL TESTS FOR CONCRETE, SOIL COMPACTION, ETC., TO INSURE COMPLIANCE WITH PLANS, STANDARDS, AND CODES.
- THE CONTRACTOR SHALL INVESTIGATE THE SITE DURING CLEARING & EARTH WORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES SUCH AS FOUNDATIONS, ETC. IF SUCH ITEMS ARE FOUND, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
- GENERAL CONTRACTOR SHALL REVIEW THE GEOTECHNICAL INFORMATION AND FAMILIARIZE HIMSELF WITH THE SUBSURFACE CONDITIONS AND COORDINATE WITH THE CIVIL ENGINEERING DRAWINGS FOR ALL UNDERGROUND UTILITIES AND TO PROVIDE FOR ANY ANTICIPATED SUBSURFACE WATER, ETC.
- PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE WITH APPLICABLE CODES AS INTERPRETED AND APPROVED BY LOCAL GOVERNING AUTHORITIES.
- PROVIDE SMOKE ALARMS PER BUILDING CODES.
- FRAMING SHOWN ON ARCHITECTURAL DRAWINGS ARE FOR CONCEPT ONLY REFER TO STRUCTURAL FRAMING ENGINEERS DRAWINGS FOR ACTUAL FRAMING REQUIREMENTS & DETAILS.
- REFER TO STRUCTURAL DRAWINGS FOR WIND SHEAR BRACING REQUIREMENTS.
- CONSTRUCTION LOADS SHALL NOT EXCEED THE STRUCTURE NOR SHALL THEY BE IN EXCESS OF THE DESIGN LOADS.
- ROOF GUTTERS: MINIMUM 5" OGEE WITH 3"x4" DOWNSPOUT (DS). EXTEND DOWNSPOUTS AWAY FROM FOUNDATION AND TERMINATE ON PRE-CAST CONCRETE SPLASH BLOCKS. WHEN POSSIBLE, GUTTERS SHALL BE EMPTY TO PARKING LOT. REFER TO CIVIL DRAWINGS FOR STORM DRAINAGE.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- ALL SILLS IN CONTACT WITH CONCRETE TO BE WOLMANIZED PINE.
- CAULKING OR SEALANT SHALL BE REQUIRED AT EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES; BETWEEN WALL AND FOUNDATIONS AT EXT. WALLS, BETWEEN WALL PANELS AT PENETRATIONS OR UTILITY SERVICES THROUGH WALLS; AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE SEALED IN AN APPROVED MANNER.
- VENT BATHROOMS PER LOCAL BUILDING CODE REQUIREMENTS.
- REFER TO FLOOR PLAN FOR ATTIC ACCESS LOCATIONS.

## LOCATION MAP



## ARCHITECTURE SYMBOLS

	SECTION DETAIL REFERENCE SHEET / DETAIL NO.		WINDOW MARK
	INTERIOR ELEVATION DRAWING NO.		DOOR MARK
	EXTERIOR ELEVATION SHEET / DRAWING NO.		REVISION NUMBER
	WALL SECTION DETAIL REFERENCE SHEET / DETAIL NO.		FLOOR ELEVATION REF. OR SPOT ELEVATION
	ELEVATION CHANGE		FLOOR SLOPE RATIO
			ROOF PITCH RATIO

