

ORDINANCE NO. 99-17

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AND ORDINANCE NO, 87-23 AS HERETOFORE AMENDED SO AS TO APPROVE A CHANGE IN ZONING FROM AGRICULTURE TO A RESIDENTIAL PLANNED DEVELOPMENT AND A PRELIMINARY PLAN FOR PD-47 ATTACHING THE PRELIMINARY PLAN; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a request for the change in zoning from Agriculture to a residential Planned Development and the creation of PD - 47, as described in Exhibit "A" has been submitted by George Roland; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the state of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be and the same is hereby amended by the approval of the zoning and Preliminary Plan for PD - 47 for those areas identified in Exhibit "A". That said Preliminary Plan are attached hereto and made apart hereof for all purposes.

SECTION 2. That the tracts identified in Exhibit "A" shall be used only in the manner and for the purposes and with the conditions provided for herein and the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting this approval of this Preliminary Plan for PD 47 shall affect only the property described in Exhibit "A" and said property shall be limited to the uses, density, area, setback and other requirements set forth herein.

SECTION 3. No substantial change in development of the areas as shown in Exhibit "A" shall be permitted except after obtaining approval of the change of such development through amendment of the Preliminary Plan in the manner required for changes or amendments to the

Comprehensive Zoning Ordinance.

SECTION 4. Items not specifically addressed in this ordinance shall comply with the Zoning Ordinance No. 83.23, Subdivision Ordinance, Engineering Standards of Design, Code of Ordinances, as amended or as may be amended in the future and any other development related ordinances as currently approved or as may be amended or approved in the future.

SECTION 5. The tract shown in Exhibit "A" shall comply with the area, use and all other requirements of the Single-Family 10,000 zoning district requirements of the Comprehensive Zoning Ordinance as currently adopted or as may hereafter amended. With the following exceptions which will be required as part of this Planned Development:

1. The minimum dwelling size shall be 3,000 square feet of air conditioned space exclusive of all porches, garages or breezeways attached to the main dwelling.
2. Any structure constructed on lots in this tract shall have a minimum of 80% masonry exclusive of any windows.
- 3.
4. The lot sizes shall generally be in conformance with the preliminary plan attached hereto.
- 5.
6. Minimum front setback of 25 feet.
- 7.
8. Roof slopes must conform to requirements of the Homeowners Association requirements.
9. No garage shall directly face the streets.

SECTION 6. Any person, firm or corporation violating any of the provisions of this ordinance shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed to the extent of that conflict.

SECTION 9. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such case provides.

DULY PASSED AND APPROVED this 7th day of June, 1999

ATTEST:

BY Cindy Kindred  
Cindy Kindred,  
City Secretary

APPROVED:

