

CITY OF ROCKWALL

ORDINANCE NO. 24-42

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A COMMERCIAL (C) DISTRICT TO PLANNED DEVELOPMENT DISTRICT 102 (PD-102) FOR COMMERCIAL (C) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 67.475-ACRE TRACT OF LAND IDENTIFIED AS LOT 1, BLOCK B; LOT 1R, BLOCK C; AND LOT 1, BLOCK D, ROCKWALL COMMERCIAL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* AND FURTHER DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from William S. Dahlstrom of Jackson Walker, LLP on behalf of Ronald P. Berlin of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a *Zoning Change* from a Commercial (C) District to Planned Development District 102 (PD-102) for Commercial (C) District land uses on a 67.059-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road (*FM-3549*) and the IH-30 Frontage Road, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with

the *Subdistrict Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Overall Concept Plan*, depicted in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *Phasing Plan*, depicted in *Exhibit 'E'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That development of the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'F'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'F'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 6. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, outlined in *Exhibit 'G'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'G'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 7. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

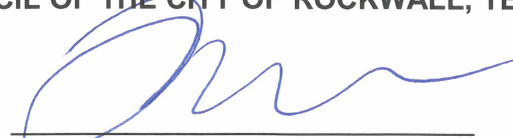
SECTION 8. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 9. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 10. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (*including references to the Unified Development Code [UDC]*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 11. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 21ST DAY OF OCTOBER, 2024.



Trace Johannesen, Mayor


ATTEST:



Kristy Teague, City Secretary



APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: October 7, 2024

2nd Reading: October 21, 2024

Exhibit 'A'
Legal Description

BEING a tract of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 and the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and being all of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 2021000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), a portion of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 2021000008470, P.R.R.C.T., and the remainder of Lot 1, Block D, Rockwall Commercial Park, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, P.R.R.C.T., and a portion of Conveyors Street, a 60' right-of-way, and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found for corner;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point for corner from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 1,507.74 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southwest corner of said Lot 1, Block B, and the Southeast corner of the remainder of said Lot 1, Block D;

THENCE South 72 deg 43 min 43 sec West, along the South line of the remainder of said Lot 1, Block D, and continuing along the North right-of-way line of said Interstate Highway 30, a distance of 169.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "RPLS5034" found for corner;

THENCE South 72 deg 46 min 08 sec West, continuing along the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, a distance of 136.39 feet to a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found for corner, said iron rod being the Southwest corner of the remainder of said Lot 1, Block D, and being the beginning of a non-tangent curve to the right having a radius of 397.84 feet, a central angle of 13 deg 52 min 54 sec, a chord bearing of North 10 deg 51 min 14 sec West, and a chord length of 96.15 feet;

THENCE along said non-tangent curve to the right, departing the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, and along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, an arc distance of 96.39 feet to a point for corner;

THENCE North 03 deg 13 min 23 sec West, continuing along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, a distance of 144.04 feet to a point for corner;

THENCE South 86 deg 34 min 32 sec West, departing the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, and crossing the right-of-way of said Conveyors Street, a distance of 60.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner, said iron rod being the Southeast corner of said Lot 1R, Block C, and being situated in the West right-of-way line of said Conveyors Street;

Exhibit 'A'
Legal Description

THENCE South 86 deg 34 min 32 sec West, departing the West right-of-way line of said Conveyors Street, and along the common line of said Lot 1R, Block C, and Lot 1, Block C, of said Rockwall Commercial Park, a distance of 309.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 74 deg 26 min 07 sec East, a distance of 0.62 feet;

THENCE North 05 deg 29 min 52 sec West, departing said common line and along the common line of said Lot 1R, Block C, and a tract of land described in deed to Rockwall 549/l-30 Partners LP, recorded in Instrument Number 200700387631, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.), a distance of 1,036.76 feet to a point for corner from which a 1/2-inch iron rod found bears North 78 deg 37 min 38 sec East, a distance of 0.42 feet;

THENCE North 89 deg 44 min 47 sec East, along the common line of said Lot 1R, Block C, and a tract of land as described in deed to Janis G. Dorris & Nelda L. Lacuesta, recorded in Volume 850, Page 85, O.P.R.R.C.T., a distance of 175.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 49 deg 13 min 08 sec East, a distance of 0.47 feet;

THENCE North 01 deg 22 min 01 sec West, continuing along said common line, a distance of 14.02 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northeast corner of said Lot 1R, Block C, and a Southeast corner of said Janis G. Dorris & Nelda L. Lacuesta tract;

THENCE North 88 deg 16 min 40 sec East, departing said common line and along the North line of said Lot 1R, Block C, and the South right-of-way line of Justin Road, an 85- foot right-of-way, a distance of 204.88 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Northerly corner of said Lot 1R, Block C;

THENCE North 88 deg 16 min 27 sec East, departing the North line of said Lot 1R, Block C, and over and across the right-of-way of said Justin Road and said Conveyors Street, a distance of 120.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northwest corner of said Lot 1, Block B;

THENCE along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, the following:

North 88 deg 16 min 40 sec East, a distance of 311.50 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner;

North 88 deg 25 min 20 sec East, a distance of 281.12 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the left having a radius of 1,592.50 feet, a central angle of 17 deg 40 min 38 sec, a chord bearing of North 79 deg 26 min 21 sec

East, and a chord length of 489.38 feet;

Along said curve to the left, an arc distance of 491.33 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the right having a radius of 3,979.40 feet, a central angle of 18 deg 16 min 32 sec, a chord bearing of North 79 deg 44 min 18 sec

East, and a chord length of 1,263.93 feet;

Along said curve to the right, an arc distance of 1,269.30 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 52 min 09 sec East, a distance of 0.84 feet;

North 88 deg 52 min 34 sec East, a distance of 49.83 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 14 deg 09 min 55 sec East, a distance of 0.76 feet, said point being the most Northerly Northeast corner of said Lot 1, Block B,

Exhibit 'A'
Legal Description

and the Northeast corner of a corner clip, and being situated in the West right-of-way line of said F.M. Highway 3549;

THENCE South 46 deg 07 min 44 sec East, continuing along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, and along the West right-of-way line of said F.M. Highway 3549, and said corner clip, a distance of 42.43 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 58 min 22 sec East, a distance of 0.71 feet, said point being a North corner of said Lot 1, Block B, and the Southeast corner of said corner clip;

THENCE, departing the South right-of-way line of said Justin Road, the North line of said Lot 1, Block B, and said corner clip, continuing along the West right-of-way line of said F.M. Highway 3549 and along the East line of said Lot 1, Block B, the following:

South 01 deg 13 min 54 sec East, a distance of 165.08 feet to a 1/2-inch iron rod found for corner;

South 01 deg 26 min 27 sec West, a distance of 113.61 feet to a 5/8-inch iron rod found for corner;

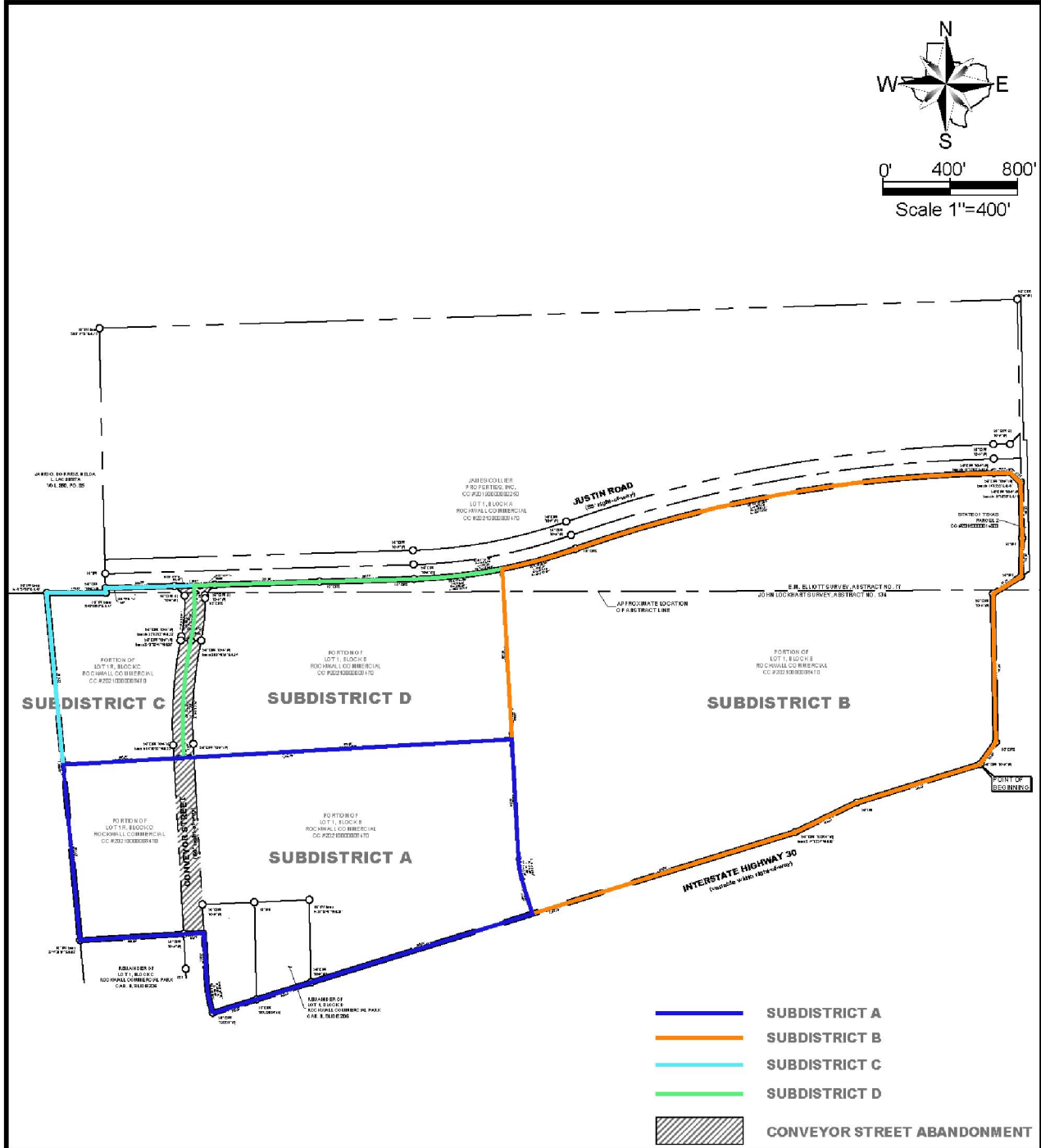
South 58 deg 12 min 56 sec West, a distance of 98.69 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

