



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning  
Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

***HISTORIC PRESERVATION ADVISORY BOARD APPLICATIONS***

CERTIFICATE OF APPROPRIATENESS (COA)  
BUILDING PERMIT FEE WAIVER  
SMALL MATCHING GRANT (SMG)

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**HISTORIC PRESERVATION ADVISORY BOARD**

**CONDITIONS OF APPROVAL**

**NOTES**



# HISTORIC PRESERVATION ADVISORY BOARD APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

CASE NUMBER: \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR HAS SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

DATE RECEIVED: \_\_\_\_\_

RECEIVED BY: \_\_\_\_\_

### APPLICATION:

- CERTIFICATE OF APPROPRIATENESS (COA)
- LOCAL LANDMARK EVALUATION & DESIGNATION
- BUILDING PERMIT WAIVER & REDUCTION PROGRAM
- SMALL MATCHING GRANT APPLICATION

### SPECIAL DISTRICTS [SELECT APPLICABLE]:

- OLD TOWN ROCKWALL HISTORIC (OTR) DISTRICT
- PLANNED DEVELOPMENT DISTRICT 50 (PD-50)
- SOUTHSIDE RESIDENTIAL NEIGHBORHOOD OVERLAY (SRO) DISTRICT
- DOWNTOWN (DT) DISTRICT

### CONTRIBUTING STATUS [SELECT APPLICABLE]:

- LANDMARKED PROPERTY
- HIGH CONTRIBUTING PROPERTY
- MEDIUM CONTRIBUTING PROPERTY
- LOW CONTRIBUTING PROPERTY
- NON-CONTRIBUTING PROPERTY

### CURRENT LAND USE OF THE SUBJECT PROPERTY:

- RESIDENTIAL
- COMMERCIAL

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **603 EAST RUSK ST ROCKWALL TX 75087**

SUBDIVISION \_\_\_\_\_

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

IS THE OWNER OF THE PROPERTY THE PRIMARY CONTACT?  YES  NO

APPLICANT(S) IS/ARE:  OWNER  TENANT  NON-PROFIT  RESIDENT

CHECK THIS BOX IF OWNER AND APPLICANT ARE THE SAME.

OTHER, SPECIFY: \_\_\_\_\_

OWNER(S) NAME **JAKE RASHELL / NICOLE SMITH**

APPLICANT(S) NAME **MICHAEL CHEATHAM**

ADDRESS **603 EAST RUSK ST ROCKWALL**

ADDRESS **1821 TRAIL DR ROCKWALL TX**

PHONE **972-750-8802 / 208-791-9225**

PHONE **469-734-6055**

E-MAIL **JAVERASHELL@GMAIL.COM  
SMITHNCL01@GMAIL.COM**

E-MAIL **OFFICE@WILLOWCREEKCUSTOMHOMES.COM**

## SCOPE OF WORK/REASON FOR EVALUATION REQUEST [PLEASE PRINT]

CONSTRUCTION TYPE [CHECK ONE]:

EXTERIOR ALTERATION

NEW CONSTRUCTION

ADDITION

DEMOLITION

RELOCATIONS

OTHER, SPECIFY: \_\_\_\_\_

ESTIMATED COST OF CONSTRUCTION/DEMOLITION OF THE PROJECT (IF APPLICABLE):

**\$ 120,000**

**PROJECT DESCRIPTION.** IN THE SPACE PROVIDED BELOW OR ON A SEPARATE SHEET OF PAPER, DESCRIBE IN DETAIL THE WORK THAT WILL BE PERFORMED ON SITE. FOR LOCAL LANDMARK EVALUATION & DESIGNATION REQUESTS INDICATE ANY ADDITIONAL INFORMATION YOU MAY HAVE CONCERNING THE PROPERTY, HISTORY, SIGNIFICANCE, PRESENT CONDITIONS, STATUS, CURRENT OR PAST USE(S), ETC. STAFF RECOMMENDS THAT PHOTOGRAPHS OF THE INTERIOR AND EXTERIOR OF THE PROPERTY ARE SUBMITTED WITH THIS APPLICATION.

**ADDING ROUGHLY 615 SF OF AIR CONDITIONED SPACE TO BACK OF HOME. 375 SF TO BE LIVING ROOM & 240 SF TO BE BEDROOM & CLOSET. ADDING A 400 SF 2 CAR GARAGE TO RIGHT SIDE OF HOME. ALL NEW EXTERIOR FACADE TO MATCH EXISTING EXCEPT POSSIBLY USING A HARDY SIDING ON BACK NOT EXPOSED TO STREET IF ALLOWED.**

## OWNER & APPLICANT STATEMENT [ORIGINAL SIGNATURES REQUIRED]

I ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND THAT ALL INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. FURTHERMORE, I UNDERSTAND THAT IT IS NECESSARY FOR ME OR A REPRESENTATIVE TO BE PRESENT AT A PUBLIC HEARING FOR THIS CASE TO BE APPROVED.

OWNER'S SIGNATURE \_\_\_\_\_

APPLICANT'S SIGNATURE **[Signature]**



TRACT 2  
BILLY QUINTON AND  
AUTUMN QUINTON  
INST. NO.  
20160000012152

CARMEN GALVAN  
VOL. 1907, PG. 137

(CM)  
N.E. CORNER OF  
CARMEN GALVAN  
VOL. 1907, PG. 137

VICTORY WORSHIP  
CENTER, INC.  
VOL. 1395, PG. 142

1/2" IRF FOR REFERENCE  
S 01°31'27" E - 0.38'

N 89°44'24" E 75.00'

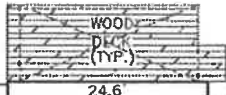
100.00'

N 01°31'27" W

TRACT 1  
BILLY QUINTON AND  
AUTUMN QUINTON  
INST. NO.  
20160000012152

7,498 sq. ft.  
0.17 of an acre

ONE STORY  
FRAME NO  
FOUNDATION



ONE STORY  
FRAME  
( 603 )

ROBERT THOMAS  
WIKTORCHIK  
INST. NO.  
2007-00381305

100.00'

100.00'

S 01°31'27" E

(CM)  
S.W. CORNER OF  
TRACT 1  
BILLY QUINTON AND  
AUTUMN QUINTON  
INST. NO.  
20160000012152

75.00'

S 89°44'24" W 75.00'

PLACE OF  
BEGINNING

OHPL OHPL OHPL OHPL OHPL

ASPHALT

E. RUSK STREET



TRACT 2  
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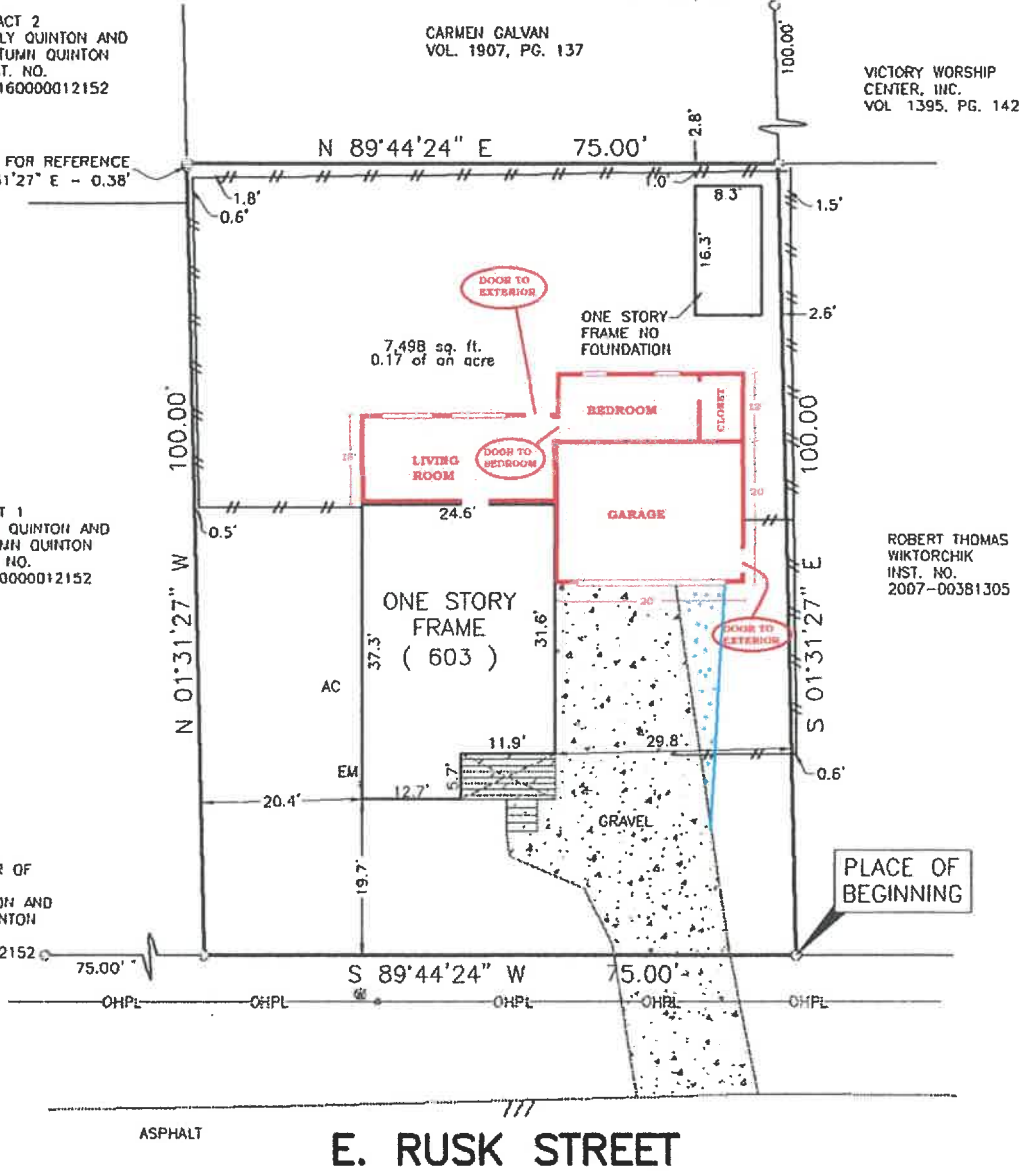
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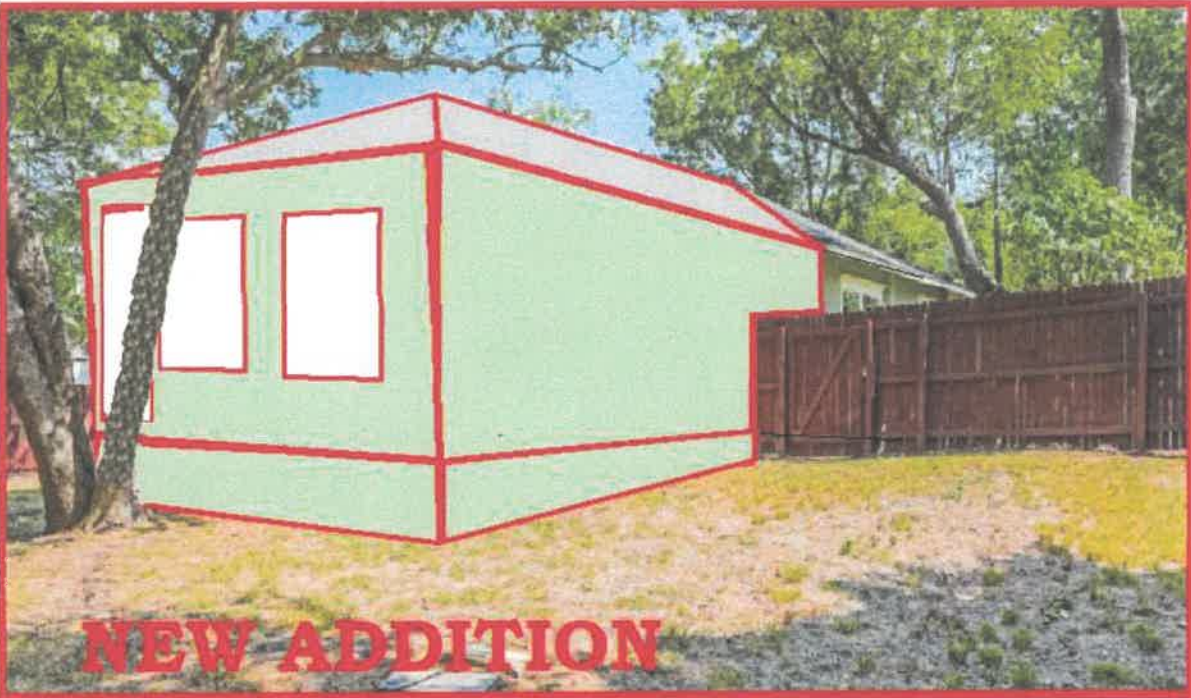
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**NEW ADDITION**



**EXISTING**



# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Historic Preservation Advisory Board

**DATE:** November 16, 2023

**APPLICANT:** Michael Cheatham; *on behalf of Jake Rashell and Nicole Smith*

**CASE NUMBER:** H2023-021; *Building Permit Fee Waiver for 603 E. Rusk Street*

The applicant -- *Michael Cheatham* -- is requesting the approval of a *Building Permit Fee Waiver* for the construction of an addition to an existing single-family home on the subject property. This request is being proposed in tandem with a Certificate of Appropriateness (COA) [Case No. H2023-019] and a *Small Matching Grant* [Case No. H2023-020]. On March 21, 2016, the City Council approved *Resolution No. 16-08* establishing the *Building Permit Fee Waiver Program* to provide an incentive for the rehabilitation or restoration of historic structures and other properties in certain areas of the City. For a residential property to be eligible for the *Building Permit Fee Waiver Program*, the property must be located within the Old Town Rockwall (OTR) Historic District or the Southside Residential Neighborhood Overlay (SRO) District and involve a minimum investment of \$5,000.00 for a rehabilitation or restoration project. Properties classified as Contributing (i.e. *High, Medium, or Low Contributing*) shall be eligible for a full waiver of building permit fees and properties classified as Non-Contributing shall be eligible for a reduction in permit fees of up to 50.00%. The applicant has provided a scope of work and a valuation of \$120,000.00 for the construction of the new addition and new garage. Based on the property's designation as Low-Contributing, the building permit fee would be eligible for a 100.00% reduction under the *Building Permit Fee Waiver* program. The estimated building permit fees for this project is as follows:

PERMIT	FEE
SINGLE-FAMILY [REMODEL/ADDITION]	\$487.20 [ i.e. \$0.48/SF (MINIMUM FEE: \$125.00)]

Should the Historic Preservation Advisory Board (HPAB) approve the request, the total *Building Permit Fee Waiver* request would be for \$487.20. Staff should note that requests for *Building Permit Fee Waivers* are discretionary decisions for the Historic Preservation Advisory Board (HPAB). Should the Historic Preservation Advisory Board (HPAB) have any questions concerning the applicant's request, staff and the applicant will be present at the November 16, 2023 meeting.