Scott L. Self  
Scott L. Self  
Mayor, Scott Self

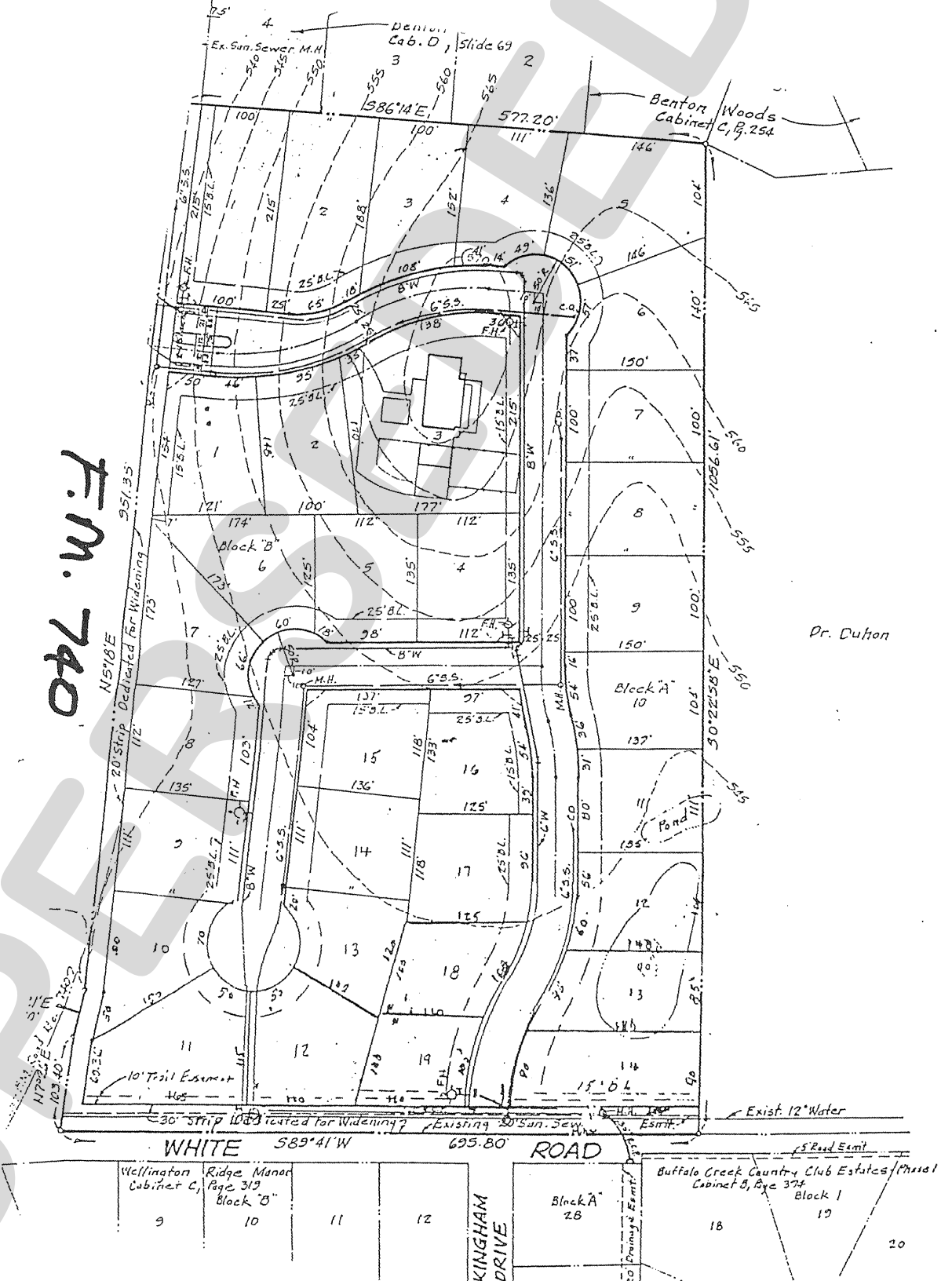
1st reading 5/17/99

2nd reading 6/7/99



PRELIMINARY PLAN  
EXHIBIT 'A'

F.M. 740



CITY OF ROCKWALL

ORDINANCE NO. 07-04

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL AS PREVIOUSLY AMENDED SO AS TO APPROVE AN AMENDMENT TO (PD-47) PLANNED DEVELOPMENT NO. 47 DISTRICT (ORD. NO. 99-17) TO ALLOW FOR AN COMMERCIAL ANTENNA ON A 5-ACRE TRACT KNOWN AS LOT 1, BLOCK A, OF THE FIRST CHRISTIAN CHURCH, DISCIPLES OF CHRIST ADDITION, AND MORE FULLY DESCRIBED HEREIN AS EXHIBIT "A"; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Tito Fuentes of Lewis T-Mobile USA for an amendment to (PD-47) Planned Development District No. 47 (Ord. No 99-17) to allow for an Commercial Antenna on a 5-acre tract known as Lot 1, Block A, First Christian Church, Disciples of Christ Addition, and more fully described herein as Exhibit "A"; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That the Unified Development Code of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to amend (PD-47) Planned Development District No. 47 (Ord. No 99-17) to allow for an Commercial Antenna on a 5-acre tract known as Lot 1, Block A, First Christian Church, Disciples of Christ Addition, and more fully described herein as Exhibit "A."