South 01 deg 07 min 09 sec East, a distance of 441.34 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" for corner, said iron rod being situated in the North right-of-way line of said Interstate Highway 30, and being the Northeast corner of a corner clip;

THENCE South 35 deg 33 min 35 sec West, continuing along the West right-of-way line of said F.M. Highway 3549, and along said corner clip, a distance of 80.25 feet to the *POINT OF BEGINNING*. Containing 67.475 acres or 2,939,199 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

Exhibit 'B'
Survey



Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS ■ SURVEYORS
 6780 HILLCREST PLAZA DRIVE, SUITE 215 (972) 480-7000
 DALLAS, TEXAS 75250 (972) 490-7099 FAX
 Texas Engineers Registration No. 09
 Texas Surveyors No. 10086600 Expires 12-31-2024
 COPYRIGHT © 2024, Winkelmann & Associates, Inc.

Scale : 1:400
 Date : 08.14.24
 Dwg. File : 63406-Exhibit B
 Project No. : 63406

EXHIBIT B
SURVEY

PROPERTY BOUNDARY
 67.475 ACRES
 (2,939,199 SQ. FT.)

SHEET
1
OF
1

Exhibit 'C'
Subdistrict Plan

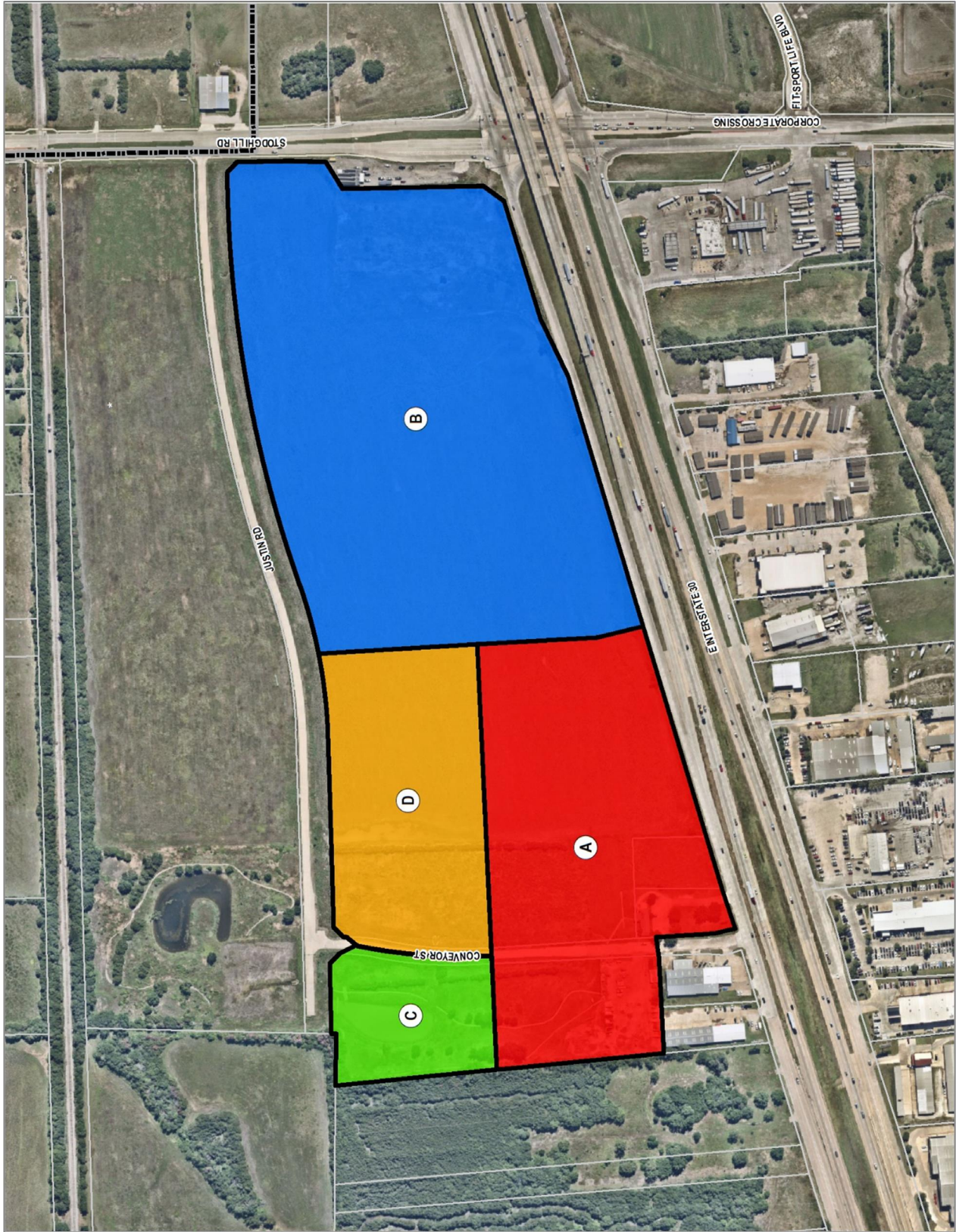
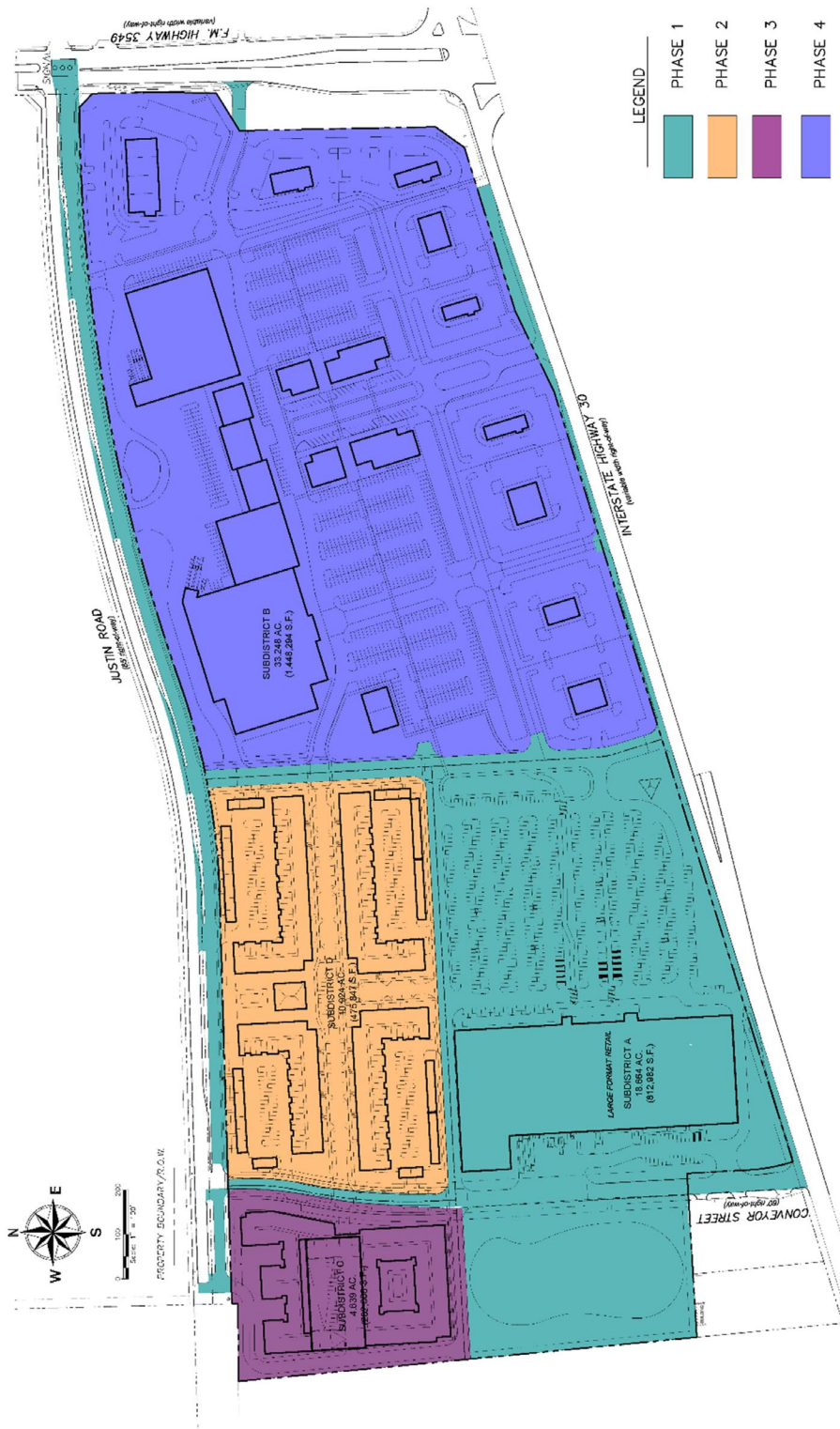


Exhibit 'D'
Overall Concept Plan



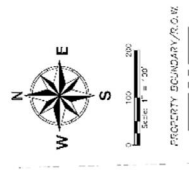
Exhibit 'E' Phasing Plan



- LEGEND**
- PHASE 1
 - PHASE 2
 - PHASE 3
 - PHASE 4

**EXHIBIT E
PHASING PLAN**
Rockwall, Texas Rockwall Heights // August 08, 2024 // Site Analysis

Job #: 24050



ROCKWALL HEIGHTS
GFFdesign

PegasusAbdon

Collins Engineering & Design

IKEA

Jackson Walker

Winkelmann & Associates, Inc.