## ABBREVIATION

A.F.F.	ABOVE FINISH FLOOR	I.D.	INSIDE DIAMETER
ALT.	ALTERNATE	INSUL.	INSULATION
ALUM.	ALUMINUM	INT.	INTERIOR
A.B.	ANCHOR BOLTS	J.T.	JOINT
L.	ANGLE	L.P.	LOW POINT
ARCH.	ARCHITECTURAL	MFR.	MANUFACTURER
AT	AT	MAS.	MASONRY OPENING
B.U. ROD	BACK-UP ROD	MAX.	MAXIMUM
BM.	BENCH MARK	MECH/ELEC/PLUMB	MECHANICAL
BLK.	BLOCK (ING)	MECH.	MECHANICAL
BD.	BOARD	MTL.	METAL
BOT.	BOTTOM	MIN.	MINIMUM
BULDG.	BUILDING	N.I.C.	NOT IN CONTRACT
B.U. ROOF	BUILT-UP ROOF	N.T.S.	NOT TO SCALE
CLG.	CEILING	O.C.	ON CENTER
CEM.	CEMENT	OPNG.	OPENING
CL.	CENTER LINE	O.H.	OPPOSITE HAND
CER.	CERAMIC	O.D.	OVERFLOW DRAIN
C.T.	CERAMIC TILE	PTD.	PAINTED
COL.	COLUMN	PLAS. LAM.	PLASTIC LAMINATE
CONC.	CONCRETE	R.	RADIUS
C.M.U.	CONCRETE MASONRY UNIT	PLUMB.	PLUMBING
CONST.	CONSTRUCTION	PLYWD.	PLYWOOD
CONT.	CONTINUOUS	POL.	POLISHED
CONTR.	CONTRACTOR	RAD., R.	RADIUS
C.V.	CURTAIN WALL	RECP.T.	RECEIPTACLE
C.W.	DECORATIVE	REINFC.	REINFORCING
DECOR.	DECORATIVE	REQ'D	REQUIRED
DET.	DETAIL	R.	RISER
DI.A./φ	DIAMETER	R.D.	ROOF DRAIN
DR.	DOOR	RM.	ROOM
D.S.	DOWNSPOUT	R.O.	ROUGH OPENING
EA.	EACH	SECT.	SECTION
ELEC.	ELECTRIC	SIM.	SIMILAR
E.W.C.	ELECTRIC WATER COOLER	STD.	STANDARD
ELEV.	ELEVATION	SQ.	SQUARE
EQ.	EQUAL	S.S.	STAINLESS STEEL
E.Q.	EQUAL	STD.	STANDARD
E.V.	EXPANSION JOINT	STRUCT.	STRUCTURAL
EXT.	EXTERIOR	THK.	THICK
FIN.	FINISH	T.C.	TOP OF CURB
F.E.C.	FIRE EXTINGUISHER CABINET	T.O.S.	TOP OF STEEL
F.H.C.	FIRE HOSE CABINET	T.W.	TOP OF WALL
FLASH.	FLASHING	T.	TREAD
FLOOR.	FLOOR	TYP.	TYPICAL
F.D.	FLOOR DRAIN	V.C.T.	VERTICAL
GALV.	GALVANIZED	VERT.	VERTICAL
G.I.	GALVANIZED IRON	VEST.	VESTIBULE
GA.	GAUGE	V.V.C.	VINYL WALL COVER
GEN.	GENERAL	W.P.	WATERPROOF (ING)
GYP. BD.	GYP. BOARD	W.W.M.	WELDED WIRE MESH
HARD BD.	HARDBOARD	W.F.	WIDE FLANGE
H.C.	HOLLOW CORE	W/	WITH
H.F.	HEIGHT	W/O	WITHOUT
H.P.	HIGH POINT	W.D.	WOVEN WIRE FABRIC
H.M.	HOLLOW METAL	W.W.F.	WOVEN WIRE FABRIC
HOR.	HORIZONTAL	U.N.O.	UNLESS NOTED OTHERWISE
HR.	HOUR		

## SITE DATA

TOTAL LAND AREA:	± 26,256 S.F.
TOTAL RENTABLE AREA:	7,684 S.F.
ALLOWABLE AREA:	9,000 S.F.
COVERAGE AREA:	7,684 S.F.
OPEN SPACE AREA:	9,131 S.F.
IMPERVIOUS AREA (PAVING):	9,441 S.F.
1:300 S.F. / GENERAL OFFICE PARKING REQUIRED:	26 SPACES
PARKING PROVIDED:	27 SPACES - (INCLUDED: 1 HC. SPACE / 1 HC. VAN ACCESSIBLE)

## ZONING / CODE INFORMATION

### ZONING CLASSIFICATION:

PD9

### CODES:

BUILDING CODE:	IBC 2000 W/ AMENDMENTS
ELECTRIC CODE:	NEC 1999 W/ AMENDMENTS
PLUMBING CODE:	IPC 2000 W/ AMENDMENTS
MECHANICAL CODE:	IMC 2000 W/ AMENDMENTS
FIRE CODE:	IFC 2000

### OCCUPANCY TYPE:

BUILDINGS: B2 - BUSINESS

### CONSTRUCTION TYPE:

TYPE: V (N) - NON RATED

### SFRINKLER TYPE:

BUILDING: NFPA 13

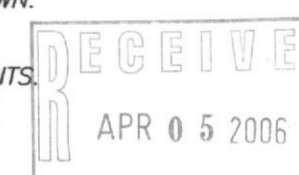
## DRAWING INDEX

*	COVER SHEET
A-1	PROJECT INFORMATION, GENERAL NOTES, DRAWING INDEX
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A-8	WINDOW & DOOR DETAILS, EXTERIOR DETAILS
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A-11	TEXAS ACCESSIBILITY STANDARDS
A-12	TEXAS ACCESSIBILITY STANDARDS
E1	ELECTRIC PLAN
P1	PLUMBING PLAN
S1	FOUNDATION PLAN
S2	STRUCTURAL PLAN