# HISTORIC PRESERVATION ADVISORY BOARD APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

CASE NUMBER: \_\_\_\_\_

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OWNER(S) NAME JAKE RASHELL / NICOLE SMITH

APPLICANT(S) NAME MICHAEL CHEATHAM

ADDRESS 603 EAST RUSK ST ROCKWALL

ADDRESS 1821 TRAIL DR ROCKWALL TX

PHONE 972-750-8802 / 208-791-9225

PHONE 469-734-6055

E-MAIL JAVERASHELL@GMAIL.COM  
SMITHNCL01@GMAIL.COM

E-MAIL OFFICE@WILLOWCREEKCUSTOMHOMES.COM

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OWNER'S SIGNATURE \_\_\_\_\_

APPLICANT'S SIGNATURE [Signature]





H2023-021: Building Permit Fee Waiver for 603 E Rusk Street



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



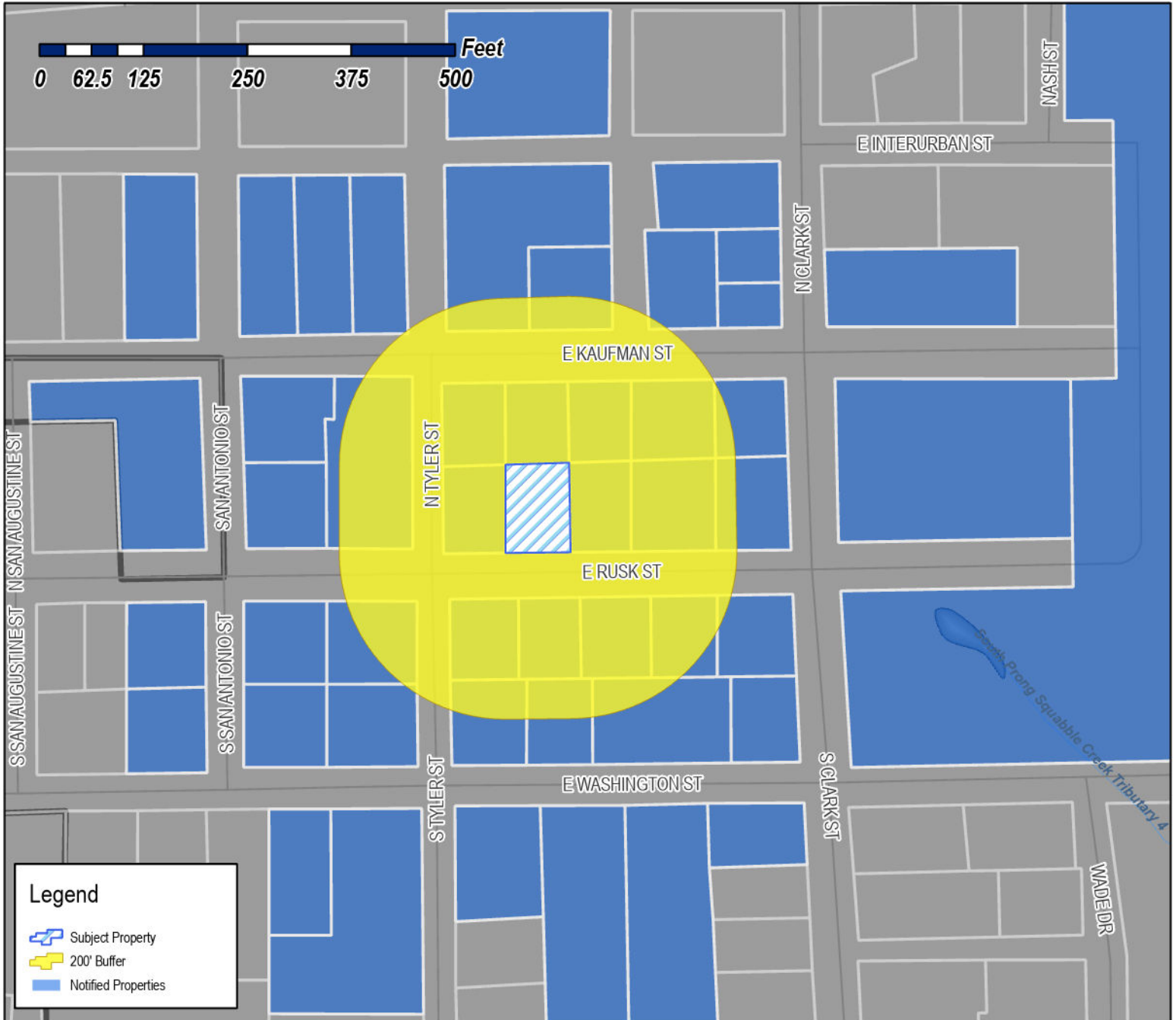




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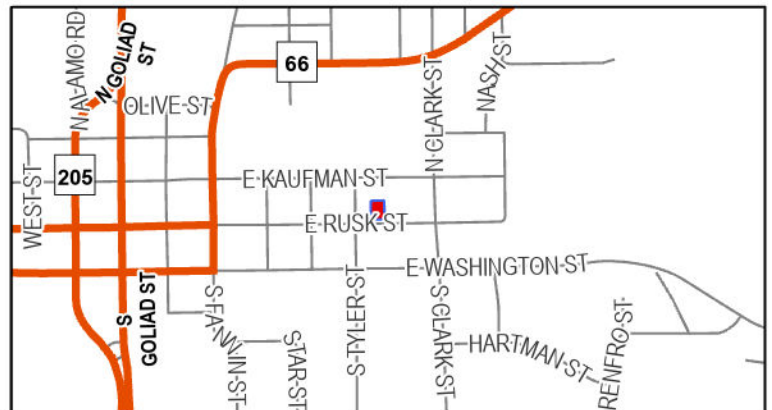
**Legend**

- Subject Property
- 200' Buffer
- Notified Properties

**Case Number:** H2023-021  
**Case Name:** Building Permit Fee Waiver for 603 E Rusk Street  
**Case Type:** Historic  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 603 E Rusk Street

**Date Saved:** 10/30/2023

For Questions on this Case Call: (972) 771-7746



SMILEY KAREN APRIL  
605 E RUSK ST  
ROCKWALL, TX 75087

INDEPENDENT ADMINISTRATOR - ESTATE OF  
ROBERT THOMAS WIKTORCH  
P.O. BOX 3061  
WARMINSTER, PA 18974

DUTT JOHN RICHARD JR ETUX  
505 E WASHINGTON ST  
ROCKWALL, TX 75087

BIRKENBACK JOSSEPH M & OLGA M  
506 E RUSK ST  
ROCKWALL, TX 75087

CLARK JENNIFER A  
610 E KAUFMAN ST  
ROCKWALL, TX 75087

GALVAN CARMAN  
604 E KAUFMAN ST  
ROCKWALL, TX 75087

OCCUPANT  
603 E RUSK ST  
ROCKWALL, TX 75087

INTEGRITY ALL CASH HOME BUYERS LLC  
7340 BAKER BLVD #392  
RICHLAND HILLS, TX 76118

ROCKWALL COMMUNITY PLAYHOUSE  
609 E RUSK ST  
ROCKWALL, TX 75087

OCCUPANT  
601 E WASHINGTON ST  
ROCKWALL, TX 75087

GLASS JERRY  
301 MEADOWDALE DR  
ROCKWALL, TX 75087

GREEN JAMES KEITH II & HOLLY NICOLE  
605 E WASHINGTON ST  
ROCKWALL, TX 75087

ROCKWALL COMMUNITY PLAYHOUSE  
609 E RUSK ST  
ROCKWALL, TX 75087

REEVES ASHLEY ELLEN & DANIEL GARRET  
609 E WASHINGTON ST  
ROCKWALL, TX 75087

WEBB RODNEY D AND FRAN W  
507 E RUSK ST  
ROCKWALL, TX 75087

HARPER VICKI DAWSON  
605 E KAUFMAN ST  
ROCKWALL, TX 75087

OCCUPANT  
601 E KAUFMAN ST  
ROCKWALL, TX 75087

HARPER LYDIA  
1200 CLEVELAND STREET APT 327  
DENTON, TX 76201

HARPER VICKI DAWSON  
605 E KAUFMAN ST  
ROCKWALL, TX 75087

ROCKWALL COMMUNITY PLAYHOUSE  
609 E RUSK ST  
ROCKWALL, TX 75087

COUNTY OF ROCKWALL  
101 E Rusk ST  
ROCKWALL, TX 75087

WILLIAMS JERRY LANE  
608 E RUSK ST  
ROCKWALL, TX 75087

SMITH GREGORY P & MARILYN  
610 E RUSK ST  
ROCKWALL, TX 75087

ROBINSON NELDA  
602 E RUSK ST  
ROCKWALL, TX 75087

HORNER ANDREA J  
604 E RUSK ST  
ROCKWALL, TX 75087

OCCUPANT  
102 S CLARK ST  
ROCKWALL, TX 75087

KINSEY DONALD H & TARI L  
2 MANOR COURT  
HEATH, TX 75032

OCCUPANT  
601 E RUSK ST  
ROCKWALL, TX 75087

QUINTON BILLY & AUTUMN  
102 N TYLER ST  
ROCKWALL, TX 75087

QUINTON BILLY & AUTUMN  
102 N TYLER ST  
ROCKWALL, TX 75087

OCCUPANT  
505 E KAUFMAN ST  
ROCKWALL, TX 75087

BALL JUSTIN  
2155 CLUBVIEW DR  
ROCKWALL, TX 75087



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the Historic Preservation Advisory Board will consider the following application:

**Case No. H2023-021: Building Permit Fee Waiver for 603 E. Rusk Street**

*Hold a public hearing to discuss and consider a request by Michael Cheatham on behalf of Jake Rashell and Nicole Smith for the approval of a Building Permit Fee Waiver for an addition to an existing single-family home being a Low Contributing Property on a 0.25-acre parcel of land identified as Block 120E of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 603 E. Rusk Street, take any action necessary.*

For the purpose of considering the effects of such a request, the Historic Preservation Advisory Board will hold a public hearing on Thursday, November 16, 2023 at 6:00 PM. This hearing will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Thursday, November 16, 2023 at 4:00 PM to ensure they are included in the information provided to the Historic Preservation Advisory Board.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning

----- PLEASE RETURN THE BELOW FORM -----

**Case No. H2023-021: Building Permit Fee Waiver for 603 E. Rusk Street**

**Please place a check mark on the appropriate line below:**

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Grey bar for Name

Address:

Grey bar for Address

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



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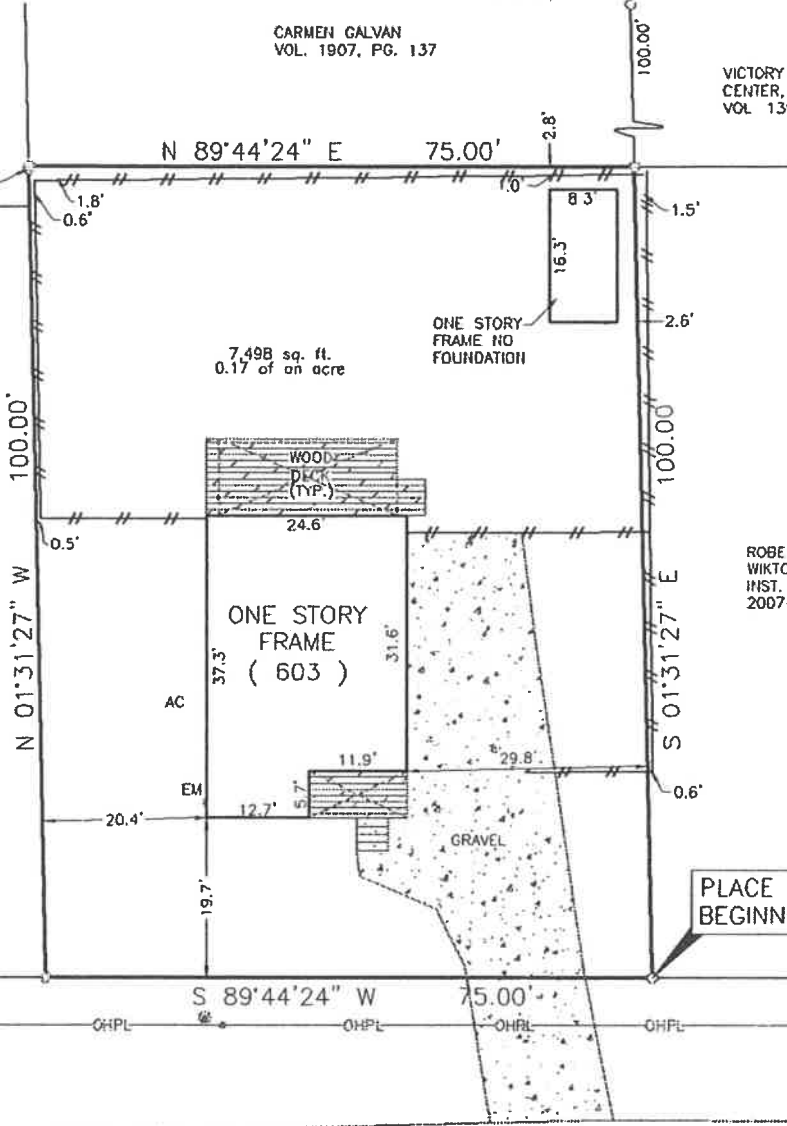
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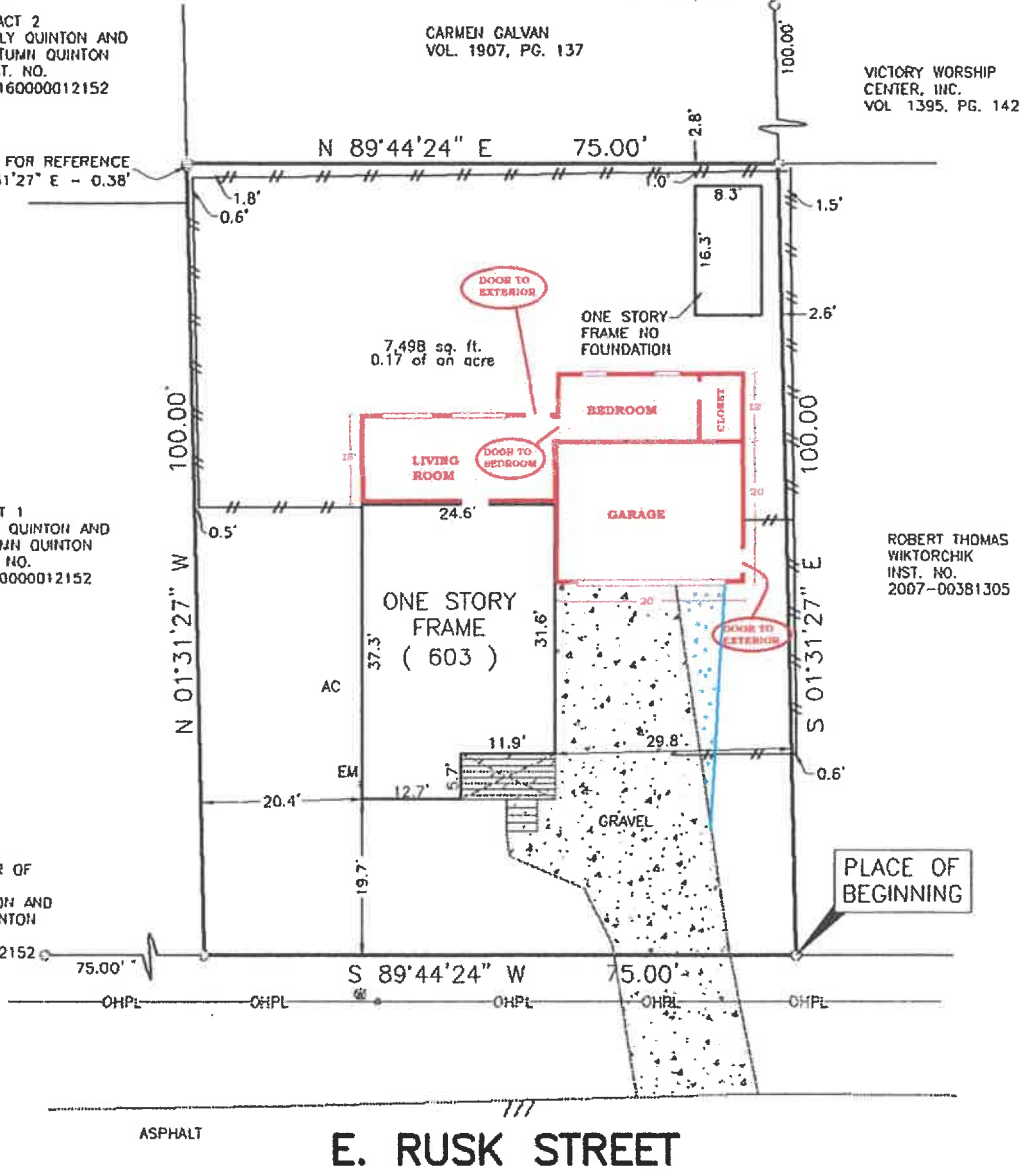
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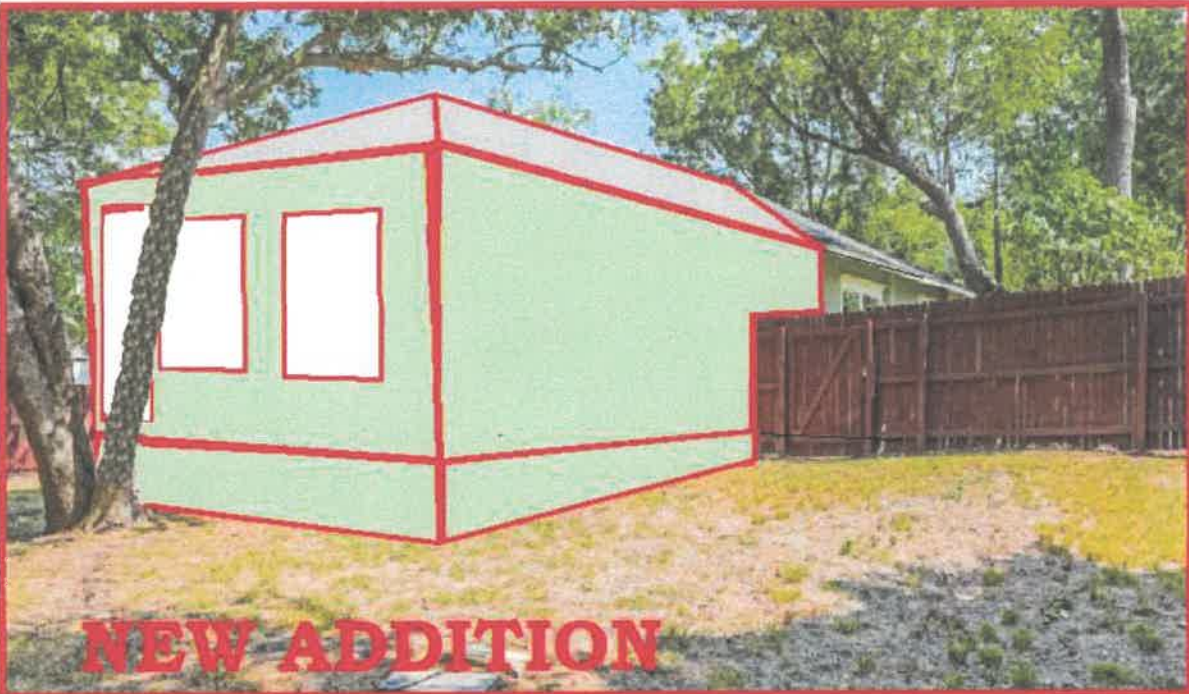
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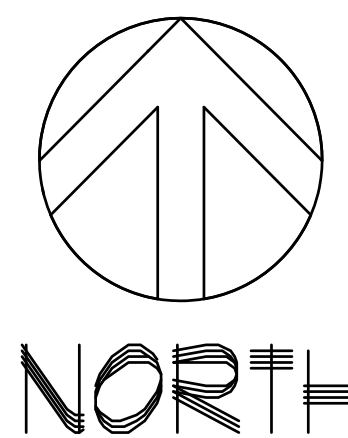
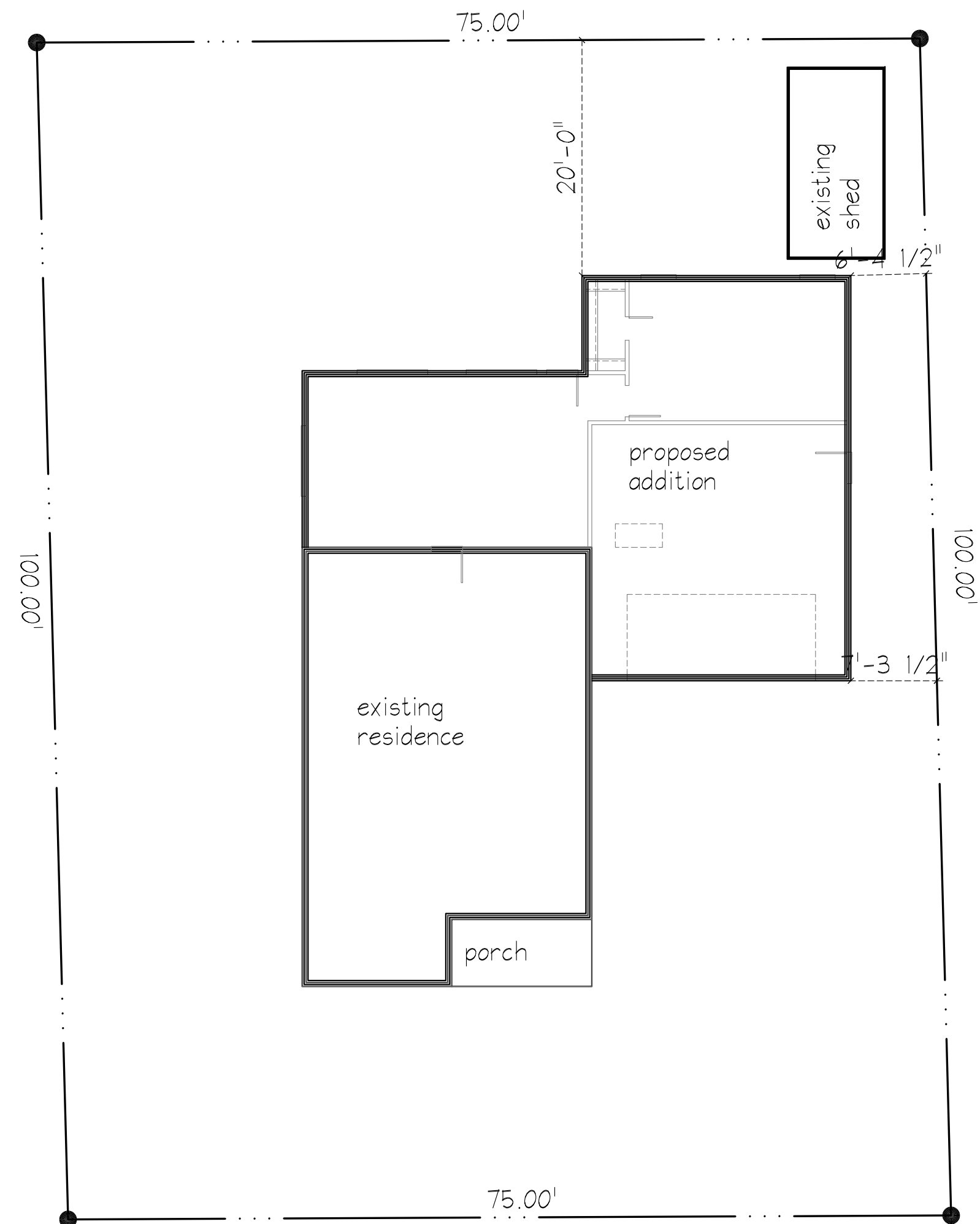