Exhibit 'F'
 Conceptual Building Elevations | Subdistrict A

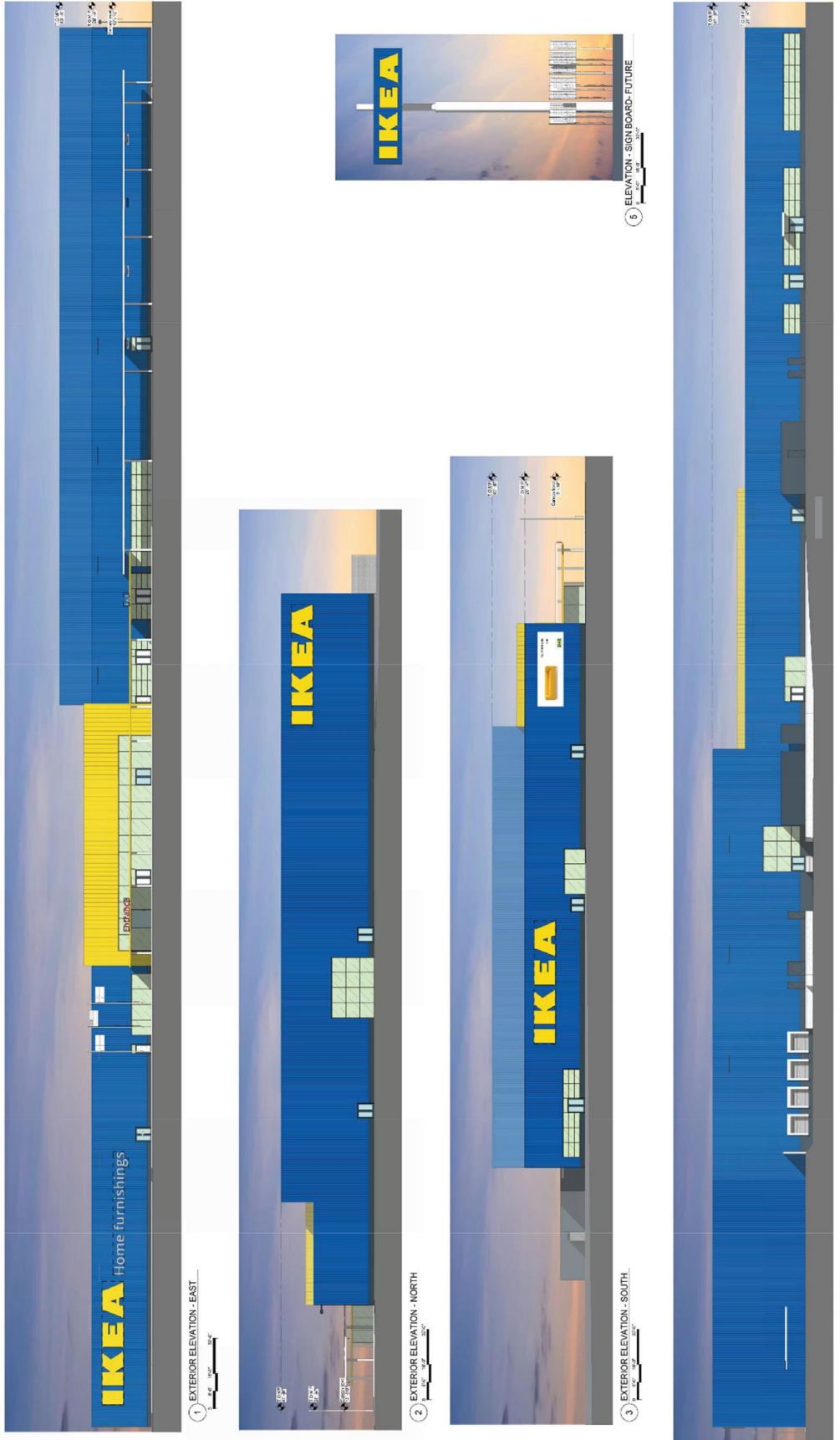


Exhibit 'F'
Conceptual Building Elevations | Subdistrict C



Exhibit 'F'
Conceptual Building Elevations | Subdistrict C



Exhibit 'F'
Conceptual Building Elevations | Subdistrict D



NORTH STREET FACING
SCALE: 1/16" = 1'-0"



SOUTH INTERNAL PARKING COURT
SCALE: 1/16" = 1'-0"

Exhibit 'F'
Conceptual Building Elevations | Subdistrict D



EAST STREET FACING
SCALE: 1/16" = 1'-0"



WEST INTERNAL PARKING COURT
SCALE: 1/16" = 1'-0"

Exhibit 'F'
Conceptual Building Elevations | Subdistrict D



Exhibit 'F'
Conceptual Building Elevations | Subdistrict D

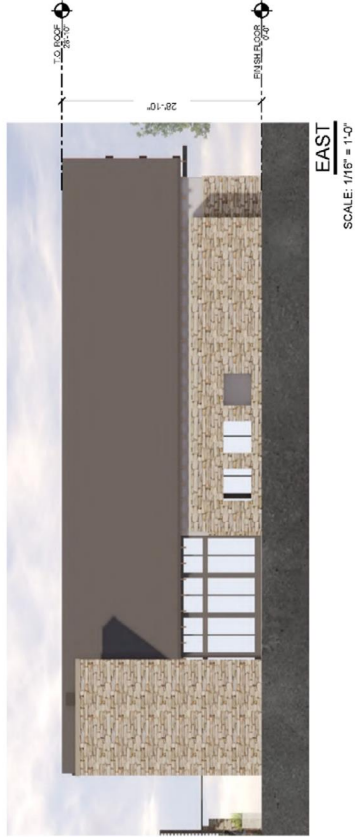


Exhibit 'G'
Development Standards

(A) ESTABLISHMENT AND INTENT OF THE SUBDISTRICTS

The *Subject Property* shall be divided into four (4) subdistricts as depicted on the *Subdistrict Plan*, which is contained in *Exhibit 'C'* of this ordinance. The intent of each of the established *Subdistricts* is as follows:

- (1) Subdistrict A. The intent of *Subdistrict A* is to provide for a single, *Large Format Retailer*.
- (2) Subdistrict B, C, & D. The intent of *Subdistricts B, C, & D* is to provide a *Regional Mixed-Use Development* that incorporates residential, retail, restaurant, and/or entertainment land uses in conformance with the vision established in the *IH-30 Corridor Plan* contained in the OURHometown Vision 2040 Comprehensive Plan. Specifically, the intent of each of these *Subdistricts* is as follows:
 - (a) Subdistrict B. The intent of *Subdistrict B* is to provide a *Regional Commercial/Retail and Entertainment Center* that consists of retail, restaurant, and/or entertainment land uses in conformance with the vision established in the *IH-30 Corridor Plan* contained in the OURHometown Vision 2040 Comprehensive Plan.
 - (b) Subdistrict C. The intent of *Subdistrict C* is to provide an *Urban Residential* style condominium building that provides residential housing as part of the *Regional Mixed-Use Development*.
 - (c) Subdistrict D. The intent of *Subdistrict D* is to provide a *Low-Rise Residential* style condominium community that provides another style of residential housing as part of the *Regional Mixed-Use Development*.

(B) PROCESSES FOR EACH SUBDISTRICT

- (1) Subdistrict A. *Subdistrict A* shall be developed in general conformance with the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance, and the development standards contained in *Subsections (C) & (D)* of this ordinance. Prior to the issuance of a *Building Permit* for any structure in *Subdistrict A*, a *PD Site Plan -- that conforms to the requirements of this Planned Development District ordinance and the Unified Development Code (UDC) --* shall be submitted and approved in accordance with the requirements of Article 11, *Development Application Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*]. A *PD Development Plan* shall not be required for development in *Subdistrict A*, as shown on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance.
- (2) Subdistrict B. *Subdistrict B* shall be developed in general conformance with the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance, and the development standards contained in *Subsections (C) & (E)* of this ordinance. Prior to the issuance of a *Building Permit* for any structure in *Subdistrict B*, a *PD Development Plan* and *PD Site Plan* shall be submitted and approved in accordance with the requirements of Article 10, *Planned Development District Regulations*, and Article 11, *Development Application Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*], and in conformance with the development standards contained in this Planned Development District ordinance.
- (3) Subdistrict C. *Subdistrict C* shall be developed in general conformance with the *Overall*

Exhibit 'G'
Development Standards

Concept Plan contained in *Exhibit 'D'* of this ordinance, and the development standards contained in *Subsections (C) & (F)* of this ordinance. Prior to the issuance of a *Building Permit* for any structure in *Subdistrict C*, a *PD Site Plan* -- that conforms to the requirements of this *Planned Development District ordinance* and the *Unified Development Code (UDC)* -- shall be submitted and approved in accordance with the requirements of Article 11, *Development Application Review Procedures*, of the *Unified Development Code (UDC)* [Ordinance No. 20-02]. A *PD Development Plan* shall not be required for development in *Subdistrict C*, as shown on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance.