## SITE NOTES

- PROJECT FENCE & SCREENING AS REQUIRED BY CODES. REFER TO LANDSCAPE PLANS FOR LOCATIONS.
- ALL STANDARD PARKING SPACES TO BE: 9'-0" x 18'-0" HANDICAP PARKING SPACES SHALL MEET STATE STANDARDS. ALL HANDICAPPED PARKING SPACES TO BE: 13'-0" x 18'-0" VAN HANDICAP PARKING SPACES SHALL MEET ANSI & ADA GUIDELINES FOR VAN ACCESSIBILITY. ALL VAN HANDICAPPED PARKING SPACES TO BE: 16'-0" x 18'-0"
- VERIFY ALL SITE DIMENSIONS WITH CIVIL ENGINEER'S DRAWINGS.
- REFER TO ENGINEER'S DRAWINGS FOR ALL GRADES AND FINISHED FLOOR ELEVATIONS.
- REFER TO LANDSCAPE DRAWINGS FOR SIDEWALK AND IRRIGATION DESIGN, DETAILS, AND LOCATIONS.
- PROVIDE HANDICAPPED RAMPS WHERE HANDICAPPED SPACES SHOWN. REFER TO CIVIL DRAWING FOR DETAILS.
- PROVIDE CITY SIDEWALK, WHERE REQUIRED, PER CITY REQUIREMENTS.

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2006 008

Revisions:

Job no.:

Issue date:

2/22/06

Sheet info:

DRAWING INDEX  
PROJECT DATA  
GENERAL NOTES

Sheet no.

A-1







LOT 1, BLOCK A  
HORIZON RIDGE ADDITION  
CAB. E, SLIDE 117, M. R. R. C. T.

LOT 2, BLOCK A  
HORIZON RIDGE ADDITION  
CAB. E, SLIDE 117, M. R. R. C. T.

ARISTA ROAD  
(60' RIGHT-OF-WAY)

KEY	QUAN.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
TREES					
EPH 05		EAST PALATKA HOLLY	ILEX 'EAST PALATKA'	15 GAL.	8'-10" HT./4'-5" SPD. PLANT 15" O.C. MIN. SINGLE TRUNK. MUST BE STRAIGHT AND UNIFORM IN SIZE AND SHAPE. (MATCH SPECIES TO PHASE)
SHRUBS:					
DWM 50		DWARF WAX MYRTLE	MYRTA PUBILLA	3 GAL.	PLANT 36" O.C. MIN. WHERE INDICATED.
IH 04		INDIAN HAWTHORN	RHAPLOLEPIS INDICA	3 GAL.	PLANT 36" O.C., FULL HEADS AND UNIFORM SIZE
DBH 08		DWARF BURFORD HOLLY	ILEX CORNUTA 'BURFORD'	3 GAL.	PLANT 36" O.C., FULL HEADS AND UNIFORM SIZE
HDN 237		HARBOR DWARF NANDINA	NANDINA DOMESTICA	1 GAL.	PLANT 2" O.C., UNIFORM SIZE.
					'HARBOR DWARF'
GROUND COVER:					
L 04		LIRIOPE	LIRIOPE MUSCARI	1 GAL.	PLANT 18" O.C.
SC 443		SEASONAL COLOR	(SEASONAL)	4" POTS	PLANT 4" O.C.
800		COMMON BERBERUDA	CYNODON DACTYLON	800	LAY IN 'STAGGER-PATTERN'

**LANDSCAPE TABULATION**

TOTAL SITE = 2.32 AC (101,027.71 S.F.)  
 PERVIOUS AREA = 0.84 AC (36,875.62 S.F.) 36%  
 LANDSCAPE AREA (PERVIOUS AREA) REQUIRED = 20%  
 LANDSCAPE AREA (PERVIOUS AREA) PROVIDED = 36%

**PHASE 2**  
 PHASE 2 SITE = .23 AC (10,200 S.F.) 100%  
 CONSIST OF:  
 BUILDING #2 (ONLY)  
 PERVIOUS AREA = 0.06 AC (2,400 S.F.) 35%  
 LANDSCAPE AREA (PERVIOUS AREA) REQUIRED = 24%  
 LANDSCAPE AREA (PERVIOUS AREA) PROVIDED = 24%

**LANDSCAPE BUFFER**  
 NORTH (ARISTA ROAD)  
 10' REQUIRED  
 10' PROVIDED

**SOUTH**  
 N/A

**EAST**  
 N/A

**WEST**  
 N/A

**STREET TREES**  
 N/A

**NOTE:**  
 NO TREES SHALL BE PLANTED CLOSER THAN 5' FROM ANY UTILITY LINE. THIS INCLUDES, BUT NOT LIMITED TO SANITARY SEWER, STORM DRAIN, ELECTRICAL, GAS AND WATER LINES.