**NEW ADDITION**



**EXISTING**



**Areas:**

Area of Lot	7,498 sq. ft.
Covered Area	1,142 sq. ft.
Percent Covered	15.2%

**PLOT PLAN**  
SCALE 1" = 10'-0"

**Notes:**

- Do not scale drawings, follow dimensions only. All structural information shown for reference purposes only. Contractor shall have licensed structural engineer review and design all structural elements such as all framing walls, beams, connections, headers, joists and rafters.
- All dimensions are from face of stud to face of stud unless otherwise noted.
- Window sizes indicated on plans are noted by approximate rough openings size. Verify window sizes and "owner furnish windows" with owner prior to construction. Refer to plans and exterior elevations for window types.
- All framing shall be done in accordance with IBC latest edition.
- Spread studs at tub ends to accommodate plumbing and provide blocking, top and bottom, at shower to secure plumbing.
- Exterior sheathing shall be 5/8" OSB.
- All interior walls shall be covered with 1/2" gypsum board with metal corner reinforcing. Drywall finish should include taping over joints, applying joint compound and sanding the compound for a smooth finish. Verify with owner the level of drywall texturing.
- All walls and ceilings in garage and garage storage areas to have 5/8" Type-X gypsum board with 1-hour fire rating. All exterior doors in garage and attic access to be metal or solid core with a 20 minute fire rating.
- Provide 1/2" "moisture resistant" gypsum board at all wet locations.
- All finishes to be chosen and verified by owner.
- Contractor shall field verify all cabinet dimensions before fabrication.
- All millwork to be chosen and verified by owner. Contractor shall submit "shop drawings" at owners request.
- Provide 1/2" cement board for tile backer.
- Provide min. 4 - gang 2x4 studs at glue-lam bearing.
- All work shall be in accordance with National Plumbing Code, Latest Edition.
- Contractor shall provide HVAC "duct layout" for approval prior to fabrication. For coordination with fixtures and diffuser location.
- Verify all column type, size, and material with owner prior to construction.
- Prefabricated fireplace construction shall meet or exceed all applicable codes regarding use of fire separations, clearances, etc. It is the contractor's responsibility to ensure that all items and construction meet or exceed code. Overall flue height shall be coordinated to match height shown on plans and shall not exceed the top of chimney chase as constructed. All fireplace chase walls shall be insulated inside and outside. Provide horizontal "draft stops" at each floor level by packing 6" (R19) insulation between 2x4 joists.
- Provide combustion air vents with screen and back damper for fireplaces, wood stoves and any appliance with an open flame.
- All bath and toilet area walls shall have water resistant gypsum boards.
- All plumbing walls shall be 2x6.
- Bedroom windows shall have a minimum net clear opening of 5.7 square feet, a minimum net clear openable width of 20", a minimum net clear openable height of 24", and have a maximum finish sill height of 42" from finished floor. All glass located within 18" of floor, 24" of a door or located within 60" of floor at bath tubs, whirlpools, showers, saunas, steam rooms, or hot tubs shall be tempered.
- Attic HVAC units shall be located within 20' of its service opening. Return air grills shall not be located within 10' of a gas fired appliance.
- All exposed insulation shall have a flame spread rating of less than 25 and a smoke density rating of less than 450.

MASTER REVISION INDEX			APPLICABLE CODES
SHEET #	DESCRIPTION	SCALE	
1	PLOT PLAN	1"=10'-0"	2021 INTERNATIONAL FIRE CODE
2	DEMO PLAN & REMODEL PLAN W/ ELECTRICAL	1/4"=1'-0"	2021 INTERNATIONAL BUILDING CODE
3	FOUNDATION LAYOUT & ROOF PLAN	1/4"=1'-0"	2021 INTERNATIONAL PLUMBING CODE
4	FRONT, REAR, LEFT, & RIGHT ELEVATION	1/4"=1'-0"	2020 NATIONAL ELECTRICAL CODE
5	STANDARD DETAILS	N.T.S.	2021 INTERNATIONAL RESIDENTIAL CODE
			2021 INTERNATIONAL ENERGY CONSERVATION CODE
			2021 INTERNATIONAL FUEL & GAS CODE
			2021 INTERNATIONAL GREEN CONSTRUCTION CODE

REVISIONS:

11/02/2023

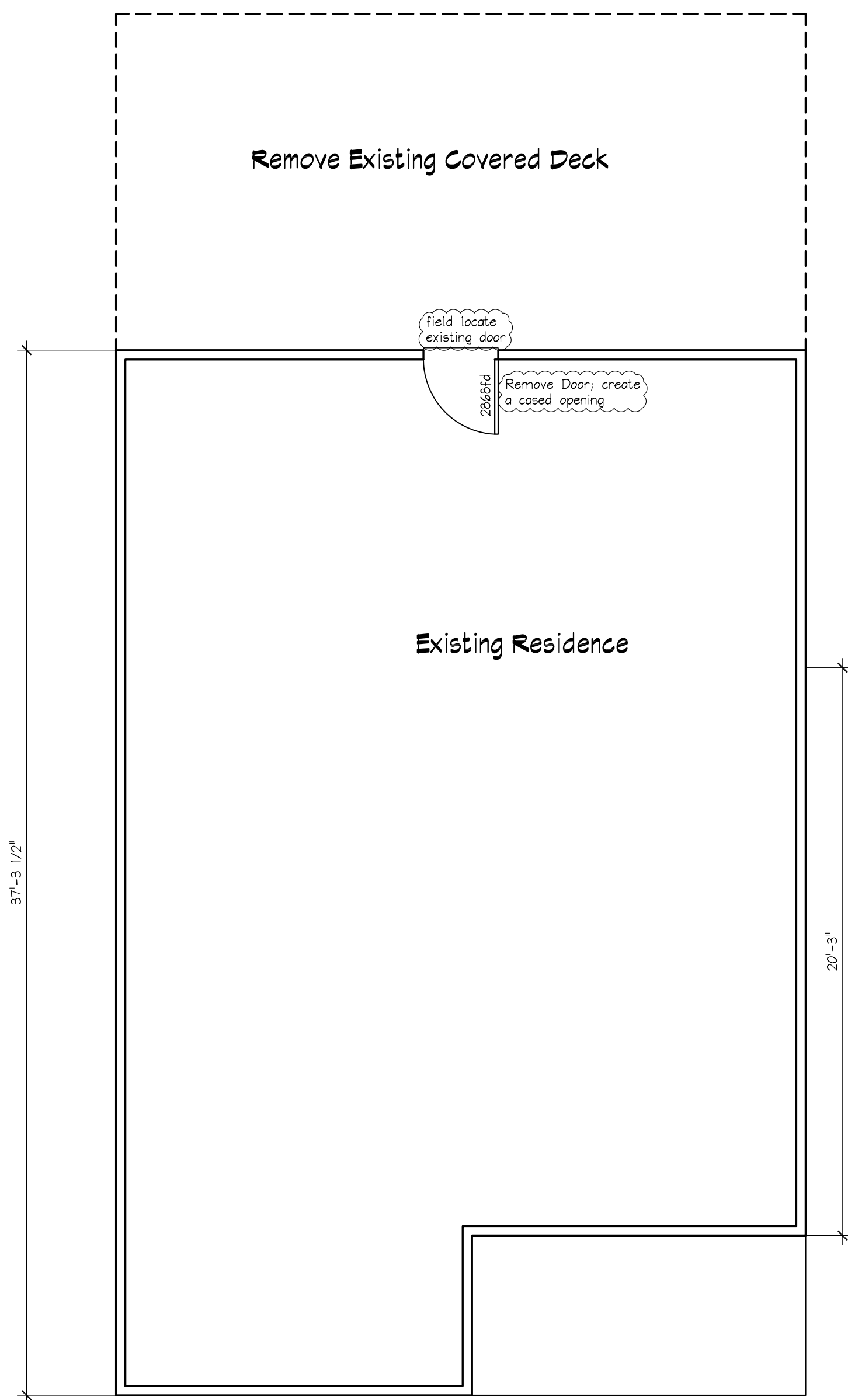
**J. Karlovich**  
Home Design  
(214) 674-0290 : Phone  
jkarlovichhomedesign.com

These plans are intended to provide the basis construction information necessary to substantially complete the structure. Like most home designers, this firm, J. Karlovich Home Design, is not being an architectural or engineering firm stands no liability for structural or architectural design integrity. Every effort has been made to ensure all dimensions are correct and governmental regulations have been met. If any error or omission does occur it is the sole responsibility of the contractor and/or the owner to correct the error and/or omission at his own expense and not the responsibility of J. Karlovich Home Design. These plans are intended to be a one-time use for this address ONLY.

Willow Creek Custom Homes  
469-338-0141

A Custom Addition for:  
**Jake Rashell & Nicole Smith**  
603 E Rusk Street  
Abstract No. 14  
B.F. Boydston Survey  
City of Rockwall, Rockwall County, Texas





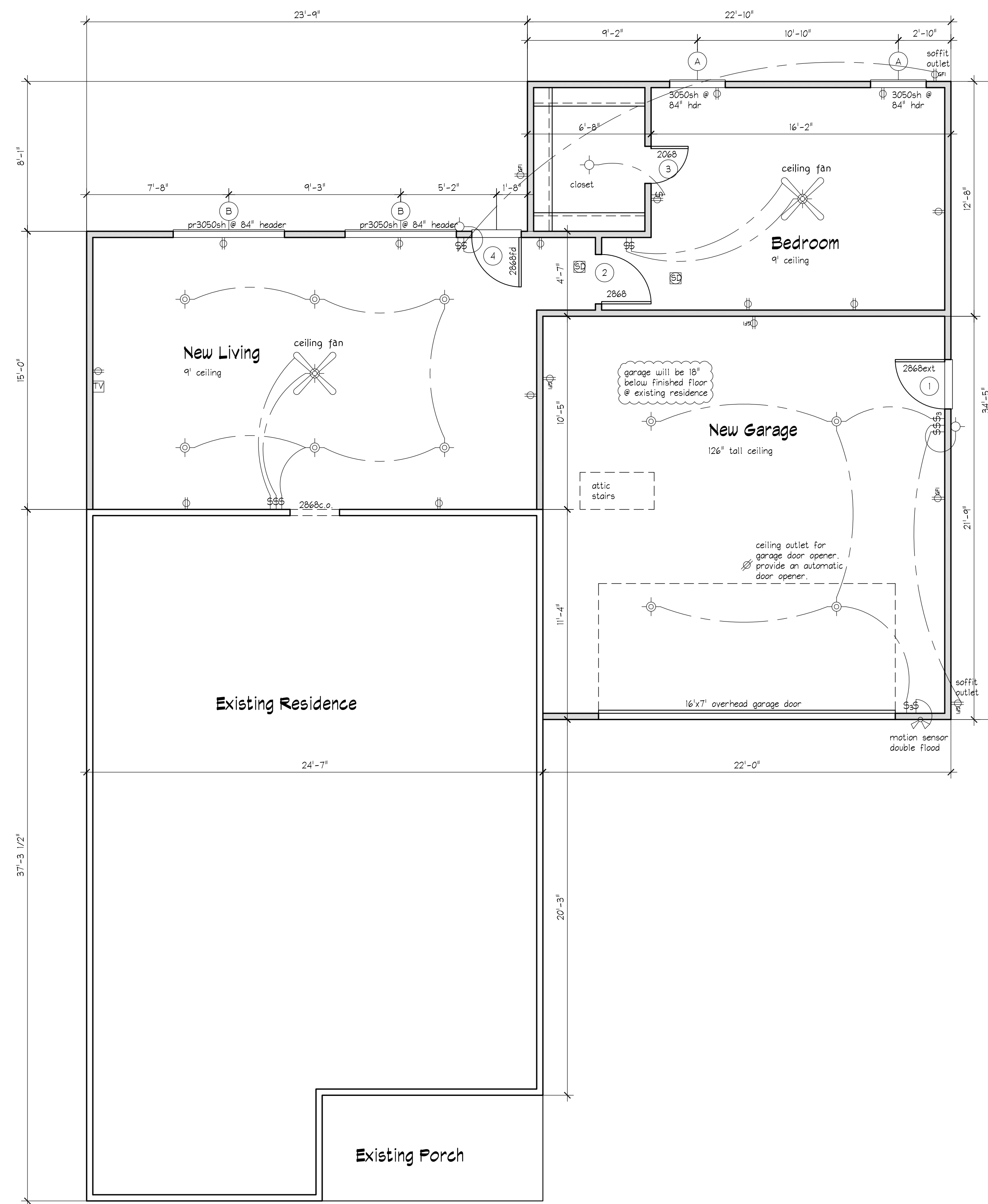
**EXISTING + DEMO PLAN**  
SCALE 1/4" = 1'-0"

**ELECTRICAL LEGEND**

- ◆ Surface/Ceiling Mount
- Recessed Eyeball Mount
- ⊕ Ground-up Landscape Flood
- ⊖ Wall Mounted
- ⊕ 6" LED Recessed Can Light
- ⊕ 6" Vapor Recessed Can Light
- ⊖ Single Fluorescent Strip
- ⊖ Double Flood w/ Motion Sensor (exterior)
- ⊖ LED Fluorescent Lighting
- ⊖ Exhaust Fan (minimum 90 cfm)
- ⊖ Ceiling Heater
- ⊖ Carbon Monoxide Detector
- ⊖ Sub Panel
- ⊖ Intercomm System
- ⊖ Telephone Jack
- ⊖ Bundled Cable (2 RG6 Coax, 2 CAT6, 2 Fiber)
- ⊖ Network (CAT6 Only)
- ⊖ Speaker (1/4" Speaker Wiring)
- ⊖ Smoke and Carbon Monoxide Detector
- ⊖ Duplex Outlet (125 volt)
- ⊖ Appliance Outlet (240 volt)
- ⊖ GFI Outlet (UL Approved)
- ⊖ Ceiling Outlet (125 volt)
- ⊖ Floor Outlet (pre-wire before pouring foundation)
- ⊖ Single Light Switch
- ⊖ Three Way Light Switch
- ⊖ Light Switch with Dimmer Control
- ⊖ Ceiling Fan (provide proper ceiling brace)
- ⊖ Electrical Breaker Box (refer to electrician for size)

**Notes:**

- All electrical work shall be done in accordance with National Electric Code, Latest Edition.
- Provide a J-Box below counter for dishwasher, ice machine, compactor and range.
- Provide waterproof covers on all exterior outlets and ground fault interrupter receptacles in all wet and exterior locations.
- All fixtures shall be UL Approved.
- Provide "button" at entry doors and door chimes.
- Verify water heater and HVAC electrical requirements prior to construction.
- Verify all outlet, switch, fixture, television and telephone locations with owner prior to construction.
- Provide light fixtures and outlets in attic as per owners instructions.
- Verify all light fixtures and plug type and location with owner prior to installation.
- Center all light fixtures in each room.