- (4) *Subdistrict D*. *Subdistrict D* shall be developed in general conformance with the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance, and the development standards contained in *Subsections (C) & (G)* of this ordinance. Prior to the issuance of a *Building Permit* for any structure in *Subdistrict D*, a *PD Site Plan* -- that conforms to the requirements of this *Planned Development District ordinance* and the *Unified Development Code (UDC)* -- shall be submitted and approved in accordance with the requirements of Article 11, *Development Application Review Procedures*, of the *Unified Development Code (UDC)* [Ordinance No. 20-02]. A *PD Development Plan* shall not be required for development in *Subdistrict D*, as shown on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance.
- (5) *PD Site Plans*. If a *PD Site Plan* is submitted that does *not* meet the intent of this *Planned Development District Ordinance*, the Director of Planning and Zoning shall prepare a recommendation outlining how the proposed *PD Site Plan* fails to meet the intent, and bring the *PD Site Plan* and recommendation to the Planning and Zoning Commission for action. Should the Planning and Zoning Commission determine that the *PD Site Plan* does meet the intent of this ordinance, the *PD Site Plan* may be approved in accordance with the procedures of Article 11, *Development Applications and Review Procedures*, of the *Unified Development Code (UDC)* [Ordinance No. 20-02] and with the requirements of this ordinance; however, should the Planning and Zoning Commission determine that the *PD Site Plan* does *not* meet the intent of this ordinance, the Planning and Zoning Commission shall deny the *PD Site Plan* and the applicant shall be required to submit a *PD Development Plan* in accordance with Article 10, *Planned Development Regulations*, of the *Unified Development Code (UDC)* [Ordinance No. 20-02] and this ordinance.

(C) GENERAL STANDARDS.

The following general standards shall apply for all *Subdistricts* as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance:

- (1) *Development Standards*. Unless otherwise stipulated by this *Planned Development District*, all property situated within any *Subdistrict* shall be subject to the development standards stipulated by the *General Overlay District Standards* as outlined in Section 06.02, *General Overlay District Standards*, of Article 5, *Development Standards*, of the *Unified Development Code (UDC)*, as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (2) *Landscape Buffers*. All landscape buffers shall be provided as follows:
- (a) *Landscape Buffer Adjacent to the IH-30 Frontage Road*. A minimum of a 20-foot landscape buffer shall be provided along the frontage of the IH-30 Frontage Road

Exhibit 'G'
Development Standards

(outside of and beyond any required right-of-way), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height 30-inches and maybe non-continuous and undulating. Portions of an access drive may encroach within the landscape buffer in areas depicted on the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering/curvilinear six (6) foot sidewalk/trail shall be constructed within the 20-foot landscape buffer.

(b) Landscape Buffer Adjacent to Stodghill Road (FM-3549). A minimum of a 20-foot landscape buffer shall be provided along the frontage of the Stodghill Road (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height 30-inches and maybe non-continuous and undulating. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A five (5) foot sidewalk shall be constructed within the 20-foot landscape buffer.

(c) Landscape Buffer Adjacent to Justin Road. A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of Justin Road (*outside of and beyond any required right-of-way*), and shall incorporate ground cover and shrubbery along the entire length of the frontage. In addition, one (1) canopy tree and one (1) accent tree shall be planted per 50-linear feet of frontage. An eight (8) foot trail shall be constructed within the ten (10) foot landscape buffer.

(d) Landscape Buffer Adjacent to Conveyor Street. A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of Conveyor Street (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery may be non-continuous and undulating. In addition, one (1) canopy tree and one (1) accent tree shall be planted per 50-linear feet of frontage. A five (5) foot trail shall be constructed within the ten (10) foot landscape buffer.

(3) Open Space. The open space requirements shall be as follows:

(a) A minimum of 13.50% of the gross land area (*i.e. a minimum of 9.1091-acres*) within the entire Planned Development District shall be devoted to public and private open space.

(b) A central green/open space shall be provided in *Subdistrict B* in the approximate location as shown on the *Overall Concept Plan* in *Exhibit 'D'* of this ordinance.

(c) Detention and retention areas, and landscape/open space areas greater than or equal to 20-feet in width may be counted towards the open space requirement.

(d) Open space may be satisfied by either public, private, or a combination of public and private open space.

(4) Gateway/Entry Portal Flag. One (1) *Gateway/Entry Portal Flag* shall be incorporated into the design of *Subdistrict B* and be constructed in the general location shown on the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance. This *Gateway/Entry Portal Flag*

Exhibit 'G'
Development Standards

shall be a maximum of 190-feet in height or as otherwise approved by the City Council at the time of PD Development Plan for *Subdistrict B*. In addition, the *Gateway/Entry Portal Flag* design shall be reviewed by the Architectural Review Board (ARB) in conjunction with the *PD Development Plan* for a recommendation to the City Council. The proposed *Gateway/Entry Portal Flag* shall be constructed prior to the issuance of a Certificate of Occupancy (CO) for any structure in *Subdistrict B*.

- (5) *Residential Phasing*. Prior to the issuance of a permit for vertical construction for *Subdistrict C*, construction for a minimum of 140,000 SF of non-residential building area shall have commenced in *Subdistrict B*.
- (6) *Variances/Exceptions*. Variances and exceptions to the requirements of this ordinance shall be submitted and approved in accordance with the process and procedures set forth in Article 11, *Development Applications and Review procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

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(D) SUBDISTRICT A: LARGE FORMAT RETAILER

- (1) Concept Plan. Development within *Subdistrict A* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform with [1] the *Overall Concept Plan* -- contained in *Exhibit 'D'* of this ordinance --, and [2] *Figure 1. Subdistrict A Concept Plan* below.

FIGURE 1. SUBDISTRICT A CONCEPT PLAN



- (2) Building Elevations. Development within *Subdistrict A* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform to the *Building Elevations* depicted in the *Conceptual Building Elevations | Subdistrict A* contained in *Exhibit 'F'* of this ordinance.

- (3) Permitted Land Uses. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict A* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following shall apply:

(a) The following land uses shall be permitted By-Right:

- WAREHOUSE/DISTRIBUTION ⁽¹⁾

NOTES:

⁽¹⁾: AS AN ACCESSORY LAND USE TO A GENERAL RETAIL STORE ONLY.

(b) The following land uses shall be expressly Prohibited:

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- AGRICULTURAL USES ON UNPLATTED LAND
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- COMMUNITY GARDEN
- URBAN FARM
- CARETAKERS QUARTERS/DOMESTIC OR SECURITY UNIT
- CONVENT, MONASTERY, OR TEMPLE
- MOTEL
- BLOOD PLASMA DONOR CENTER
- CEMETERY/MAUSOLEUM
- CHURCH/HOUSE OF WORSHIP
- COLLEGE, UNIVERSITY, OR SEMINARY
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPICE
- MORTUARY OR FUNERAL CHAPEL
- LOCAL POST OFFICE
- PUBLIC OR PRIVATE PRIMARY SCHOOL
- PUBLIC OR PRIVATE SECONDARY SCHOOL
- TEMPORARY EDUCATION BUILDINGS FOR PUBLIC OR PRIVATE SCHOOL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT RIDE
- TEMPORARY FUNDRAISING EVENTS BY NON-PROFIT
- INDOOR GUN CLUB WITH SKEET OR TARGET RANGE
- PRIVATE CLUB, LODGE, OR FRATERNAL ORGANIZATION
- TENNIS COURTS (*I.E. NOT ACCESSORY TO A PUBLIC OR PRIVATE COUNTRY CLUB*)
- ASTROLOGER, HYPNOTIST, OR PSYCHIC
- PORTABLE BEVERAGE SERVICE FACILITY
- BUSINESS SCHOOL
- CONVALESCENT CARE FACILITY/NURSING HOME
- DAYCARE WITH SEVEN (7) OR MORE CHILDREN
- RETAIL STORE WITH GASOLINE SALES THAT HAS TWO (2) OR LESS DISPENSERS (*I.E. MAXIMUM OF FOUR [4] VEHICLES*)
- RETAIL STORE WITH GASOLINE SALES THAT HAS MORE THAN TWO (2) DISPENSERS
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- LAUNDROMAT WITH DROP-OFF/PICKUP SERVICES
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- PAWN SHOP
- PERMANENT COSMETICS
- TEMPORARY REAL ESTATE SALES OFFICE
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
- SECONDHAND DEALER
- BAIL BOND SERVICES
- BUILDING AND LANDSCAPE MATERIAL WITH LIMITED OUTSIDE STORAGE
- BUILDING MAINTENANCE, SERVICE, AND SALES WITHOUT OUTSIDE STORAGE
- ELECTRICAL, WATCH, CLOCK, JEWELRY AND/OR SIMILAR REPAIR
- FURNITURE UPHOLSTERY/REFINISHING AND RESALE
- RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT
- LOCKSMITH
- SHOE AND BOOT REPAIR AND SALES
- TRADE SCHOOL
- MINOR AUTOMOTIVE REPAIR GARAGE
- AUTOMOBILE RENTAL
- NEW OR USED BOAT AND TRAILER DEALERSHIP
- FULL SERVICE CAR WASH AND AUTO DETAIL
- SELF SERVICE CAR WASH
- NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
- NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS

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- USED MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- RECREATIONAL VEHICLE (RV) SALES AND SERVICE
- SERVICE STATION
- TEMPORARY ASPHALT OR CONCRETE BATCH PLANTS
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- MINI-WAREHOUSE
- WHOLESALE SHOWROOM FACILITY
- COMMERCIAL ANTENNA
- COMMERCIAL FREESTANDING ANTENNA
- BUS CHARTER SERVICE AND SERVICE FACILITY
- HELIPAD
- RADIO BROADCASTING
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY
- WIRELESS COMMUNICATION TOWER

(4) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict A -- as depicted on the Subdistrict Plan contained in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on *Subdistrict A* shall conform to the standards depicted in *Table 1*, which are as follows:

TABLE 1: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK ⁽¹⁾	25'
MINIMUM SIDE YARD SETBACK ⁽²⁾	10'
MINIMUM REAR YARD SETBACK ⁽²⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽²⁾	15'
MAXIMUM BUILDING HEIGHT ⁽³⁾	60'
MAXIMUM LOT COVERAGE ⁽⁴⁾	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

(5) Parking Requirements. Parking requirements for specific land uses will be as calculated in Article 06, *Parking and Loading*, of the Unified Development Code (UDC); however, the following parking ratios shall apply regardless of these standards:

- (a) Office: One (1) Parking Space per 300 SF of Building Area.
- (b) General Retail: One (1) Parking Space per 250 SF of Building Area.
- (c) Restaurant: One (1) Parking Space per 100 SF of Building Area.
- (d) Warehouse/Distribution: One (1) Parking Space per 1,000 SF of Building Area.