**Section 2.** That the 5-acre tract described in Exhibit "A", attached hereto, shall be subject to the approved Overall Site Plan, **Exhibit "B"**, the Equipment and Antenna Plan, **Exhibit "C"**, the Antenna Details and Coax Specifications, **Exhibit "D"**, and shall be subject to the following conditions:

1. All equipment shall be contained inside of the building.
2. The height of the steeple to remain as it currently exists.

**Section 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

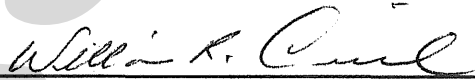
**Section 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**Section 5.** If any section paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (Ord No. 04-38) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

**Section 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**Section 7.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.


PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 16<sup>th</sup> day of January, 2007.

  
\_\_\_\_\_  
William R. Cecil, Mayor

ATTEST:

  
\_\_\_\_\_  
Dorothy Brooks, City Secretary

APPROVED:

  
\_\_\_\_\_  
Pete Eckert, City Attorney



1<sup>st</sup> Reading: 01-06-07

2<sup>nd</sup> Reading: 01-16-07

Z2006025-T-Mobile

(3 of 6)

HANDLERS LANDING  
PHASE 10

F.M. 740  
X 0411.27' S 85.73'

N 08°14'34"E  
284.24'

N 07°36'00"E 71.09'  
N 07°36'00"E 71.09'  
N 07°36'00"E 71.09'

N 07°36'00"E 71.09'  
N 07°36'00"E 71.09'

N 07°36'00"E 71.09'

POINT OF BEGINNING  
1/2" IRS

GEORGE R. ROLAND  
VOL. 94, PG. 559

S89°39'38"E 645.88'

LOT 1  
BLOCK A

5.0368 ACRES GROSS  
0.8956 ACRES IN R.O.W. & ESM'T  
5.0000 ACRES NET

ROCKWALL CO., TEX.  
03 NOV - 7 PM 2:49  
PAULETTE BURKS  
CO. CLERK  
BY: \_\_\_\_\_ DEPUTY

CH	RADIUS	DELTA	ARC	TAN	BEARING	LENGTH
C1	30.00	54°31'05"	48.49	32.40	S 42°24'04" E	44.44
C2	54.00	80°00'00"	84.88	64.00	S 44°39'31" E	76.76
C3	44.00	70°37'35"	54.40	31.32	S 35°49'10" E	61.61
C4	20.00	71°23'41"	24.02	14.37	S 55°36'07" E	28.28
C5	20.00	89°34'14"	31.57	18.85	N 44°52'51" E	26.66
C6	20.00	80°25'46"	31.67	20.16	N 49°07'09" E	28.42
C7	20.00	80°33'54"	31.36	19.85	N 44°52'41" E	26.28
C8	20.00	90°00'00"	31.42	20.00	S 48°20'25" E	26.28
C9	20.00	77°33'00"	37.76	16.47	S 38°20'08" E	26.28
C10	30.00	81°16'39"	65.38	35.47	N 40°38'18" E	61.61
C11	10.00	123°14'02"	21.51	18.51	S 28°02'31" E	17.17
C12	30.00	85°30'04"	44.77	27.73	S 47°35'20" E	40.73
C13	30.00	90°00'00"	47.12	30.00	S 44°39'38" E	48.43
C14	20.00	70°27'45"	34.77	14.28	S 35°49'10" E	23.23
C15	63.00	32°39'00"	38.27	18.63	N 77°04'50" E	36.77

DR. DUHON  
VOL. 693, PG. 238  
D.R.R.C.T.