- PLANT KEY**
- EXISTING PHASE I TREE: BALD CYPRESS
  - EXISTING PHASE I TREE: PECAN
  - EXISTING PHASE I TREE: LACE BARK ELM
  - EAST PALATKA HOLLY
  - DWARF BURFORD HOLLY
  - INDIAN HAWTHORN
  - HARBOR DWARF NANDINA
  - DWARF WAX MYRTLE
  - SEASONAL COLOR
  - LIRIOPE
  - 25' SIGHT VISIBILITY ANGLE
  - WROUGHT IRON FENCE
  - A.D. AREA DRAIN (ADS OR APPROVED EQUAL)
  - 10' LANDSCAPE BUFFER LINE
  - 664 EXISTING CONTOUR
  - 664 PROPOSED CONTOUR
  - 72.69 PROPOSED SPOT ELEVATION
  - 485.62 EXISTING SPOT ELEVATION
  - DRAINAGE DIVIDE
  - BFR BARRIER FREE RAMP
  - FIR IRON ROOF POND
  - PP POWER POLE
  - BOL BOLLARD
  - WH WATER METER
  - WV WATER VALVE
  - FH FIRE HYDRANT
  - PP POWER POLE

15 FT. DRAINAGE EASEMENT (CAB. E, SLIDE 325, M. R. C. C. T.)  
 25 FT. DRAINAGE EASEMENT (CAB. E, SLIDE 325, M. R. C. C. T.)

LOT 11R, BLOCK A  
HORIZON RIDGE ADDITION  
CAB. E, SLIDE 325, M. R. C. C. T.

24 FT. FIRELANE, ACCESS & UTILITY EASEMENT (CAB. E, SLIDE 325, M. R. C. C. T.)

LOT 13, BLOCK A  
HORIZON RIDGE ADDITION  
CAB. E, SLIDE 325, M. R. C. C. T.

15 FT. FIRELANE, UTILITY, AND 20' DRAINAGE AND MUTUAL ACCESS EASEMENT (BY THIS PLAT)

PETER TEMUNOVIC & CVIJETATEMUNOVIC  
VOL. 959, PG. 150  
D. R. R. C. T.

Rev	Date	Description
1	03.20.06	PER CITY OF ROCKWELL PLANNING REVIEW

NOTE: PROPOSED PHASE III DUMPSTER TO BE PROPERLY SCREENED WHEN CONSTRUCTED.

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 SITE PLANNING-LANDSCAPE ARCHITECTURE  
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LANDSCAPE\_PLAN

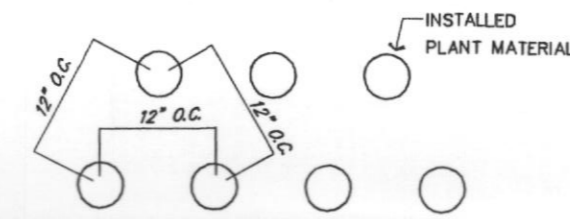
HORIZON RIDGE PARK-PHASE 2  
 ARISTA ROAD  
 ROCKWALL, TEXAS  
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JOB  
RCCROP120403

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OF SHEETS  
APR. 3, 2006  
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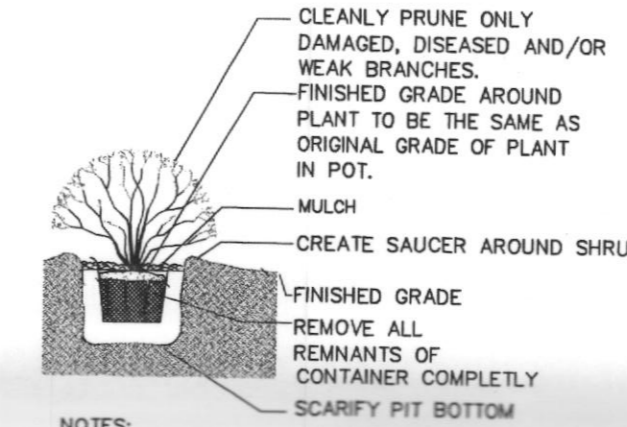
**GENERAL NOTES—LANDSCAPE**