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- (6) Off-Street Loading Requirements. Loading docks shall *not* face directly onto the IH-30 Frontage Road, but may be located along the northern, western, and eastern facing building facades without restriction. Three (3) tiered landscaping should be used to mitigate the visibility of these areas.
- (7) Residential Screening Requirements. Any development in *Subdistrict A* shall be exempt from the *Residential Adjacency Screening Requirements* stipulated in Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].
- (8) Building Materials and Design Standards. All buildings in *Subdistrict A* shall adhere to the following:
- (a) Building Materials. The following building materials shall be permitted: stone, brick, glass curtain wall, aluminum and glass storefront, glass block, tile, custom painted tilt-up concrete panel, and custom Concrete Masonry Units (CMU) (*i.e. units that have been sandblasted, burnished, or that have a split face -- light weight block or smooth faced block shall be prohibited*). In addition, the use of cementitious materials (*i.e. fiber cement, stucco, cementitious lap siding, tilt-up concrete or similar materials approved by the Director of Planning and Zoning or his/her designee*) shall be permitted without limitation for use on the building's exterior façade; however, stucco shall not be used within the first four (4) feet from grade on a building's façade.
- (b) Articulation Requirements. The articulation requirements stipulated in Section 04.01, *General Commercial District Standards*, and Section 06.02, *General Overlay District Standards*, of the Unified Development Code (UDC) shall not apply to *Subdistrict A*; however, all buildings in *Subdistrict A* should generally include an articulated entryway that creates some relief in the front façade of the building. This element will be reviewed by the Architectural Review Board (ARB) with the *PD Site Plan*.
- (c) Roof Design Standards. Flat roofs with or without parapets may be permitted; however, all rooftop mechanical equipment and/or other rooftop appurtenances (*excluding solar panels*) shall *not* be visible at-grade from the boundaries of *Subdistrict A*.
- (d) Required Architectural Elements. All buildings shall be required to incorporate a minimum of two (2) of the following architectural elements:
- CANOPIES, AWNINGS, OR PORTICOS
 - RECESSES/PROJECTIONS
 - ARCADES
 - PEAKED ROOF FORMS
 - ARCHES
 - OUTDOOR PATIOS
 - DISPLAY WINDOWS
 - ARCHITECTURAL DETAILS (*E.G. TILE WORK AND MOLDINGS*) INTEGRATED INTO THE BUILDING'S FAÇADE
 - ARTICULATED GROUND FLOOR LEVELS OR BASES
 - ARTICULATED CORNICE LINE
 - INTEGRATED PLANTERS OR WING WALLS THAT INCORPORATE LANDSCAPE AND SITTING AREAS
 - OFFSETS, REVEALS, OR PROJECTING RIB EXPRESSING ARCHITECTURAL OR

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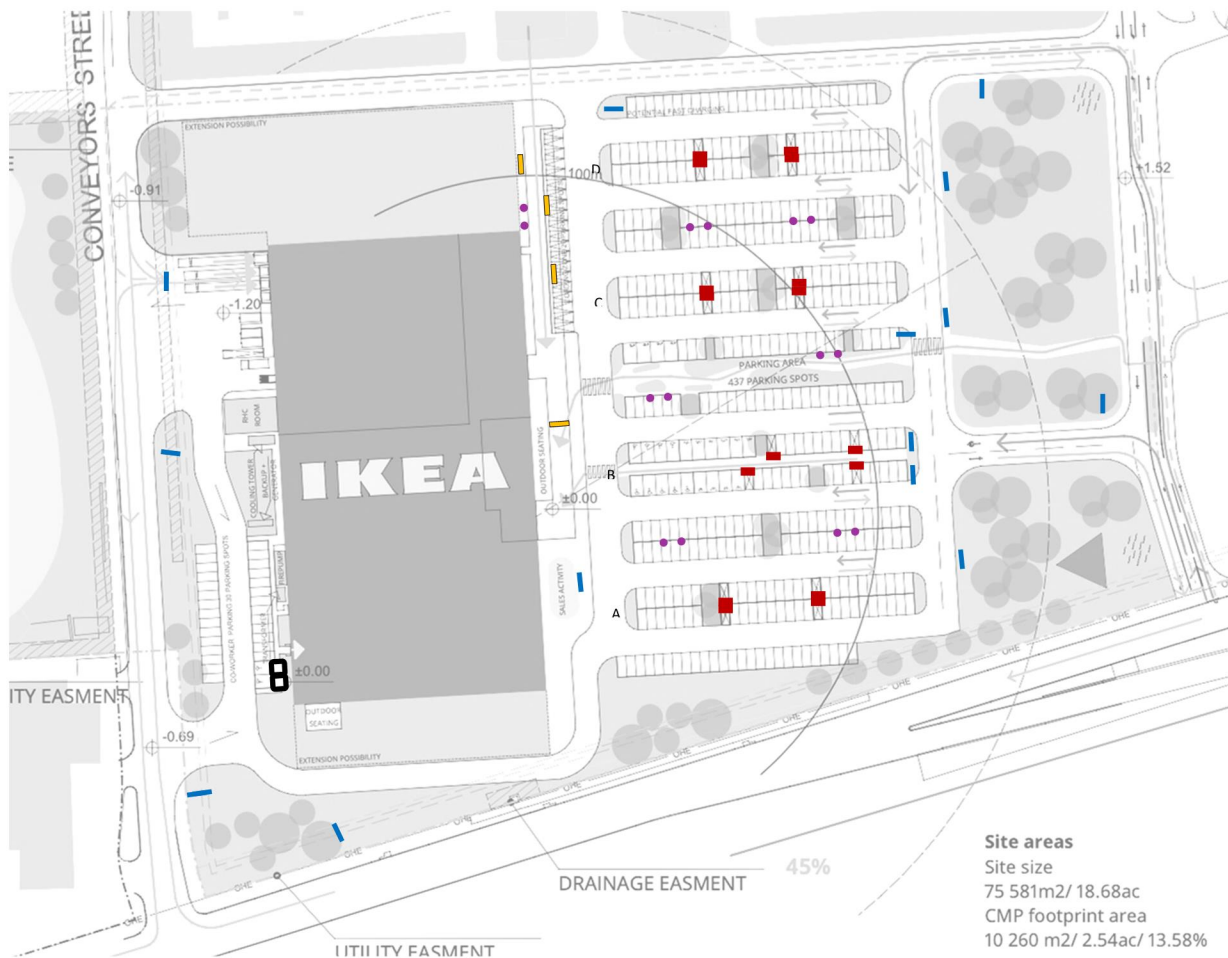
- STRUCTURAL BAYS
- VARIED ROOF HEIGHTS

(9) **Signage.** All signage shall conform to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances; however, the following shall apply:

(a) **Shopping Center Signage Plan.** All signage in *Subdistrict A* shall generally adhere to the *Shopping Center Signage Plan* contained in *Figure 2*. At the request of the *Large Format Retailer*, the Director of Planning and Zoning or his/her designee shall have the authority to administratively grant changes to the location of the signage depicted on the *Shopping Center Signage Plan* in *Figure 2*.

FIGURE 2. SHOPPING CENTER SIGNAGE PLAN

KEY: ■ OR ■ = GREETING/TRAFFIC SIGNS; ■ = CART SIGNS; ● = PROMOTIONAL MESSAGING SIGNS



(b) **Wall Signage.** A business shall be allowed any number of attached wall signs, projection signs, canopy signs, or marquee signs, so long as the total face area of the attached signs do not exceed the following standards:

- North Façade:** 5.00% of the wall face.
- South Façade:** 15.00% of the wall face.
- East Façade:** 20.00% of the wall face.