EXHIBIT "A"

First Christian Church



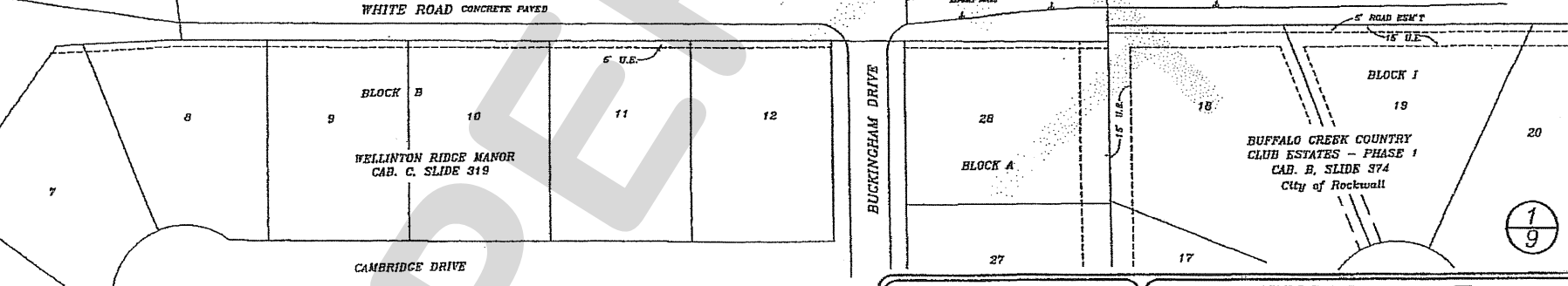
- LEGEND:
- ⊙ POWER POLE
  - R.O.W. RIGHT OF WAY
  - IRF IRON ROD FOUND
  - IRS IRON ROD SET
  - ⊙ SANITARY SEWER MAN HOLE

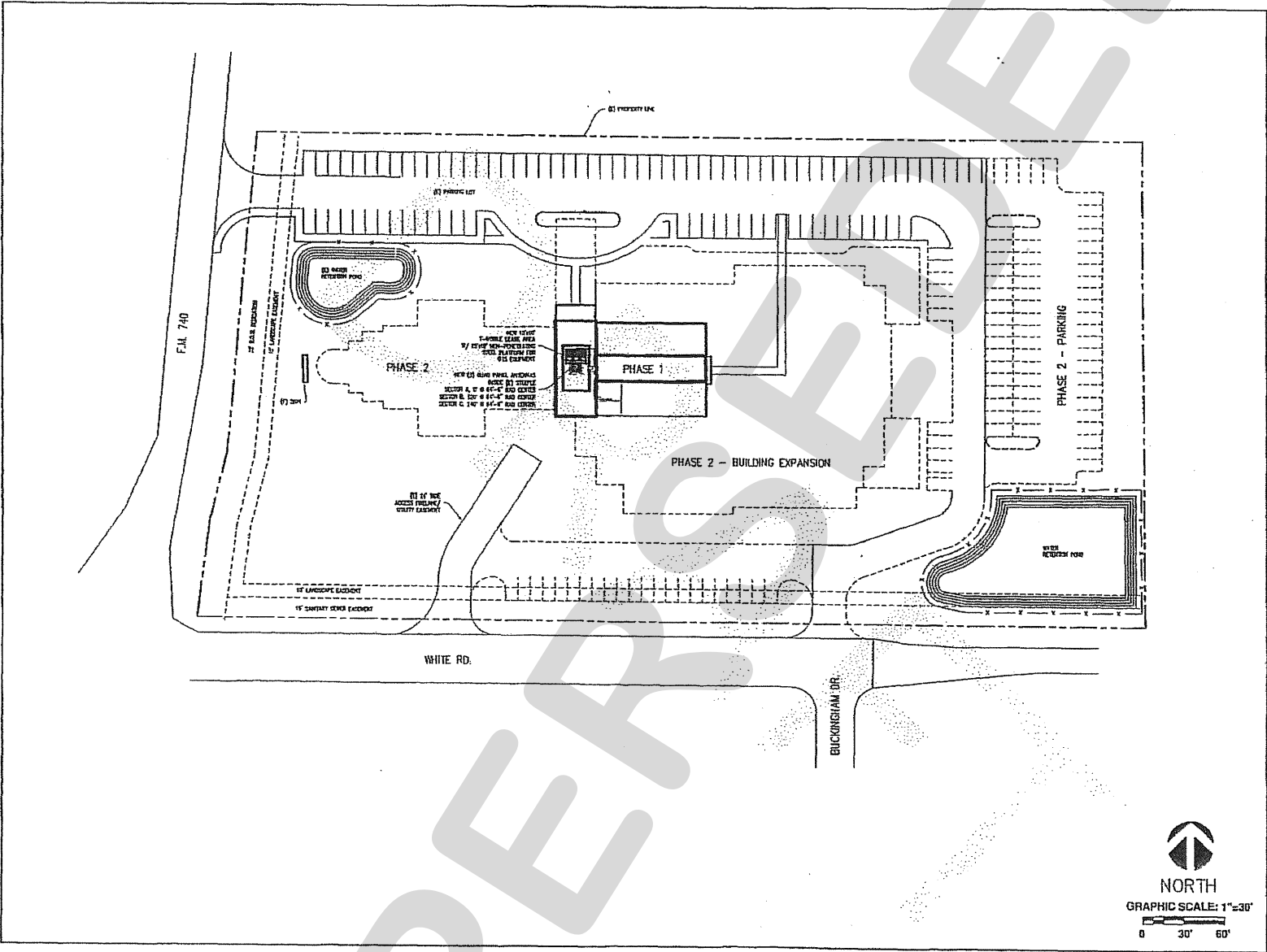
**HAROLD L. EVANS**  
CONSOLIDATING ENGINEER  
P.O. BOX 28366  
233 GUS THOMASSON ROAD, SUITE 102  
DALLAS, TEXAS 75228 (214) 328-8133