- QUANTITIES INDICATED ON PLANT LIST ARE LANDSCAPE ARCHITECT'S ESTIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS REQUIRED AT SPACING DESIGNATED FOR BED SIZES AND CONFIGURATIONS SHOWN ON PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT SCHEDULE.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES, AMBIGUITY OR UNLABELED PLANTS ON PLANS PRIOR TO BID SUBMITTAL. IF DISCREPANCIES, AMBIGUITY OR UNLABELED PLANTS ARE NOT CLARIFIED BY LANDSCAPE ARCHITECT PRIOR TO BID SUBMITTAL DATE, CONTRACTOR SHALL NOTE SUCH ITEMS ON BID.
- SOIL AMENDMENTS TO BE "MIXED SOIL WITH COMPOST" AS PRODUCED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL.
- TREE HOLES TO BE EXCAVATED 2" GREATER THAN BALL DIAMETER AND 6" DEEPER. BACKFILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST (OR APPROVED EQUAL) AS NOTED UNDER NOTE 3 ABOVE, THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- SHRUB PIT SHALL BE EXCAVATED 12" GREATER THAN BALL DIAMETER AND 6" DEEPER. BACKFILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST (OR APPROVED EQUAL) AS NOTED UNDER NOTE 3 ABOVE, THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- MULCH TOP DRESSING TO BE MINIMUM 3" LAYER SHREDDED HARDWOOD BARK (TO MATCH PHASE I), SPREAD UNIFORMLY ON ALL SHRUB AND GROUNDCOVER BEDS AND ON ALL TREE SAUCERS.
- BED EDGING (IF APPLICABLE) TO BE "BUILDERS STONE" AS PROVIDED BY CUSTOM STONE. (TYPE TO MATCH STONE USED ON WALLS IN PHASE II). 3-6" HIGH, 6-10" LENGTH.
- ALL HOLES FOR TREES AND LARGE SHRUBS SHALL BE TESTED FOR WATER RETENTION PRIOR TO TREE OR SHRUB PLANTING. AFTER HOLE IS EXCAVATED, IT IS TO BE FILLED WITH WATER TO THE TOP OF THE EXCAVATION. IF, AFTER 24 HOURS, THE HOLE STILL HOLDS WATER, THE CONTRACTOR SHALL EXCAVATE AN ADDITIONAL 6" FROM THE BOTTOM OF THE HOLE. THE LANDSCAPE CONTRACTOR SHALL THEN INSTALL 6" OF NATIVE WASHED GRAVEL COVERED ON THE TOP (AND UP TO A MINIMUM OF 12" ON THE SIDES OF THE HOLE) WITH FILTER FABRIC. THE CONTRACTOR SHALL ALSO INSTALL A CAPPED 3" DIAMETER PVC SUMP WHICH WILL EXTEND FROM NEAR THE BOTTOM OF THE ROCK LAYER TO 3" ABOVE THE PROPOSED FINISH GRADE SO THE HOLE CAN BE PUMPED THROUGH MECHANICAL MEANS.
- ALL PLANTING (TREES, SHRUBS, GROUNDCOVER, AND/OR GRASS APPLICABLE, TO BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED PROVIDING WATER TO ALL PROPOSED LANDSCAPE IMPROVEMENTS. SYSTEM WILL HAVE A FREE STANDING PEDISTAL AND ITS OWN POWER SOURCE. CONTROLLER IS NOT TO BE MOUNTED TO LIGHT POLE BASE. LIGHT POLE IS NOT/CANNOT BE A POWER SOURCE FOR CONTROLLER.
- IRRIGATION PLANS SHALL BE PRODUCED AND PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION PLAN WILL BE AN "AS-BUILT" DRAWING OF ACTUAL INSTALLED CONDITION. A REPRODUCIBLE COPY WILL BE PROVIDED TO THE CITY OF DALLAS PARK AND RECREATION DEPARTMENT, INDICATING ALL HEAD LOCATIONS, LINES SIZES, CONTROLLER LOCATION AND DESCRIPTION ALSO INCLUDE METER, LOCATION, SHUT-OFF VALVE LOCATIONS, QUICK COUPLERS DOUBLE CHECK VALVES AND ANY OTHER PERTINENT EQUIPMENT NECESSARY IN DESIGN.
- ALL MEDIANS WILL BE GRADED AND SLOPED TO DRAIN.
- A MAINTENANCE SCHEDULE WILL BE ESTABLISHED, BY AGREEMENT, BETWEEN A REPUTABLE CONTRACTOR AND THE TURTLE CREEK ASSOCIATION. CONTRACTOR WILL PROVIDE ADEQUATE AND REGULAR LANDSCAPE AND IRRIGATION MAINTENANCE.
- THE APPLICATION OF PESTICIDES AND/OR HERBICIDES WILL ONLY BE PERFORMED BY THE PARK AND RECREATION DEPARTMENT, DALLAS, TEXAS OR AN APPROVED LICENSED PROFESSIONAL.



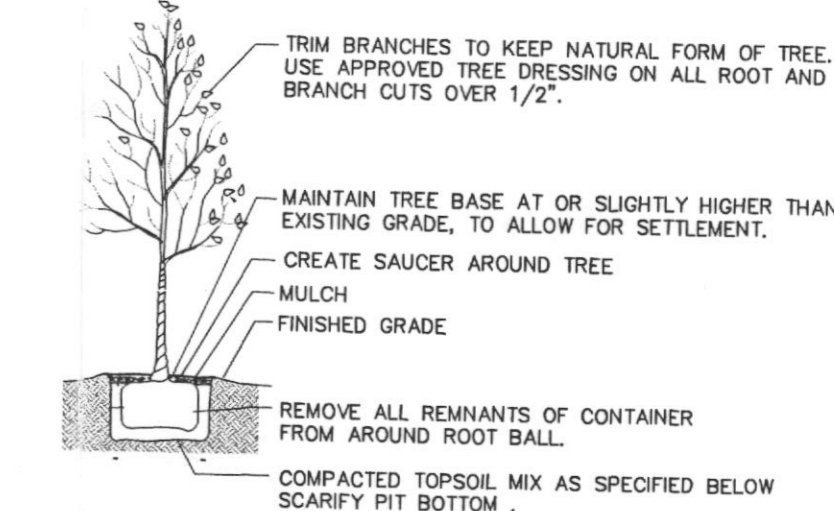
NOTE:  
1. THE "ON CENTER" MAY VARY PER PLANT TYPE. REFER TO PLANT SCHEDULE, THIS SHEET FOR VARIOUS "ON CENTERS".