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- (4) West Façade: 5.00% of the wall face.
- (c) Freestanding Monopole Sign. *Subdistrict A* shall conform to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances for *Freestanding Monopole Signs*; however, one (1) *Freestanding Monopole Sign* in this *Subdistrict* may be a maximum of 120-feet in height, and have up to three (3) sign faces a maximum of 700 SF each (*i.e. an overall maximum signage area of 2,100 SF*). This sign shall generally adhere to the *Freestanding Monopole Sign* depicted in the *Conceptual Building Elevations | Subdistrict A* contained in *Exhibit 'F'* of this ordinance. One (1) additional *Freestanding Monopole Signs* -- conforming to the setback requirements of the *Municipal Code of Ordinances* -- shall be permitted on the site and may be established as *Freestanding Monopole Signs* or *Digital Sign* (at the same maximum size and square footage permitted for *Freestanding Monopole Signs* by the *Municipal Code of Ordinances*).
- (d) Digital Wall or Banner Signage. In addition to the wall signage permitted above, one (1) 700 SF *Digital Wall or Banner Signs* shall be permitted on the southern or eastern building facades. Digital wall signage shall be subject to the requirements for *Changeable Electronic Variable Message Signs* (CEVMS) as stipulated by Section 32-233(3) through Section 32-233(6) of the *Municipal Code of Ordinances*.
- (e) Flag Pole Signs. Up to eight (8) flag poles with flags that have the company's name or logo shall be permitted at main points of ingress/egress into the site pending they do not exceed a maximum height of 40-feet. Flag poles displaying state or national flags shall meet the requirements of the *Unified Development Code* (UDC).
- (f) Greeting/Traffic Signs. *Greeting/Traffic Signs* shall adhere to the requirements of Chapter 32, *Signs*, of the *Municipal Code of Ordinances*; however, *Traffic Signs* shall meet the following standards:
- (1) *Greeting/Traffic Signs* shall be permitted in accordance with the *Shopping Center Signage Plan* contained in *Figure 2* and conform to the sign standards contained in *Figures 3 & 4*.

FIGURE 3. GREETING SIGNS (ALL MEASUREMENTS IN MILLIMETERS)

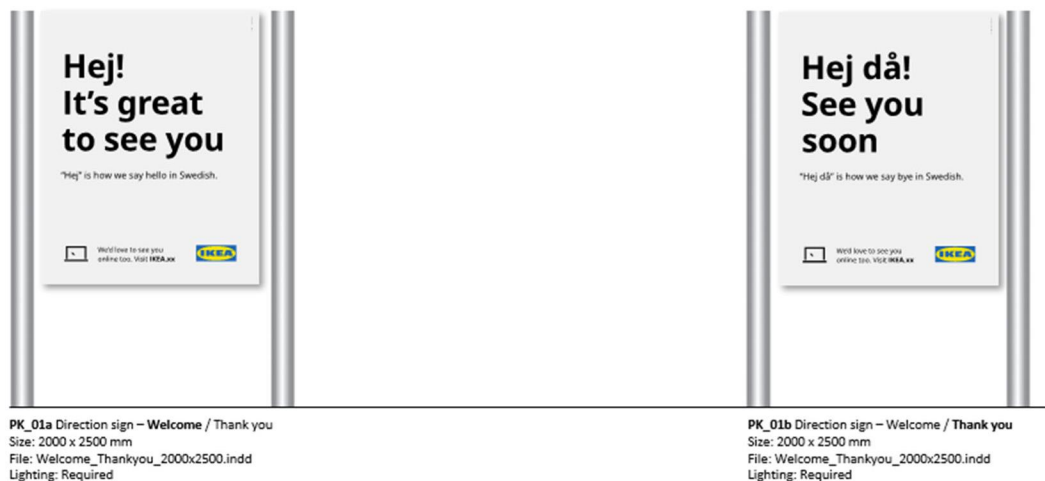
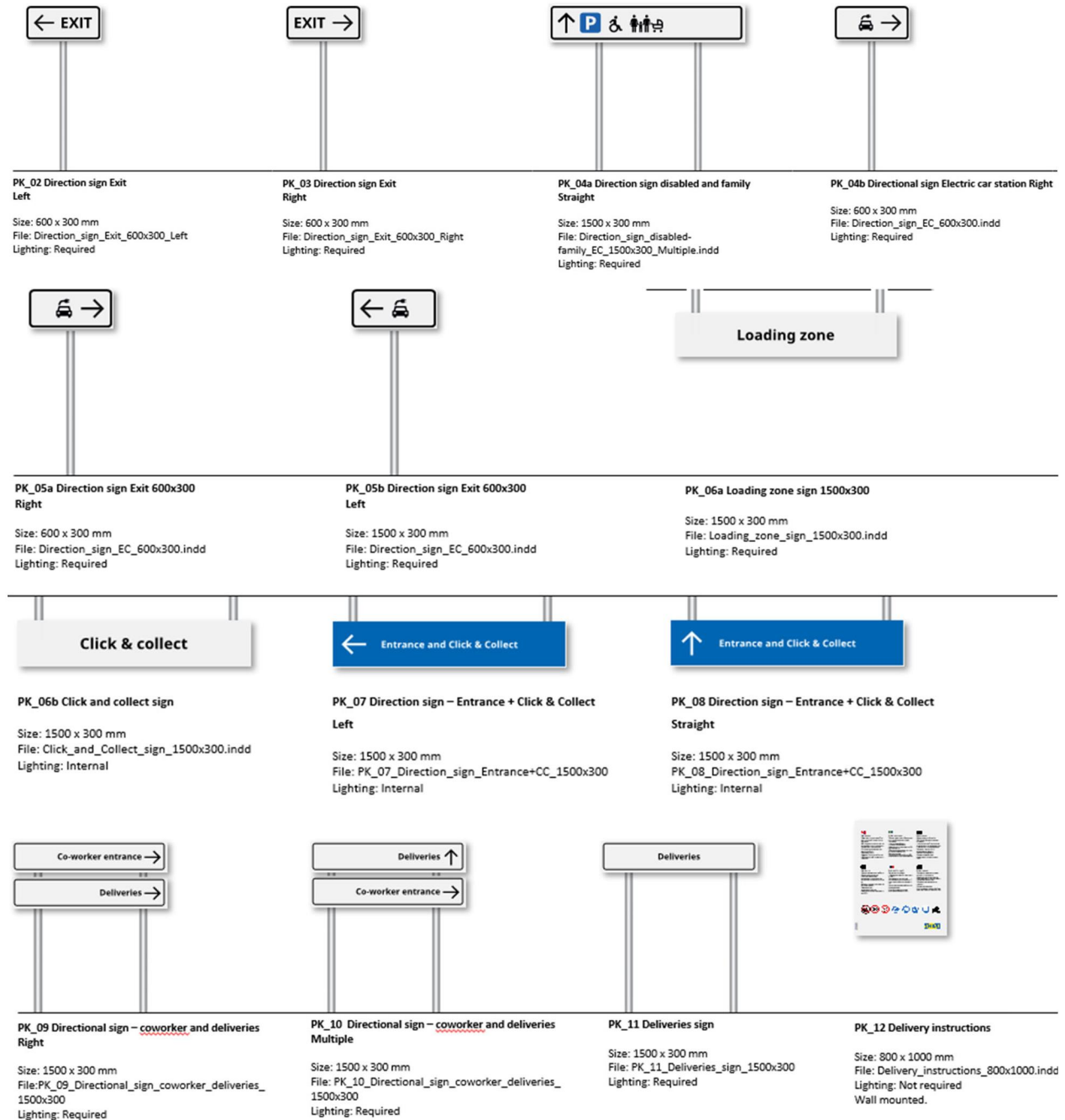


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FIGURE 4. TRAFFIC SIGNS (ALL MEASUREMENTS IN MILLIMETERS)



(2) *Traffic Signs* may be internally or externally illuminated, as long as the light source is fully shielded and directed downward.

(3) *Traffic Signs* may contain a commercial message.

(4) Unless otherwise depicted in the sign standards above, *Traffic Signs* may be a maximum of five (5) feet in height.

(g) *Cart Signs*. *Cart Signs* shall be permitted in accordance with the *Shopping Center*

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Signage Plan contained in Figure 2 and conform to the sign standards contained in Figure 5.

FIGURE 5. CART SIGNS (ALL MEASUREMENTS IN MILLIMETERS)



TR_01_Trolley_signs_1960x960
File: Trolley_signs_1960x960.indd
Size: 1960 x 960 mm

(h) **Promotional Messaging Signs.** A maximum of 12 *Promotional Messaging Signs* shall be permitted in the parking areas in accordance with the *Shopping Center Signage Plan* contained in Figure 2, and shall meet the following requirements:

(1) *Promotional Messaging Signs* shall conform to the sign standards contained in Figures 6 & 7.

FIGURE 6. PROMOTIONAL MESSAGING SIGNS (ALL MEASUREMENTS IN MILLIMETERS)

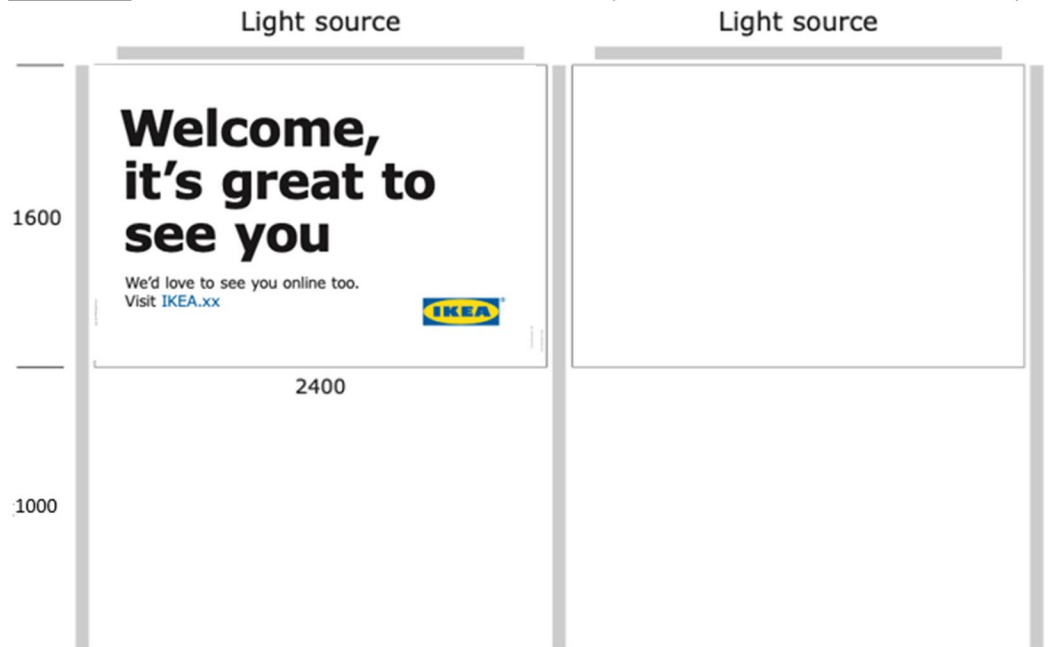


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FIGURE 7. EXAMPLE OF PROMOTIONAL MESSAGING SIGNS



- (2) *Promotional Messaging Signs* may be internally or externally illuminated as long as the light source is fully shielded and directed downward.
- (3) A sign permit shall not be required to change the face/copy of a *Promotional Message Sign*; however, the sign itself will require a sign permit to establish the location of the *Promotional Message Sign*.