SCALE: 1" = 50'  
DATE: 2/28/03  
JOB NO.: 3992

**FINAL PLAT**  
FIRST CHRISTIAN CHURCH, DISCIPLES OF CHRIST,  
ROCKWALL, TEXAS ADDITION  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
TRUSTEES OF FIRST CHRISTIAN CHURCH, DISCIPLES OF CHRIST, ROCKWALL, TEXAS  
305 S. FANNIN, ROCKWALL, TEXAS 75087 (972) 771-6526

E 361-362





**T-Mobile**  
 DURE BRIDGES CAMPUS  
 7688 WARREN PARKWAY  
 FRISCO, TX 75034  
 OFFICE: (972) 484-5110

PROJECT NO.	DA1599A
DRAWN BY	E.C.
CHECKED BY	J.C.
DATE	
1 11/10/08	FINAL CD REUSED
1 11/10/08	FINAL CD
10 11/26/08	PRELIMINARY

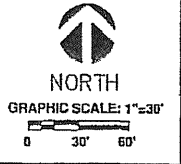
**ALPRO**  
 CONSULTING ENGINEERS, P.C.  
 6011 Lyndon B. Johnson Freeway  
 Suite 4000 Dallas, TX 75240  
 Phone: 972-343-1811  
 Fax: 972-343-1812  
 www.alpro.com

STATE OF TEXAS  
 PROFESSIONAL ENGINEERING  
 JAMES W. STAMP  
 41163  
 CIVIL  
 EXPIRES 12/31/08  
 NOT VALID WITHOUT  
 P.E. STAMP & SIGNATURE