**C**  
L2 TYPICAL GROUNDCOVER PLANTING DETAIL NTS



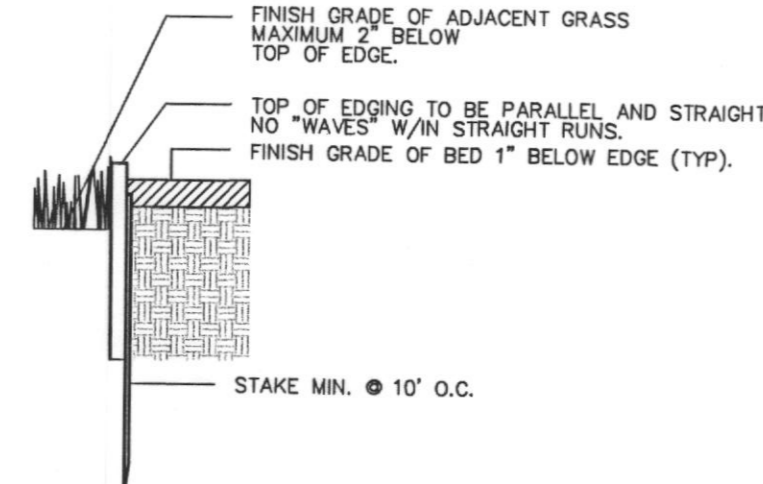
NOTES:  
CONTAINER PLANT  
1. USE TOPSOIL MIX.  
2. WATER THOROUGHLY AFTER INSTALLATION  
3. EXCAVATE ENTIRE SHRUB BED AS SHOWN

**B**  
L2 SHRUB PLANTING DETAIL NTS



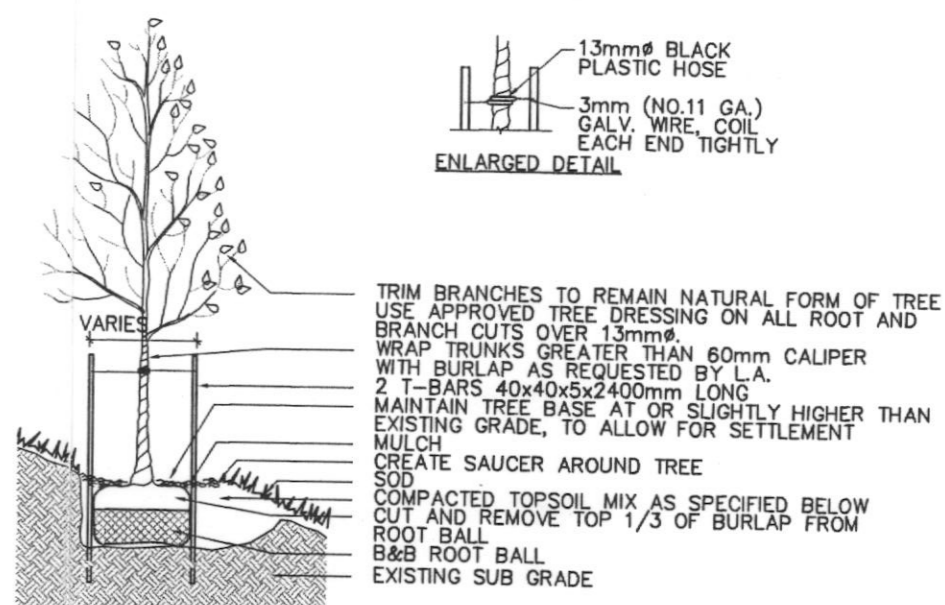
SPECIFICATIONS:  
1. TOPSOIL MIX, AS RECOMMENDED BY INDUSTRY STANDARDS FOR THE AREA.  
2. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.  
3. WATER THOROUGHLY AFTER INSTALLATION.  
4. REMOVE TREE RINGS AND STAKES TWO YEARS.  
5. PROVIDE DRAINAGE FOR PLANTING PIT IN IMPERMEABLE SOIL.

**A**  
L2 TREE PLANTING DETAIL NTS



STAKE MIN. 10' O.C.

**E**  
L2 STEEL EDGE DETAIL—SECTION NTS



NOTES:  
1. TOPSOIL MIX, SEE SPEC.  
2. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.  
3. WATER THOROUGHLY AFTER INSTALLATION.  
4. REMOVE TREE RINGS AND STAKES TWO YEARS AFTER INSTALLATION.  
5. PROVIDE DRAINAGE FOR PLANTING PIT IN IMPERMEABLE SOIL.  
6. ALL TREES MUST BE TAGGED AND APPROVED BY CONSULTANT WITHIN 14 DAYS AFTER TENDER CLOSING.