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(E) SUBDISTRICT B: REGIONAL COMMERCIAL/RETAIL AND ENTERTAINMENT CENTER

(1) *Permitted Land Uses*. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict B* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, the following shall apply:

(a) The following land uses shall be permitted *By-Right*:

- RESTAURANT WITH LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN ⁽¹⁾

NOTES:

⁽¹⁾: NO MORE THAN FOUR (4) RESTAURANTS WITH LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN SHALL BE PERMITTED BY-RIGHT. ANY MORE THAN FOUR (4) RESTAURANTS WITH LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN SHALL REQUIRE A SPECIFIC USE PERMIT (SUP).

(b) The following land uses shall be expressly *Prohibited*:

- AGRICULTURAL USES ON UNPLATTED LAND
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- COMMUNITY GARDEN
- URBAN FARM
- CARETAKERS QUARTERS/DOMESTIC OR SECURITY UNIT
- CONVENT, MONASTERY, OR TEMPLE
- MOTEL
- BLOOD PLASMA DONOR CENTER
- CEMETERY/MAUSOLEUM
- CHURCH/HOUSE OF WORSHIP
- COLLEGE, UNIVERSITY, OR SEMINARY
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPICE
- MORTUARY OR FUNERAL CHAPEL
- LOCAL POST OFFICE
- PUBLIC OR PRIVATE PRIMARY SCHOOL
- PUBLIC OR PRIVATE SECONDARY SCHOOL
- TEMPORARY EDUCATION BUILDINGS FOR PUBLIC OR PRIVATE SCHOOL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT RIDE
- INDOOR GUN CLUB WITH SKEET OR TARGET RANGE
- PRIVATE CLUB, LODGE, OR FRATERNAL ORGANIZATION
- TENNIS COURTS (*I.E. NOT ACCESSORY TO A PUBLIC OR PRIVATE COUNTRY CLUB*)
- ASTROLOGER, HYPNOTIST, OR PSYCHIC
- PORTABLE BEVERAGE SERVICE FACILITY
- TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- LAUNDROMAT WITH DROPOFF/PICKUP SERVICES
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- PAWN SHOP
- PERMANENT COSMETICS ⁽¹⁾
- TEMPORARY REAL ESTATE SALES OFFICE
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY

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- SECONDHAND DEALER
- BAIL BOND SERVICES
- BUILDING AND LANDSCAPE MATERIAL WITH LIMITED OUTSIDE STORAGE
- BUILDING MAINTENANCE, SERVICE, AND SALES WITHOUT OUTSIDE STORAGE
- FURNITURE UPHOLSTERY/REFINISHING AND RESALE ⁽²⁾
- RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT
- LOCKSMITH
- SHOE AND BOOT REPAIR AND SALES
- TRADE SCHOOL
- MINOR AUTOMOTIVE REPAIR GARAGE
- AUTOMOBILE RENTAL
- NEW OR USED BOAT AND TRAILER DEALERSHIP
- FULL SERVICE CAR WASH AND AUTO DETAIL
- SELF SERVICE CAR WASH
- NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
- NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- USED MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- RECREATIONAL VEHICLE (RV) SALES AND SERVICE
- SERVICE STATION
- TEMPORARY ASPHALT OR CONCRETE BATCH PLANTS
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- MINI-WAREHOUSE
- WHOLESALE SHOWROOM FACILITY
- COMMERCIAL ANTENNA
- COMMERCIAL FREESTANDING ANTENNA
- BUS CHARTER SERVICE AND SERVICE FACILITY
- HELIPAD
- RADIO BROADCASTING
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY
- WIRELESS COMMUNICATION TOWER

NOTES:

⁽¹⁾: UNLESS ACCESSORY TO A SPA OR HAIR SALON.

⁽²⁾: UNLESS ACCESSORY TO A GENERAL RETAIL STORE.

(2) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict B -- as depicted on the Subdistrict Plan contained in Exhibit 'C' of this ordinance --* shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on *Subdistrict B* shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK ⁽¹⁾	25'
MINIMUM SIDE YARD SETBACK ⁽²⁾	10'
MINIMUM REAR YARD SETBACK ⁽²⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽²⁾	15'
MAXIMUM BUILDING HEIGHT ⁽³⁾	60'
MAXIMUM LOT COVERAGE ⁽⁴⁾	60%
MINIMUM LANDSCAPING	20%

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GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

(3) Parking Requirements. For the purposes of calculating the required parking within *Subdistrict B* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance --, the parking requirement for a particular land use or building may be satisfied by any property within the *Subdistrict* as long as the provided parking is: [1] not necessary for an existing land use, building or structure, and [2] is situated within 450-feet of the land use, building, or structure being served. The parking requirements for specific land uses shall be calculated as specified by Article 06, *Parking and Loading*, of the Unified Development Code (UDC); however, the following parking ratios shall apply regardless of these standards:

- (a) Office: One (1) Parking Space per 300 SF of Building Area.
- (b) General Retail: One (1) Parking Space per 250 SF of Building Area.
- (c) Restaurant: One (1) Parking Space per 100 SF of Building Area.
- (d) Warehouse/Distribution: One (1) Parking Space per 1,000 SF of Building Area.

(4) Residential Adjacency. The portion of *Subdistrict B* that abuts *Subdistrict D* shall be exempt from the *Residential Adjacency Screening Requirements* stipulated in Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC).

(5) Signage. In addition to the restrictions in Chapter 32, *Signs*, of the Municipal Code of Ordinances, and the requirements of this Planned Development District ordinance, *Subdistrict B* shall be subject to the following signage requirements:

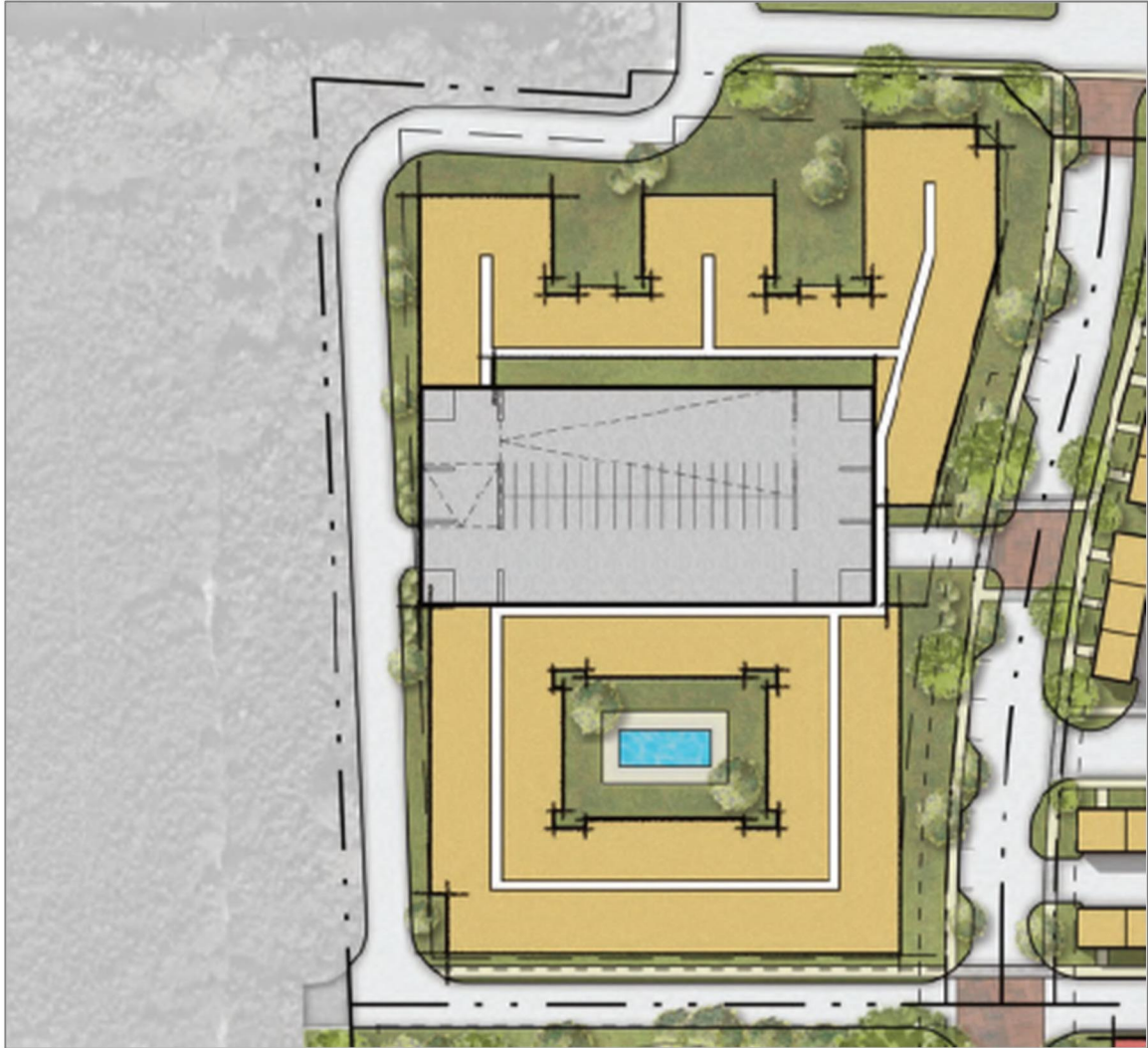
- (a) Shopping Center Signs. A maximum of three (3) *Shopping Center Signs* shall be permitted at the main points of ingress/egress into the subject property, provided that the signs do not exceed a maximum height of 35-feet. Each *Shopping Center Sign* may have two (2) sign faces, each with a maximum sign face of 360 square feet. The *Shopping Center Signs* may include information regarding the residential land uses included in *Subdistricts 'C' & 'D'*.