FCC ROCKWALL  
 DA1599A  
 3476 RIDGE ROAD  
 ROCKWALL, TX 75087  
 COLLIER COUNTY

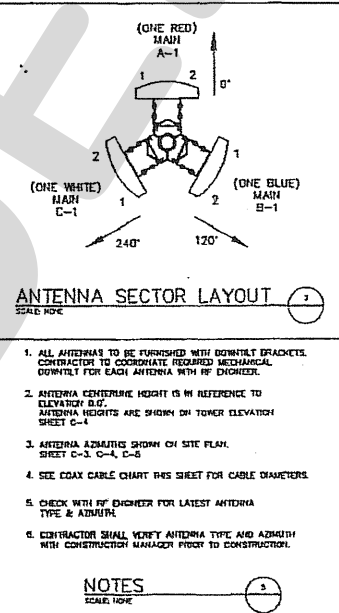
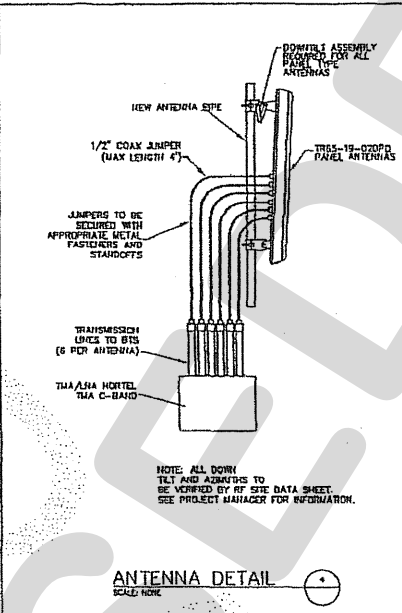
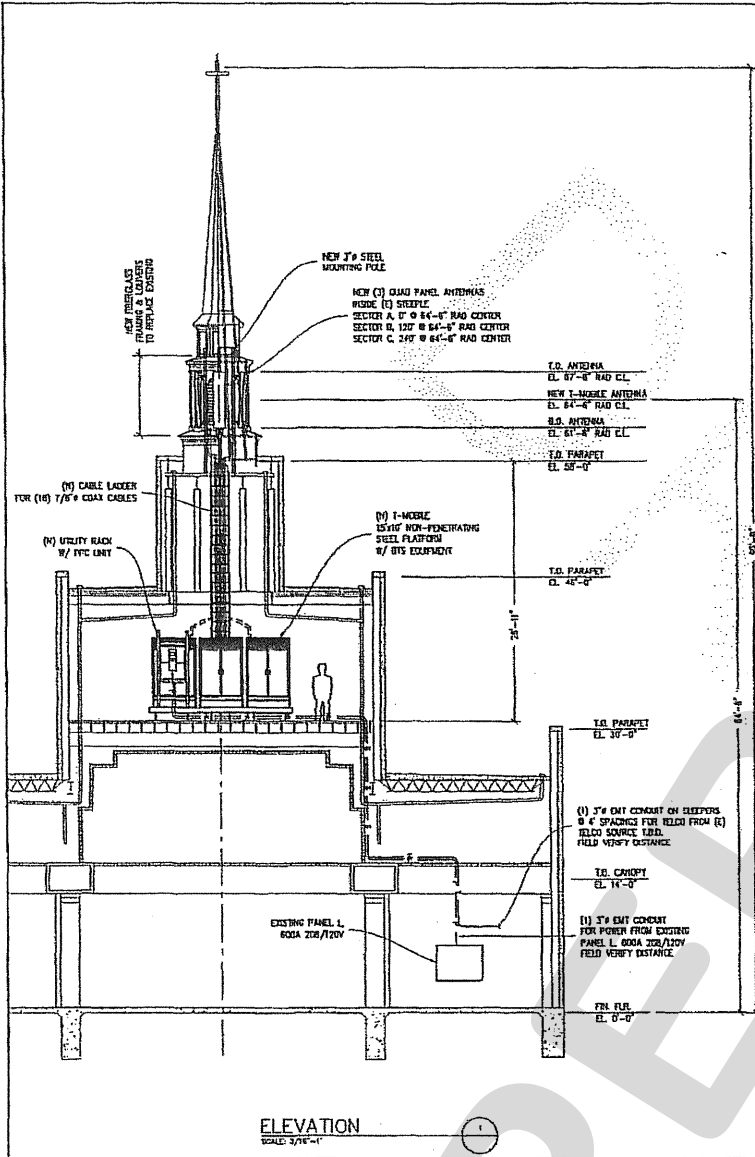
SHEET TITLE  
 OVERALL SITEPLAN