**D**  
L2 TREE/SLOPE PLANTING DETAIL NTS

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75226



LANDSCAPE\_DETAILS

HORIZON RIDGE PARK—PHASE 2  
ASTRID ROAD  
ROCKWALL, TEXAS  
00000

JOB  
RCCROP120403

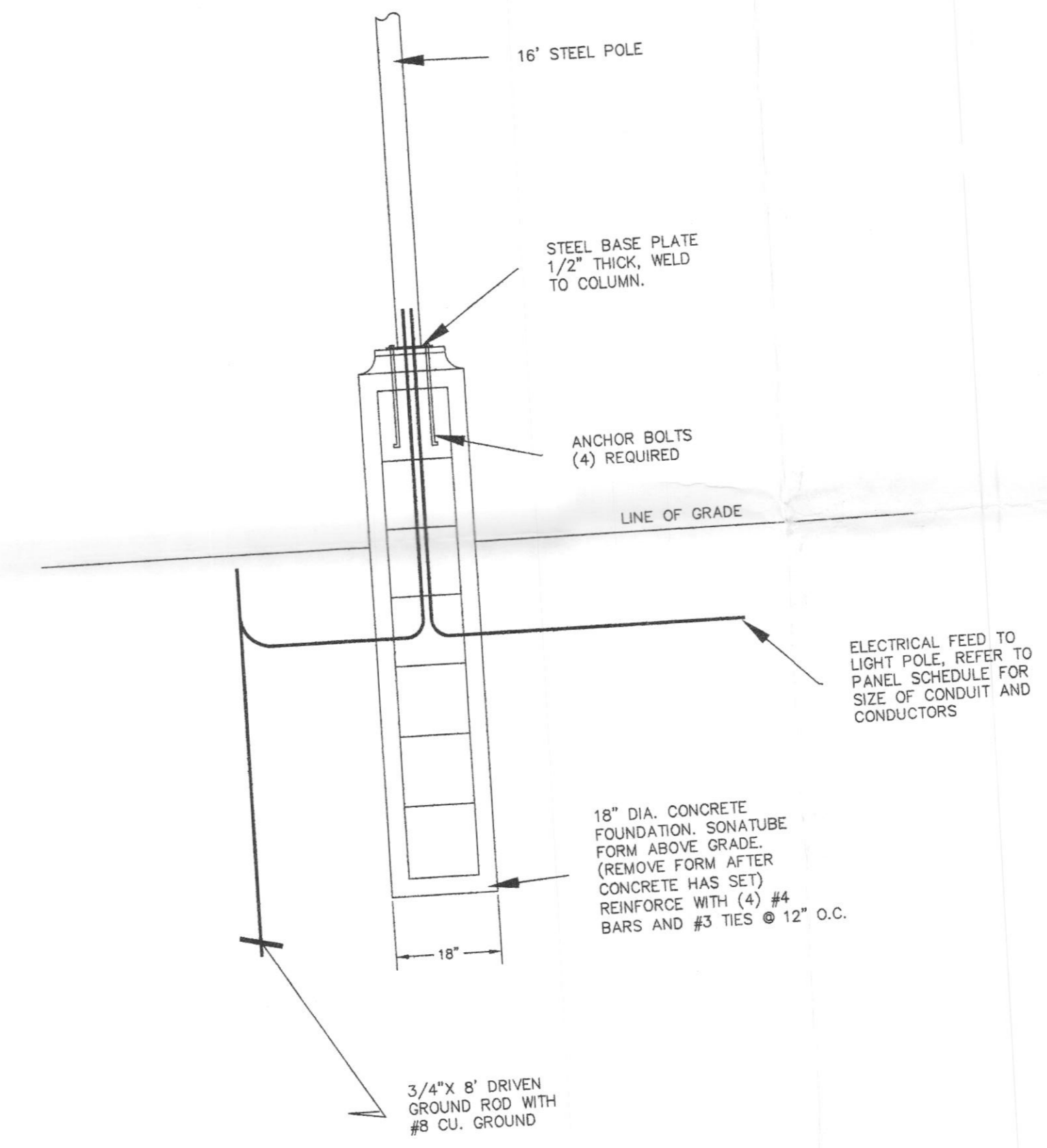
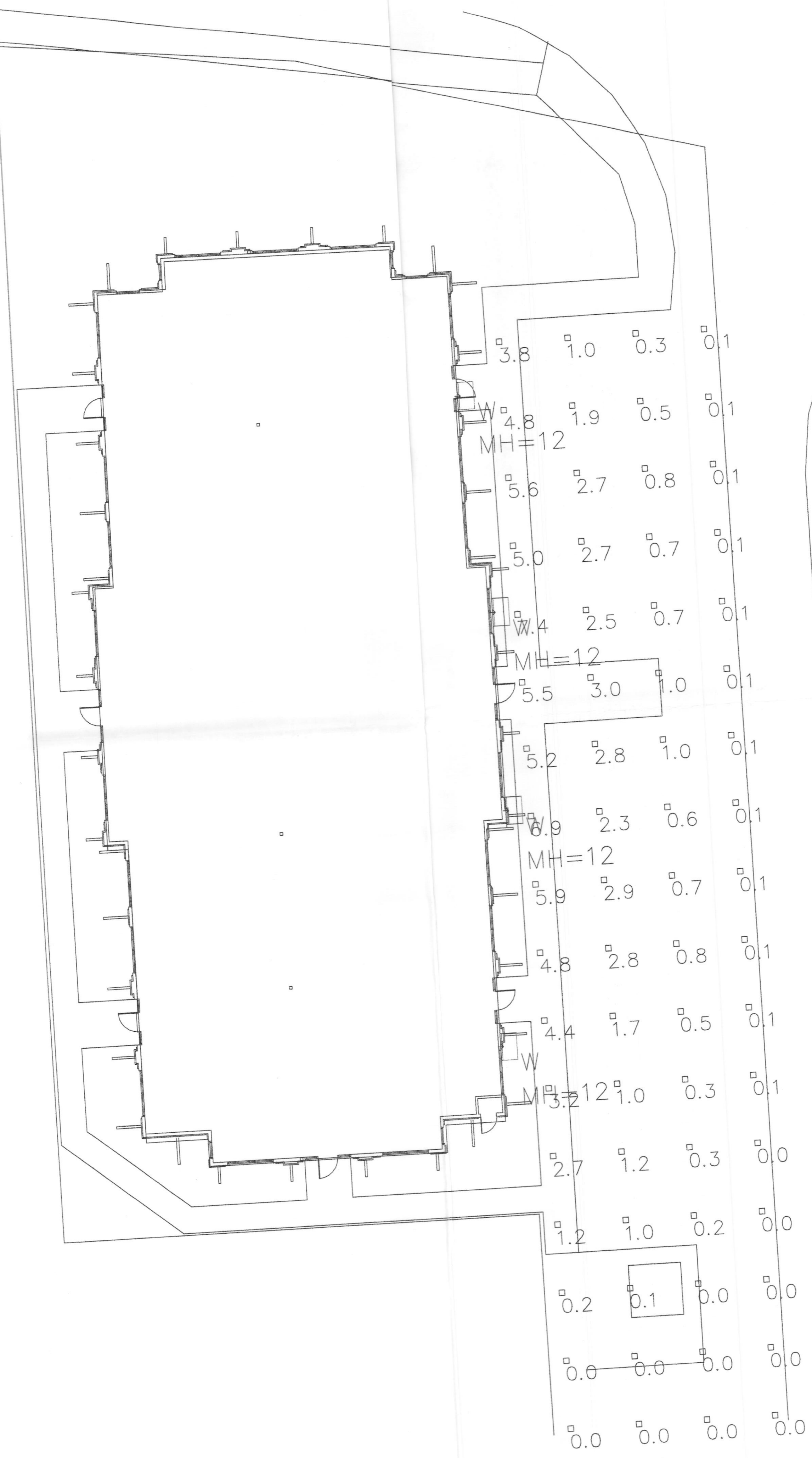
SHEET NUMBER  
L-2  
OF SHEETS  
APR. 3, 2006  
DATE ISSUED