**FLOOR + ELECTRICAL PLAN**  
SCALE 1/4" = 1'-0"

**Doors Schedule:**

ID#	Size	Description	Quantity
1	2868	Exterior as Selected	1
2	2868	Interior as Selected	1
3	2068	Interior as Selected	1
4	2868	Exterior 1-Lite Glass Door	1

**Windows Schedule:**

ID#	Size	Description	Quantity
A	3050	Single Hung	2
B	Pair 3050	Single Hung	3

\*\*All windows in wet areas, in stairwell, and/or closer than 24" to a door to have tempered glass.\*\*

**Areas:**

Existing HVAC Area	850 sq. ft.
New HVAC Area	651 sq. ft.
Total HVAC Area	1,501 sq. ft.
Garage	491 sq. ft.
Existing Porch	68 sq. ft.
New Slab	1,142 sq. ft.
New Total Under Roof	2,060 sq. ft.

REVISIONS:  
11/02/2023

**J. Karlovich**  
Home Design

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City of Rockwall, Rockwall County, Texas

11/2/2023 9:03:56 PM, ARCH D, For Construction Use





226-JLC

MURANO  
BR2-N651  
SL AWD





NOV 11 2004

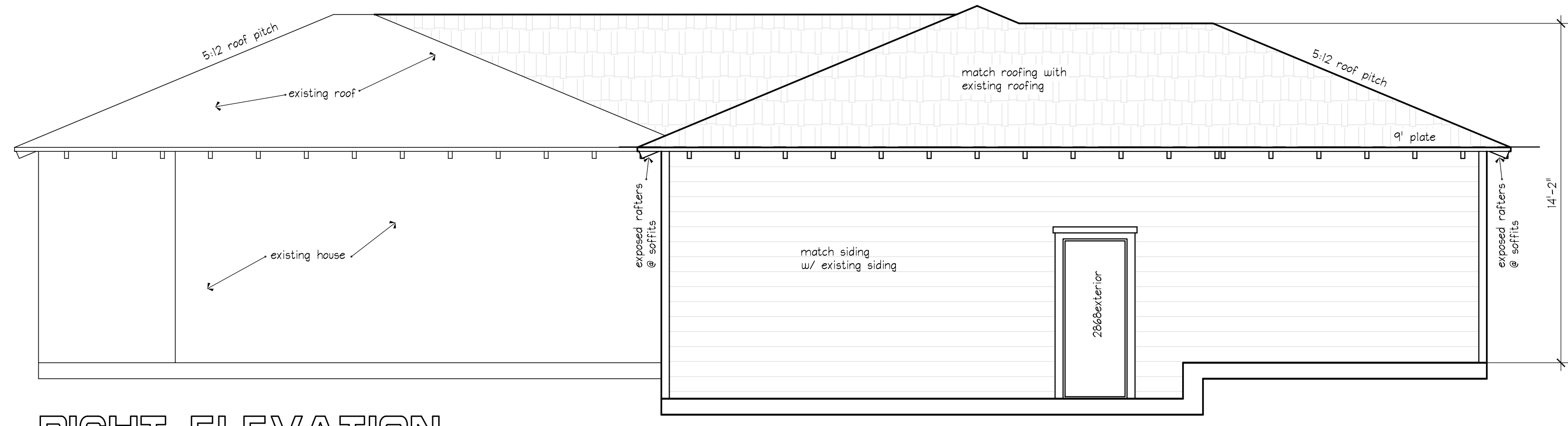




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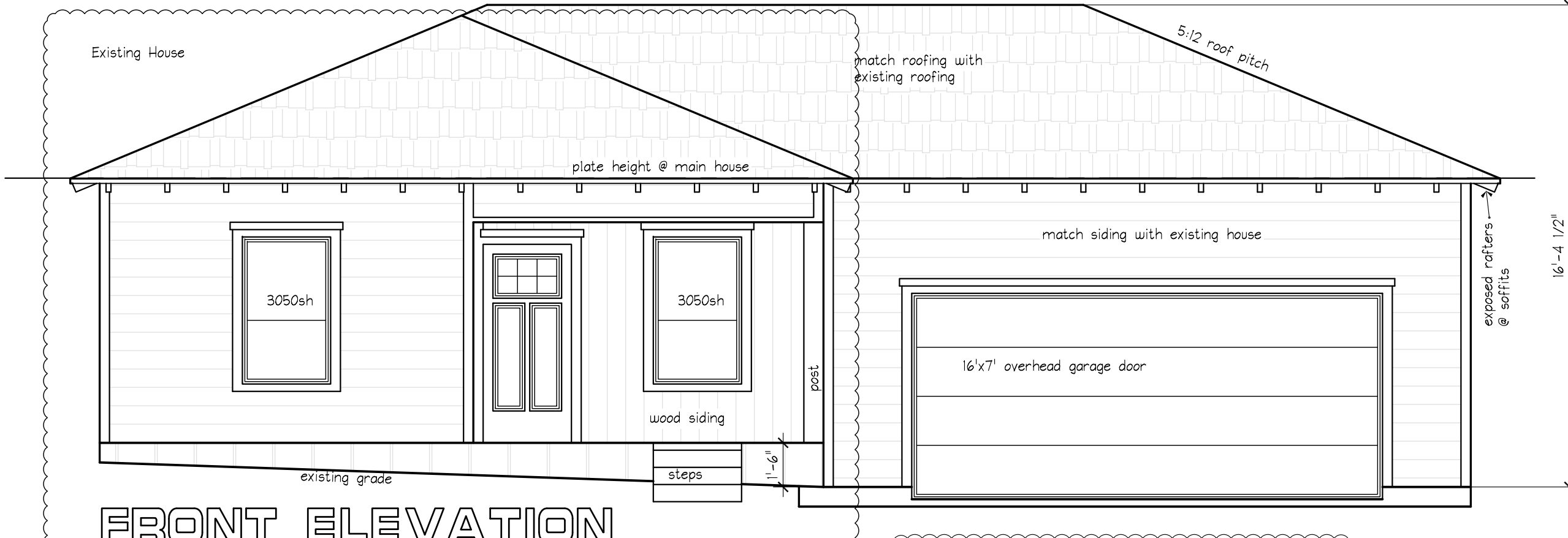
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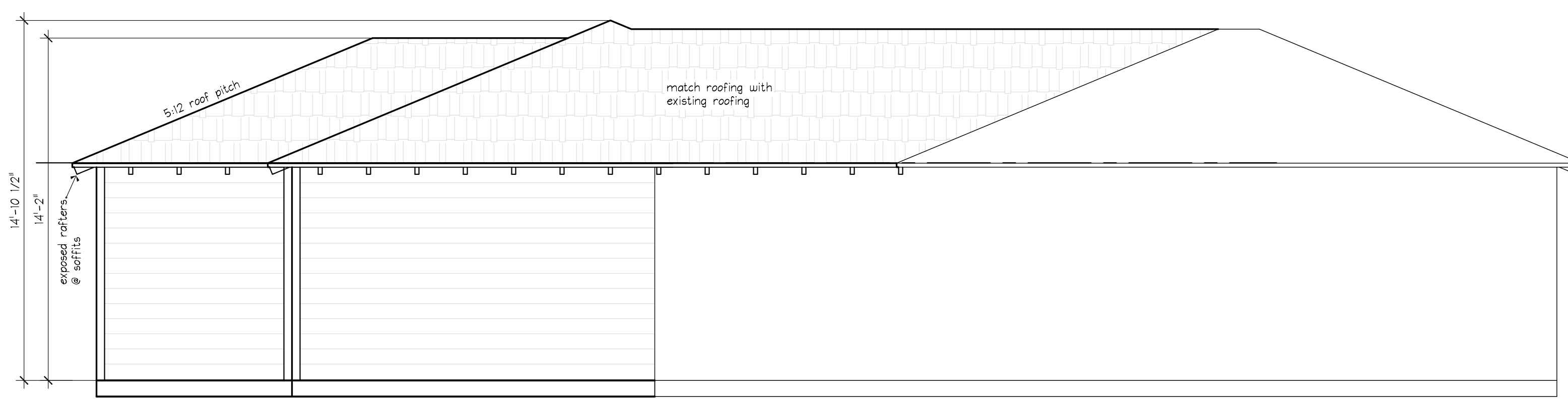
RIGHT ELEVATION

SCALE 1/4" = 1'-0"



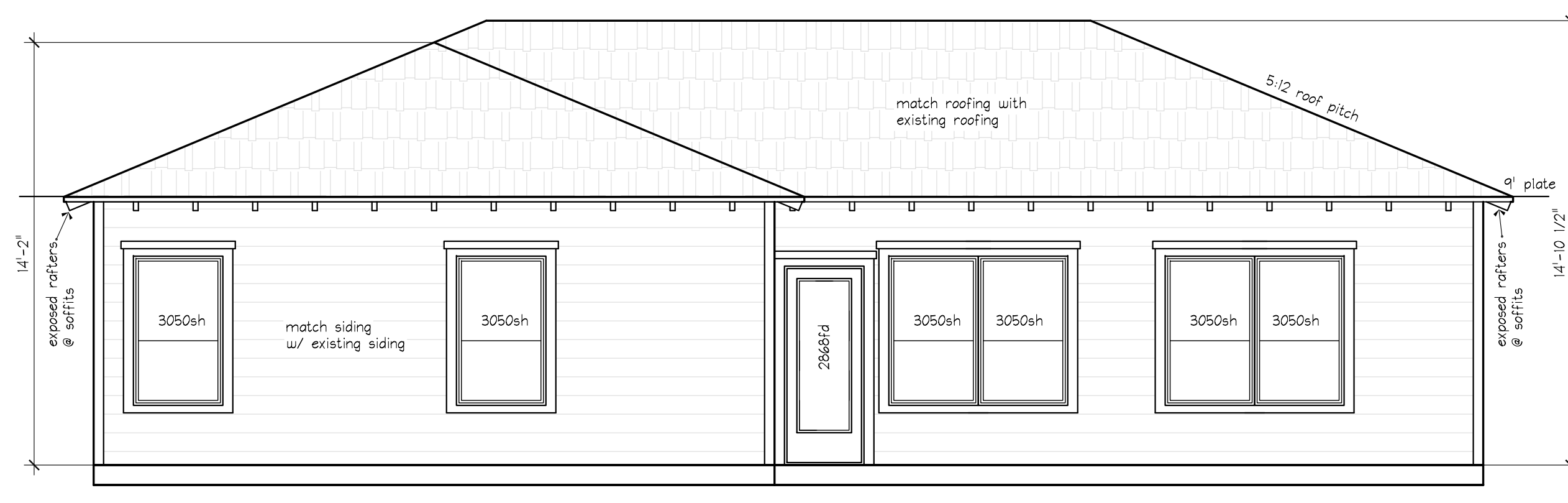
FRONT ELEVATION

SCALE 1/4" = 1'-0"