SHEET NUMBER  
**C-1**









**ANTENNA SCHEDULE**

ANTENNA MARK	SECTOR	ANTENNA	CABLE TYPE/SIZE	Mechanical DOWN TILT - 0°	AZIMUTH
A-1	A	TMS-18-C20PQ	BACK-MIDDLE 7/8"	0°	0°
B-1	B	TMS-18-C20PQ	BACK-MIDDLE 7/8"	0°	120°
C-1	C	TMS-18-C20PQ	BACK-MIDDLE 7/8"	0°	240°

**ANTENNA SCHEDULE & NOTES**  
SCALE NONE

FROM/TO	SECTOR A (ALPHA)						SECTOR B (BETA)						SECTOR C (GAMMA)					
	AZ. 0°		MECHANICAL DOWN TILT = 0°		LENGTH (FT)		AZ. 120°		MECHANICAL DOWN TILT = 0°		LENGTH (FT)		AZ. 240°		MECHANICAL DOWN TILT = 0°		LENGTH (FT)	
	COAX CABLE TYPE/SIZE	RWD/TXD	TX2	RX1/TX1	COAX CABLE TYPE/SIZE	RWD/TXD	TX2	RX1/TX1	COAX CABLE TYPE/SIZE	RWD/TXD	TX2	RX1/TX1	COAX CABLE TYPE/SIZE	RWD/TXD	TX2	RX1/TX1		
MAIN LINE COAX FROM ANTENNA JUMPER TO RADIO CABINET	LDF8-30A 7/8"	45'	45'	45'	LDF8-30A 7/8"	45'	45'	45'	LDF8-30A 7/8"	45'	45'	45'	LDF8-30A 7/8"	45'	45'	45'		
JUMPER CABLES FROM RADIO TO MAIN TRANSMISSION LINE	FSA-4 1/2"	10'	10'	10'	FSA-4 1/2"	10'	10'	10'	FSA-4 1/2"	10'	10'	10'	FSA-4 1/2"	10'	10'	10'		
JUMPER CABLES FROM MAIN TRANSMISSION LINE TO ANTENNAS	LDF4-50A 1/2"	4'	4'	4'	LDF4-50A 1/2"	4'	4'	4'	LDF4-50A 1/2"	4'	4'	4'	LDF4-50A 1/2"	4'	4'	4'		

NOTE: LENGTHS POSTED ON THIS CHART ARE ESTIMATED FROM AVAILABLE INFORMATION.

TYPES AND SIZES OF THE ANTENNA CABLES ARE BASED ON THE ESTIMATED LENGTH OF THE CABLES. CONTRACTOR TO VERIFY ALL ACTUAL LENGTHS IN FIELD PRIOR TO INSTALLATION AND NOTIFY THE VENDOR/ENGINEER FOR VERIFICATION OF SIZES OF CABLES.

CONTRACTOR TO PROVIDE AS-BUILTS FOR THE LENGTH OF CABLES UPON COMPLETION OF INSTALLATION.

**COAX CABLE CHART**  
SCALE NONE

**T-Mobile**  
DUKE BRIDGES CAMPUS  
7668 WARREN PARKWAY  
FRISCO, TX 75034  
OFFICE: (972) 463-3510

PROJECT NO. DA1599A  
DRAWN BY: C.G.  
CHECKED BY: J.G.  
2 11/18 FINAL CD REVISED  
1 11/18 FINAL CD  
0 11/18 PRELIMINARY

**ALLPRO**  
CONSULTING ENGINEER, P.C.  
2021 Lyndon B. Johnson Freeway  
Suite 200, Dallas, TX 75201  
Tel: 972-348-3473  
www.allpro.com

R/S  
STATE OF TEXAS  
REGISTERED PROFESSIONAL ENGINEER  
HYTES  
SPECIALTY  
REGISTERED PROFESSIONAL ENGINEER

NOT VALID WITHOUT P.E. STAMP & SIGNATURE

FCC ROCKWALL  
DA1599A  
3375 RIDGE ROAD  
ROCKWALL, TX 75087  
COLLIN COUNTY

SHEET TITLE  
ANTENNA DETAILS & COAX SPECIFICATIONS

SHEET NUMBER  
**C-3**