Calculations at grade. Luminaire symbols not to scale.

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
W	4	W	SINGLE	8500	0.750	VXS-100-MH-XX-3S

Numeric Summary									
Project	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpclr	PtSpctb
All Projects	Illuminance	Fc	1.56	7.4	0.0	0.00	0.00	10	10
Parking									

Luminaire Location Summary					
SeqNo	Label	X	Y	Z	Orient
1	W	66	25	12	0
2	W	66	121	12	0
3	W	69	89	12	0
4	W	69	59.5	12	0



**LIGHT POLE & BASE**  
NO SCALE

2045 N. HIGHWAY 360, STE 180 AND PRAIRIE, TEXAS 75158  
 (817) 640-0700 (817) 653-5555  
 CNK ASSOCIATES, INC.



**HORIZON RIDGE PARK**  
**BUILDING # 2, ROCKWALL, TEXAS**

Revisions:

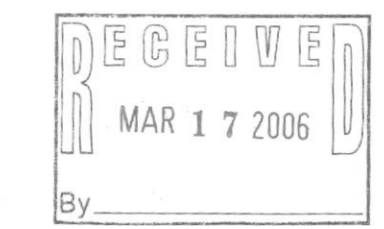
Job no:

Issue date:

Sheet info:  
SITE LIGHTING

Sheet no.

**ME-1**



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