LEFT ELEVATION

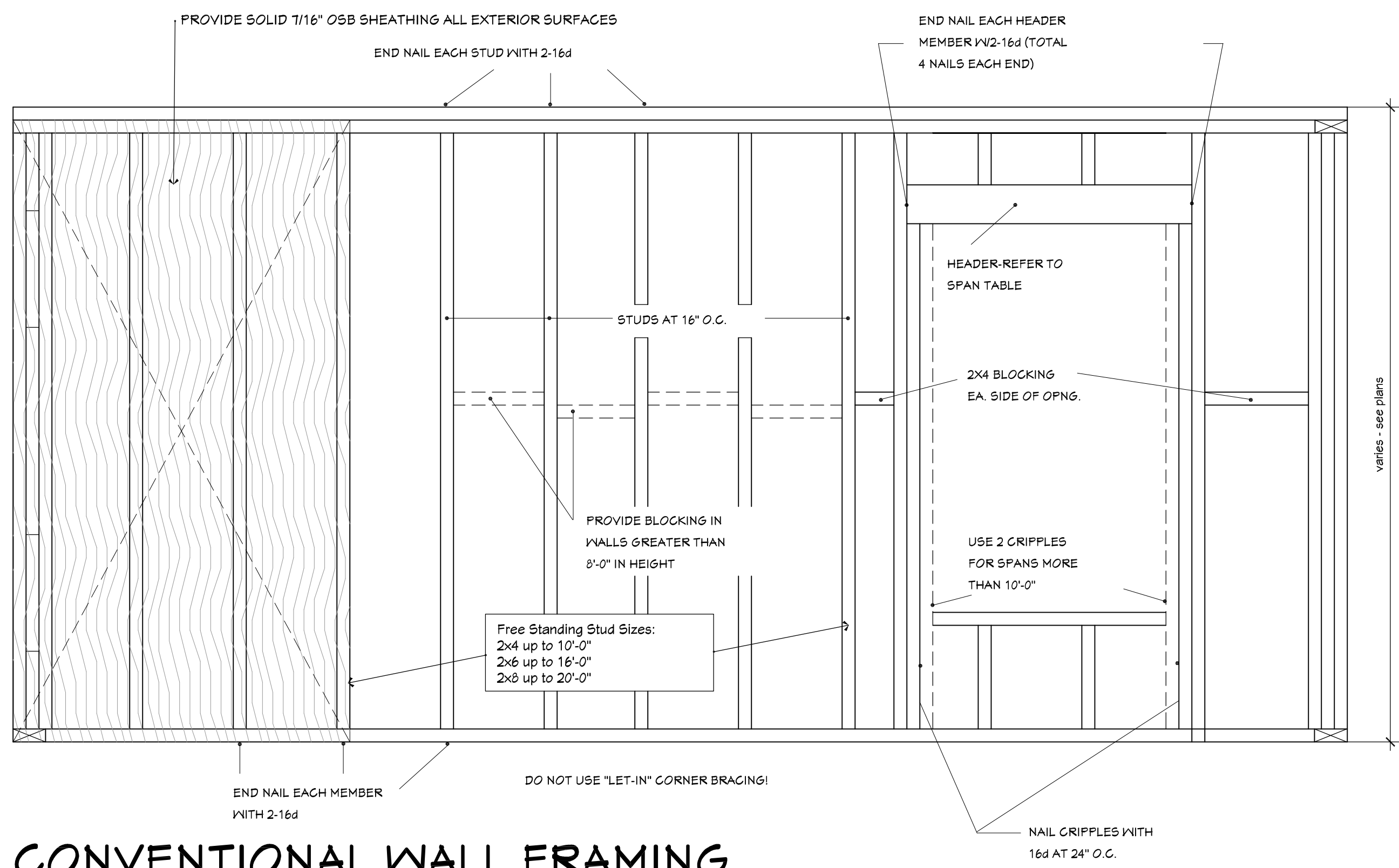
SCALE 1/4" = 1'-0"



REAR ELEVATION

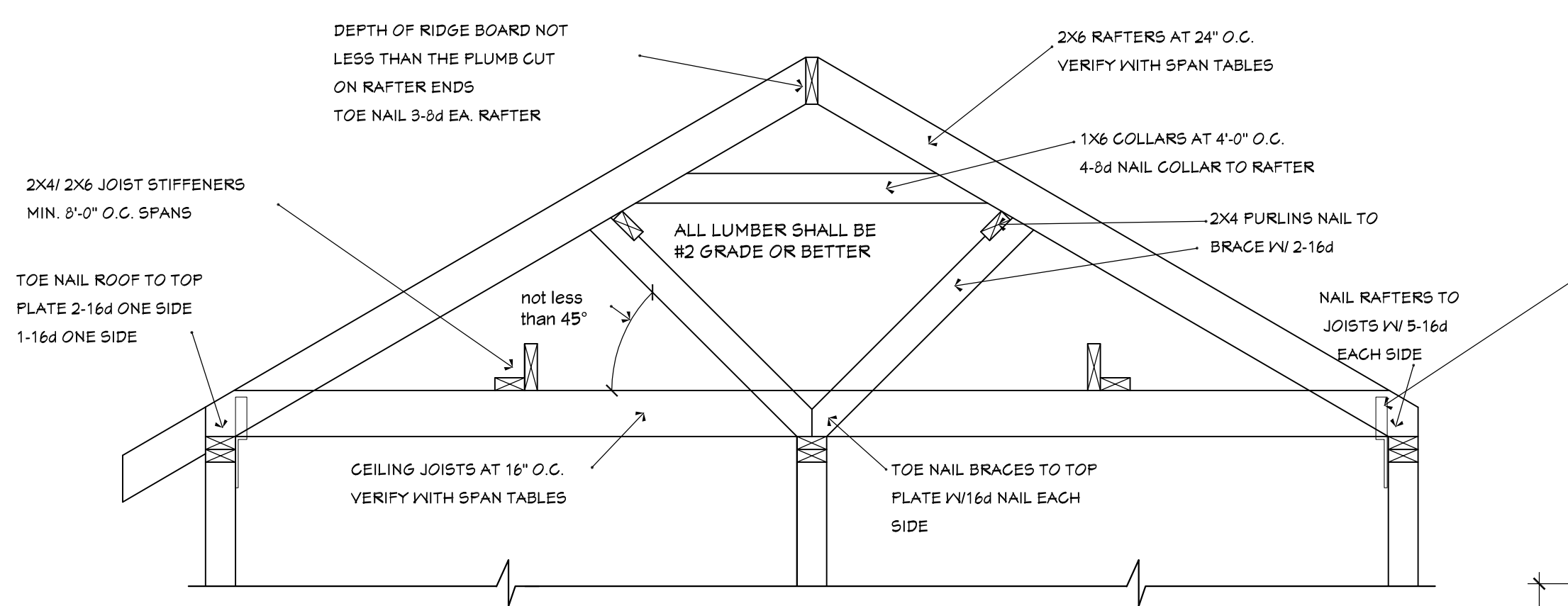
SCALE 1/4" = 1'-0"





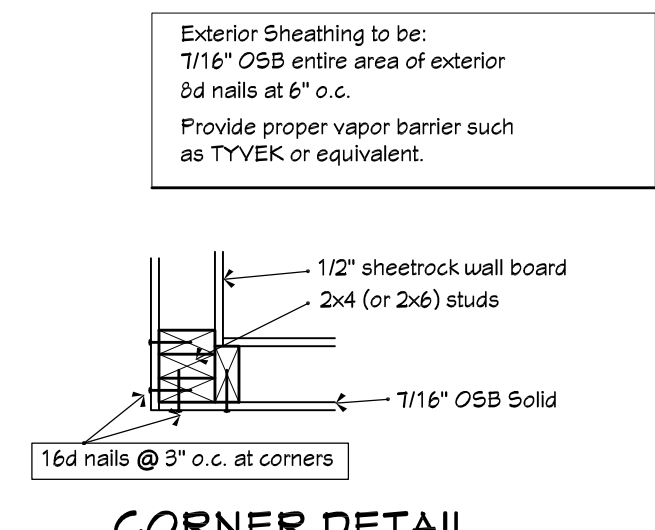
### CONVENTIONAL WALL FRAMING

SCALE: 3/4" = 1'-0"

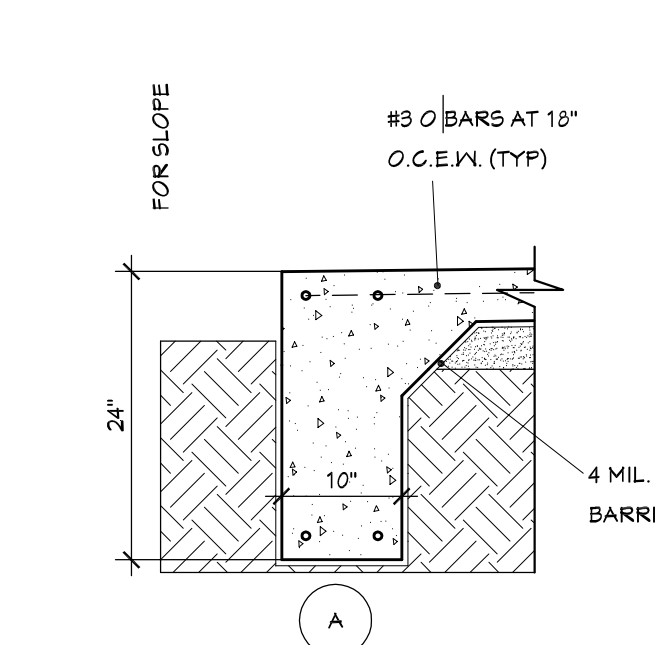


### CONVENTIONAL ROOF BRACING

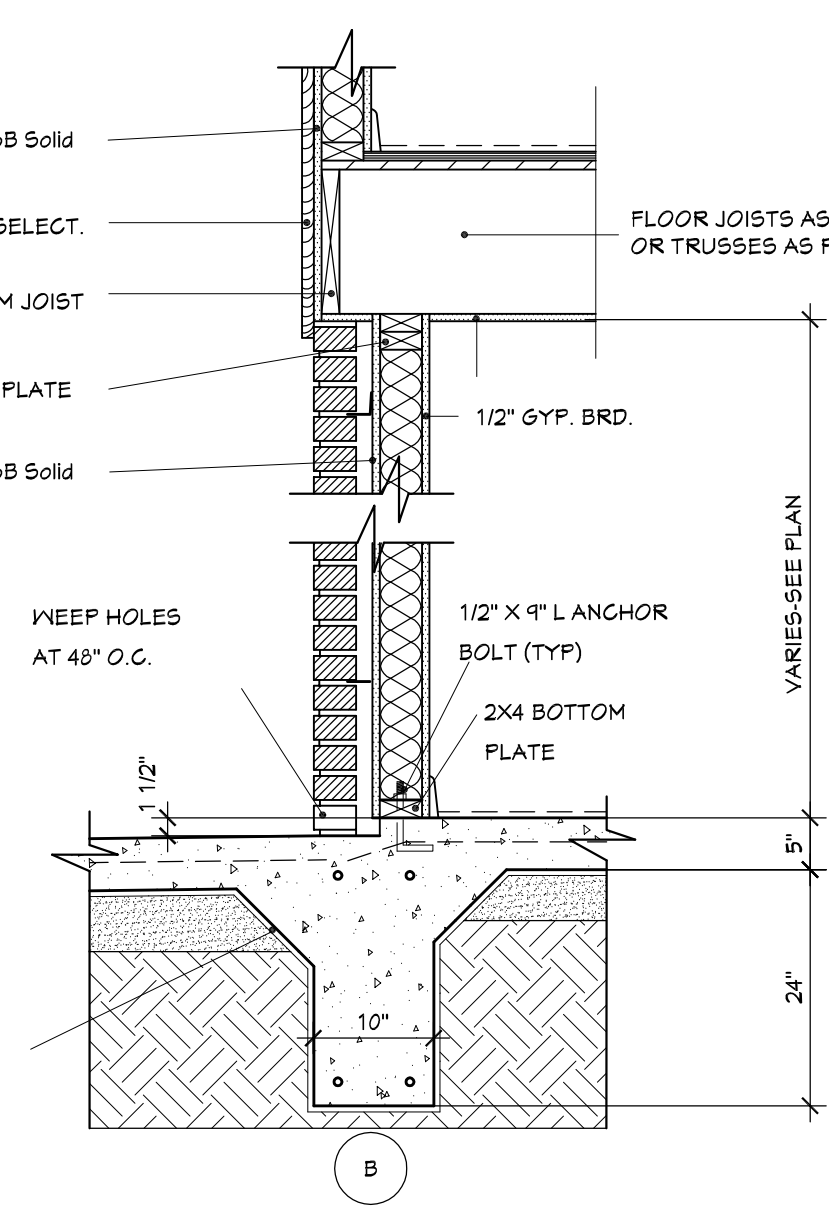
SCALE: N.T.S.