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(F) SUBDISTRICT C: URBAN RESIDENTIAL

- (1) Concept Plan. Development within *Subdistrict C* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform with [1] the *Overall Concept Plan* -- contained in *Exhibit 'D'* of this ordinance --, and [2] *Figure 8. Subdistrict C Concept Plan* below.

FIGURE 8. SUBDISTRICT C CONCEPT PLAN



- (2) Building Elevations. Development within *Subdistrict C* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform to the *Building Elevations* depicted in the *Conceptual Building Elevations | Subdistrict C* contained in *Exhibit 'F'* of this ordinance.
- (3) Permitted Land Uses. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict C* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as

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amended herein by granting this zoning change, and as may be amended in the future; however, the following shall apply:

(a) The following land uses shall be the only land use permitted By-Right:

- URBAN RESIDENTIAL ^{(1), (2) & (3)}
- HOME OCCUPATION ⁽⁴⁾

NOTES:

- ⁽¹⁾: FOR THE PURPOSES OF THIS PLANNED DEVELOPMENT DISTRICT ORDINANCE, URBAN RESIDENTIAL SHALL BE DEFINED AS A CONDOMINIUM BUILDING WITH MULTI-FAMILY DWELLING UNITS, WITHIN WHICH DESIGNATED DWELLING UNITS ARE CONVEYED VIA FEE SIMPLE TITLE, WITH AN UNDIVIDED INTEREST IN THE BUILDING'S COMMON ELEMENTS, TO INCLUDE, BUT NOT BE LIMITED TO, HALLS, STAIRS, ELEVATORS, ROOF, PARKING SPACE, AND THE LAND WHEN THE BUILDING IS NOT CONSTRUCTED ON LEASED LAND. BASED ON THIS DEFINITION, ALL CONDOMINIUMS SHALL MEET THE FOLLOWING: [1] EACH UNIT IN A PROJECT HAS SEPARATE UTILITIES THAT ARE INDIVIDUALLY METERED, AND [2] EACH UNIT IS CONVEYED VIA A FEE SIMPLE DEED.
- ⁽²⁾: A MAXIMUM 250-DWELLING UNITS ARE PERMITTED WITHIN AN URBAN RESIDENTIAL DEVELOPMENT THAT SHALL INCORPORATE A PARKING GARAGE THAT IS WRAPPED BY UNITS. THIS DEVELOPMENT SHALL HAVE MINIMAL SURFACE PARKING FOR GUESTS, EMPLOYEES, AND VISITORS. THIS DEVELOPMENT MAY BE A MAXIMUM OF 250-UNITS ON APPROXIMATELY FOUR (4) ACRES (EXCLUDING ROADWAYS). FACADES OF THIS BUILDING SHALL GENERALLY ADHERE TO THE GENERAL OVERLAY DISTRICT STANDARDS; HOWEVER, INTERIOR FACING FACADES (I.E. FACING TOWARDS AN INTERNAL COURTYARD) MAY BE 100% STUCCO OR OTHER CEMENTIOUS MATERIAL PERMITTED BY THE UNIFIED DEVELOPMENT CODE (UDC).
- ⁽³⁾: THIS INCLUDES ACCESSORY LAND USES THAT ARE AMENITIES TO THE PROPOSED CONDOMINIUM LAND USE (E.G. SWIMMING POOL, GYM, ETC.).
- ⁽⁴⁾: AS AN ACCESSORY LAND USE TO AN URBAN RESIDENTIAL UNIT ONLY.

(4) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict C* -- as depicted on the *Subdistrict Plan contained in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on *Subdistrict C* shall conform to the standards depicted in *Table 3*, which are as follows:

TABLE 3: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK ⁽¹⁾	15'
MINIMUM SIDE YARD SETBACK ⁽²⁾	10'
MINIMUM REAR YARD SETBACK ⁽²⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽²⁾	15'
MAXIMUM BUILDING HEIGHT ⁽³⁾	75'
MAXIMUM LOT COVERAGE ⁽⁴⁾	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- ¹: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- ²: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- ³: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE

Exhibit 'G'
Development Standards

PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.

4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

- (5) Parking Requirements. The minimum parking requirements for the *Urban Residential* land use shall be 1½ parking spaces per each unit, which shall be located in a structured parking garage. The structured parking garage shall incorporate screening for vehicle headlights using a material that is architecturally compatible with the *Urban Residential* building.

Exhibit 'G'
Development Standards

(G) SUBDISTRICT D: LOW RISE RESIDENTIAL COMMUNITY

- (1) Concept Plan. Development within *Subdistrict D* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform with [1] the *Overall Concept Plan* -- contained in *Exhibit 'D'* of this ordinance --, and [2] *Figure 9. Subdistrict D Concept Plan* below.

FIGURE 9. SUBDISTRICT D CONCEPT PLAN



- (2) Building Elevations. Development within *Subdistrict D* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform to the *Building Elevations* depicted in the *Conceptual Building Elevations | Subdistrict D* contained in *Exhibit 'F'* of this ordinance.
- (3) Permitted Land Uses. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict D* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as amended herein by granting this zoning change, and as may be amended in the future; however, the following shall apply:
- (b) The following land uses shall be the only land use permitted *By-Right*:

- LOW-RISE RESIDENTIAL COMMUNITY ⁽¹⁾, ⁽²⁾ & ⁽³⁾
- TOWNHOMES ⁽¹⁾, ⁽²⁾ & ⁽³⁾
- HOME OCCUPATION ⁽⁴⁾

NOTES:

⁽¹⁾: FOR THE PURPOSES OF THIS PLANNED DEVELOPMENT DISTRICT ORDINANCE, LOW-RISE RESIDENTIAL COMMUNITY SHALL BE DEFINED AS A CONDOMINIUM BUILDING WITH MULTI-FAMILY DWELLING UNITS, WITHIN WHICH DESIGNATED DWELLING UNITS ARE CONVEYED VIA FEE SIMPLE TITLE, WITH AN UNDIVIDED INTEREST IN THE BUILDING'S COMMON

Exhibit 'G'
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ELEMENTS, TO INCLUDE, BUT NOT BE LIMITED TO, HALLS, STAIRS, ELEVATORS, ROOF, PARKING SPACE, AND THE LAND WHEN THE BUILDING IS NOT CONSTRUCTED ON LEASED LAND. BASED ON THIS DEFINITION, ALL CONDOMINIUMS SHALL MEET THE FOLLOWING: [1] EACH UNIT IN A PROJECT HAS SEPARATE UTILITIES THAT ARE INDIVIDUALLY METERED, AND [2] EACH UNIT IS CONVEYED VIA A FEE SIMPLE DEED.

- (2): A MAXIMUM OF 115-TOWNHOMES AND 120-LOW-RISE RESIDENTIAL COMMUNITY DWELLING UNITS ARE PERMITTED WITHIN THE PROPOSED LOW-RISE RESIDENTIAL COMMUNITY. THESE UNITS MAY BE SURFACED PARKED; HOWEVER, [A] A MINIMUM OF 65.00% OF ALL 235 UNITS SHALL HAVE GARAGES; AND [B] 100.00% OF ALL THE TOWNHOME UNITS SHALL HAVE DEDICATED GARAGES THAT PROVIDE DIRECT ACCESS TO THE UNIT.
- (3): THIS INCLUDES ACCESSORY LAND USES THAT ARE AMENITIES TO THE PROPOSED CONDOMINIUM LAND USE (E.G. SWIMMING POOL, GYM, ETC.).
- (4): AS AN ACCESSORY LAND USE TO A TOWNHOME OR LOW-RISE RESIDENTIAL COMMUNITY UNIT ONLY.

- (4) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict D* -- as depicted on the *Subdistrict Plan* contained in Exhibit 'C' of this ordinance -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on *Subdistrict D* shall conform to the standards depicted in *Table 4*, which are as follows:

TABLE 4: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK ^{(1) & (5)}	10'
MINIMUM SIDE YARD SETBACK ⁽²⁾	10'
MINIMUM REAR YARD SETBACK ⁽²⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽²⁾	15'
MAXIMUM BUILDING HEIGHT ⁽³⁾	60'
MAXIMUM LOT COVERAGE ⁽⁴⁾	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.
- 5: AWNINGS, PATIOS, STOOPS, OR SIMILAR RESIDENTIAL ENTRY FEATURES (AS DETERMINED BY THE DIRECTOR OF PLANNING AND ZONING) MAY EXTEND A MAXIMUM OF FIVE (5) FEET INTO THE FRONT YARD BUILDING SETBACK AND REQUIRED TEN (10) FOOT LANDSCAPE BUFFER ALONG JUSTIN ROAD.

- (6) Parking Requirements. The minimum parking requirements for the *Townhome* or *Low-Rise Multi-Family Community* land use shall be 1½ parking spaces per each unit.