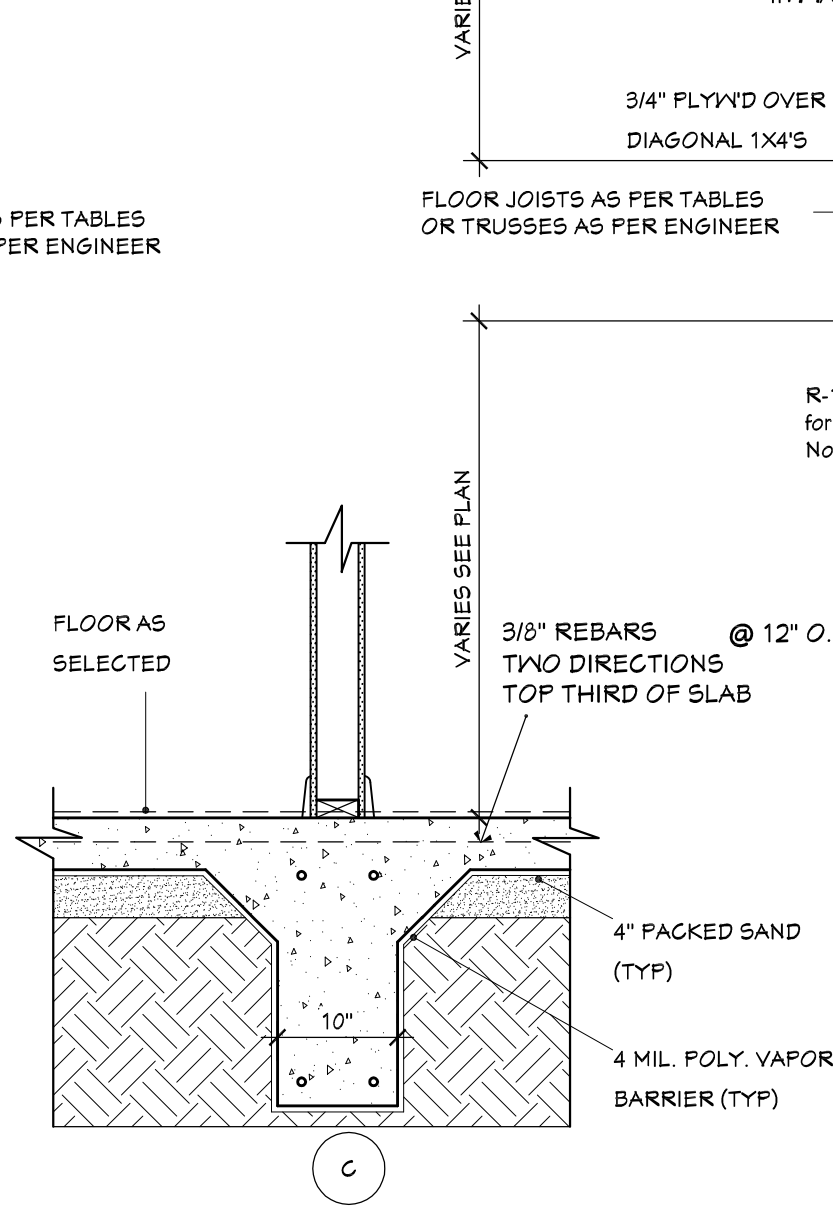
### CORNER DETAIL



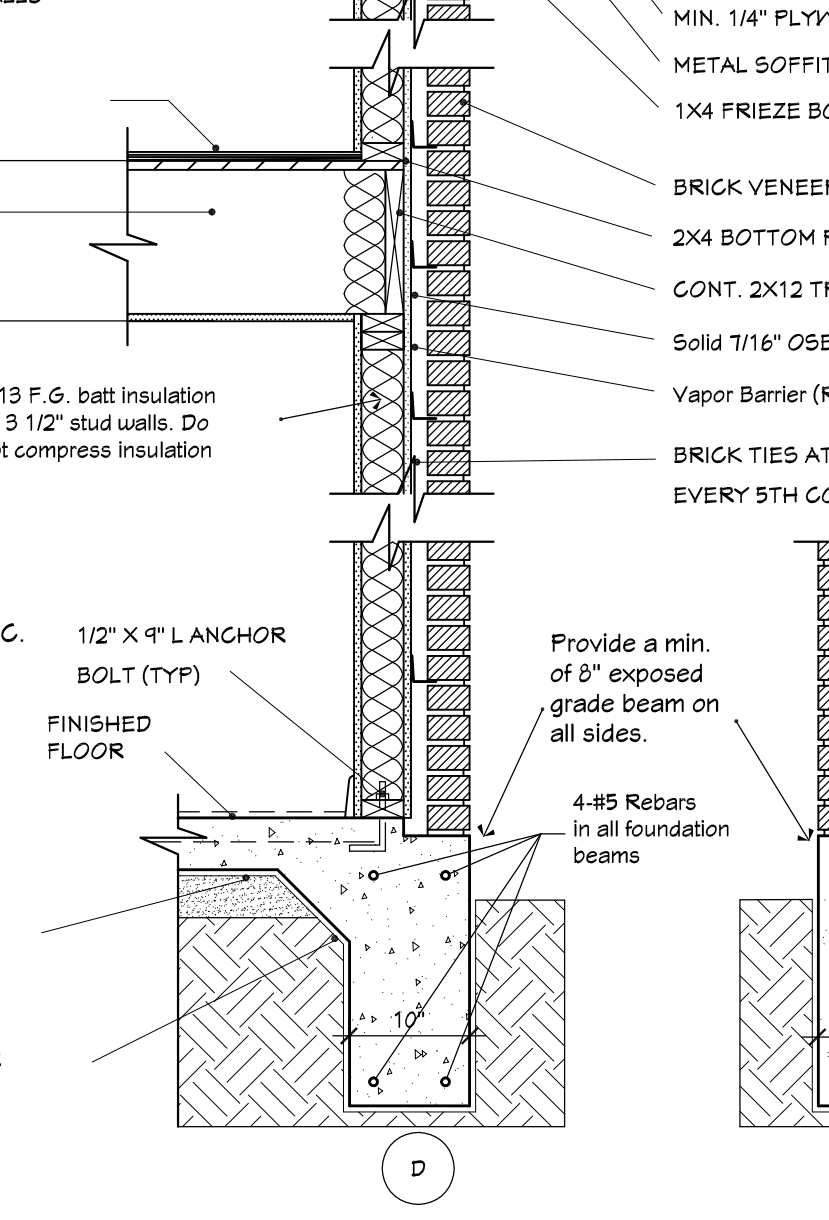
### PORCH



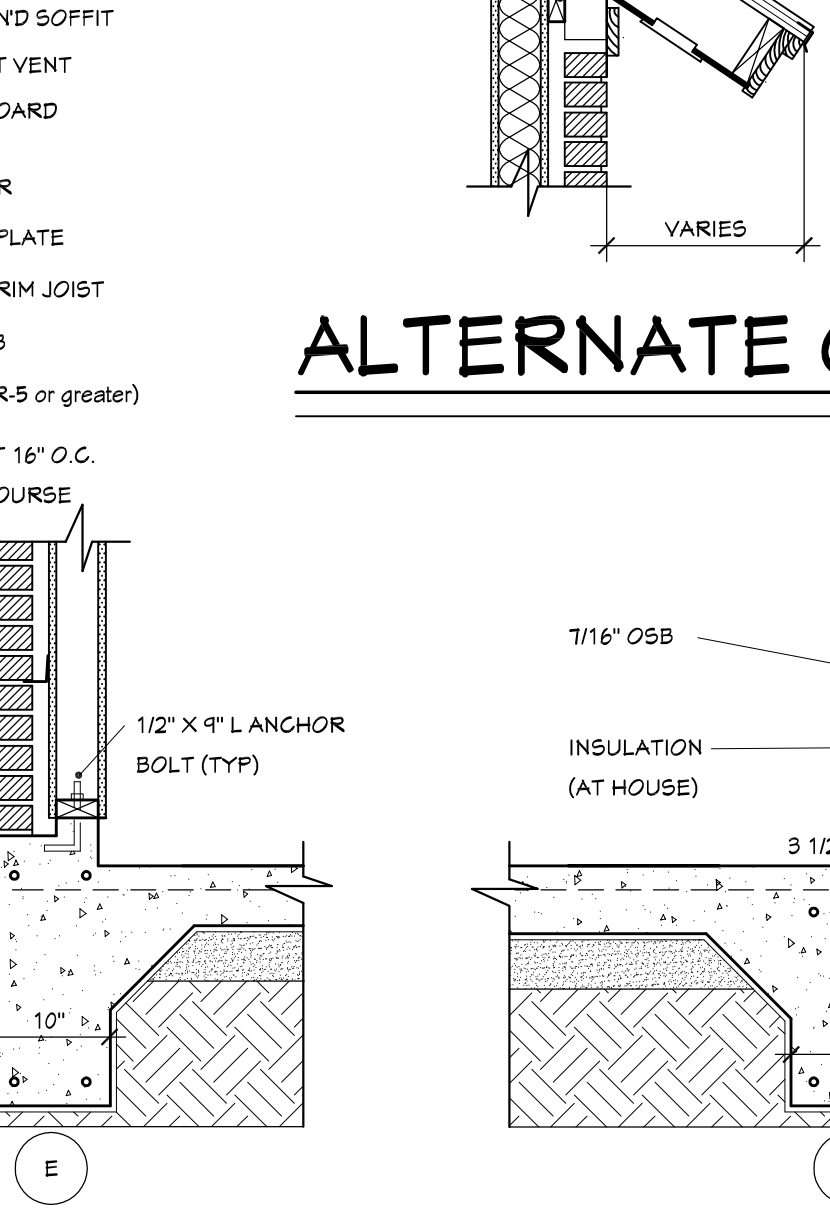
### PERIMETER WALL AT PORCH



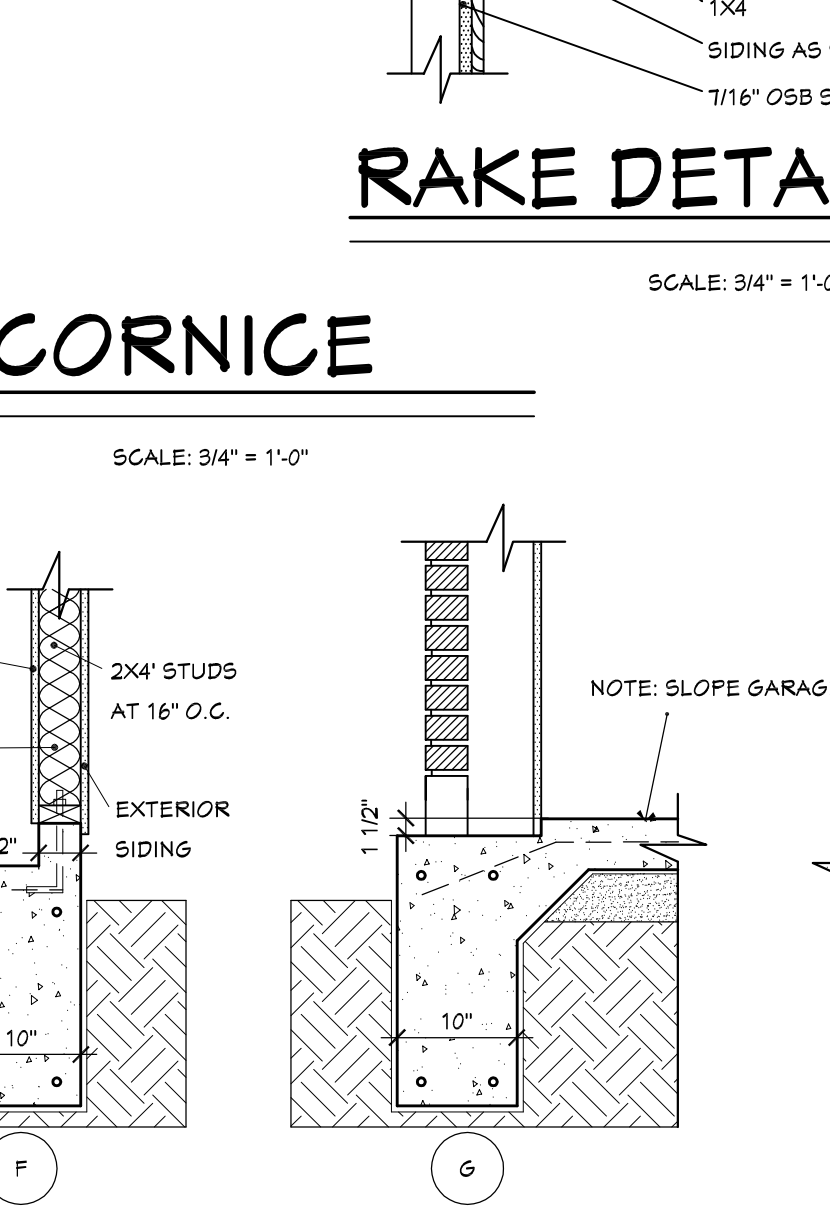
### TYPICAL INTERIOR



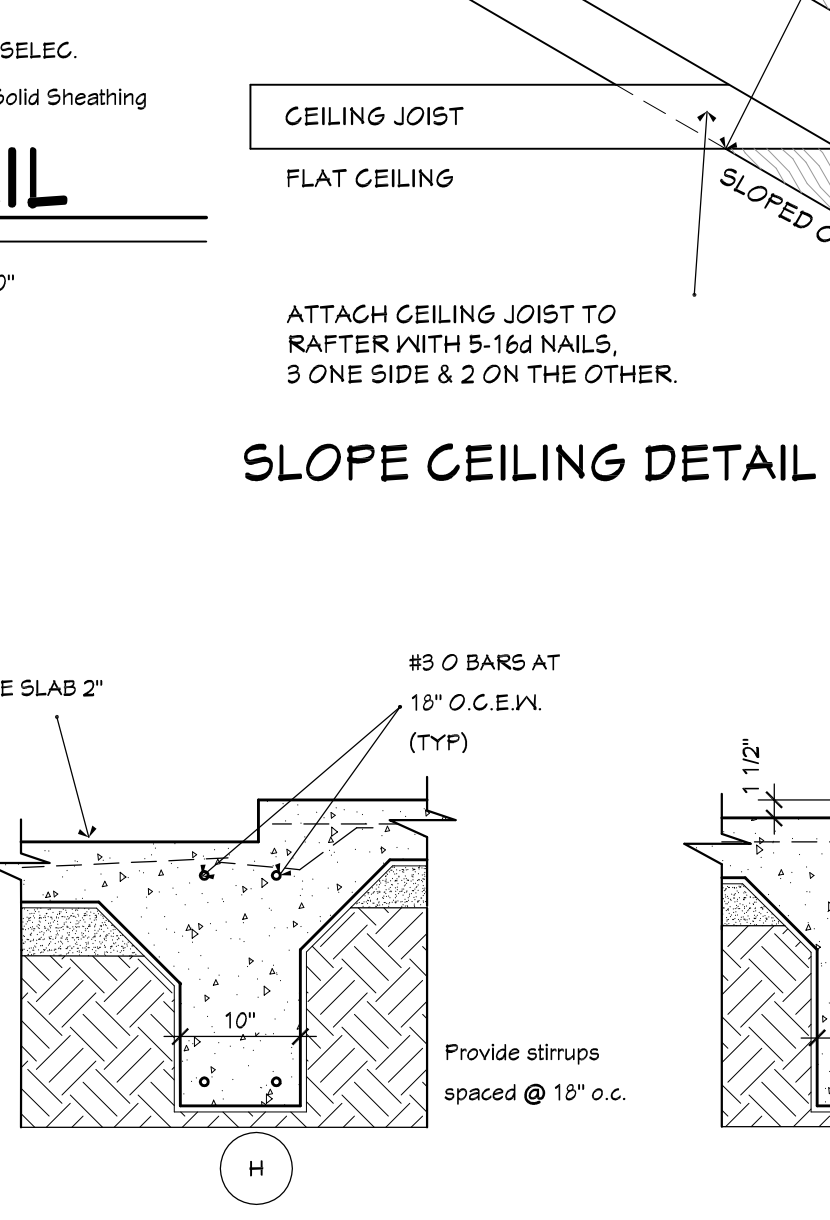
### PERIMETER WITH BRICK LEDGE



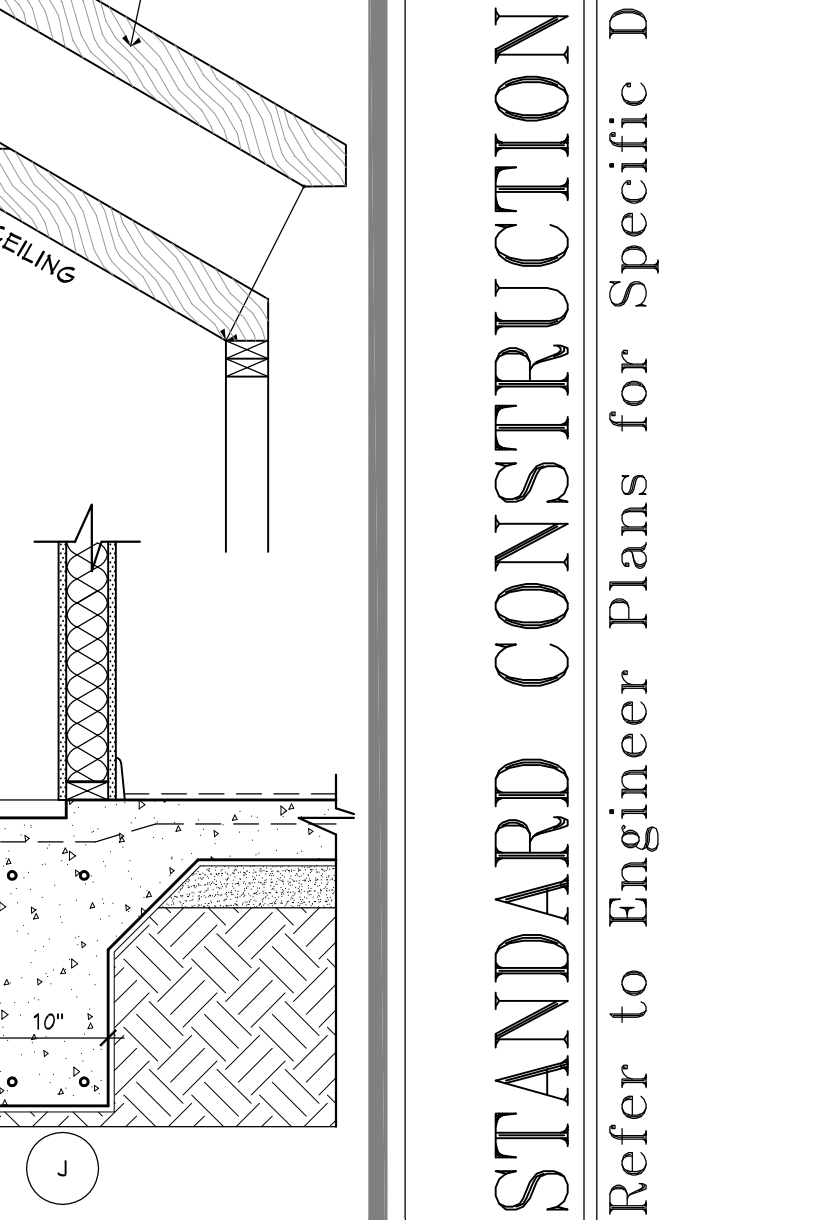
### PERIMETER GARAGE WITH BRICK LEDGE



### PERIMETER GARAGE (FRAME WALL)



### PERIMETER AT GARAGE DOOR

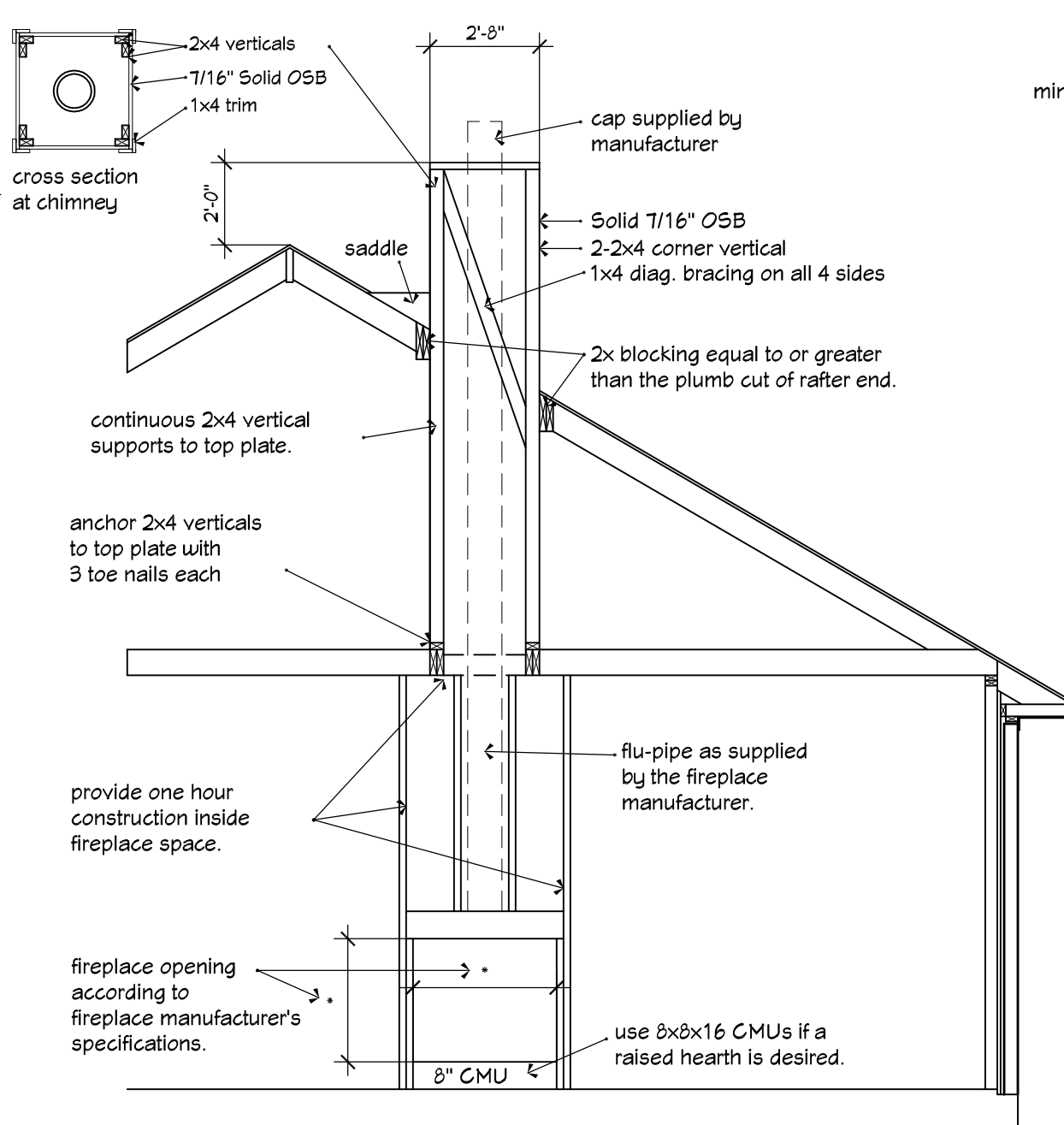


### TIRE BUMP AT GARAGE

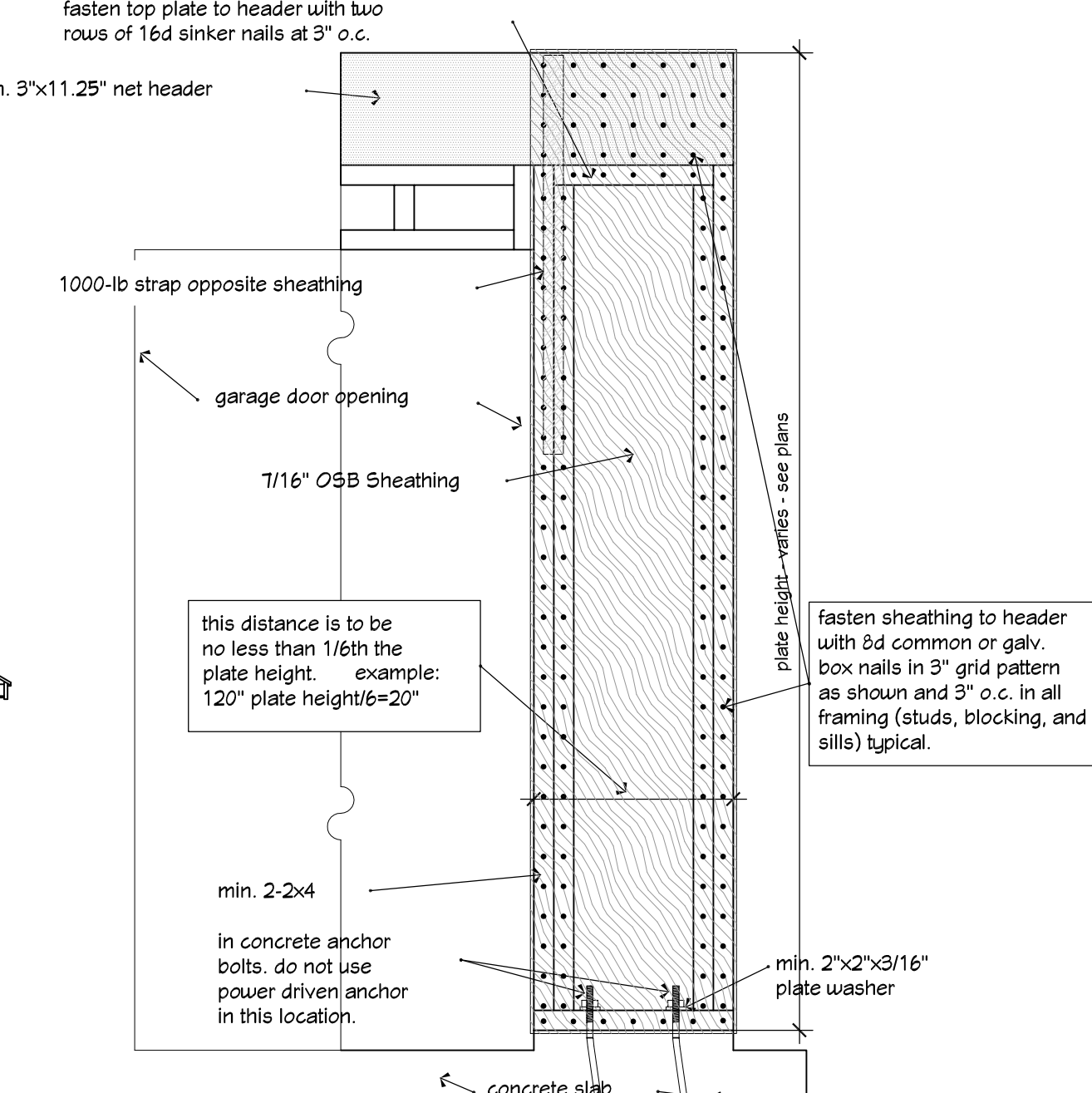
### HOUSE MARGIN

## FOUNDATION DETAILS

SCALE: 3/4" = 1'-0"  
REFER TO ENGINEER'S PLANS AND DETAILS WHEN A POST TENSIONED, BASEMENT OR CRAWL SPACE FOUNDATION IS SPECIFIED.



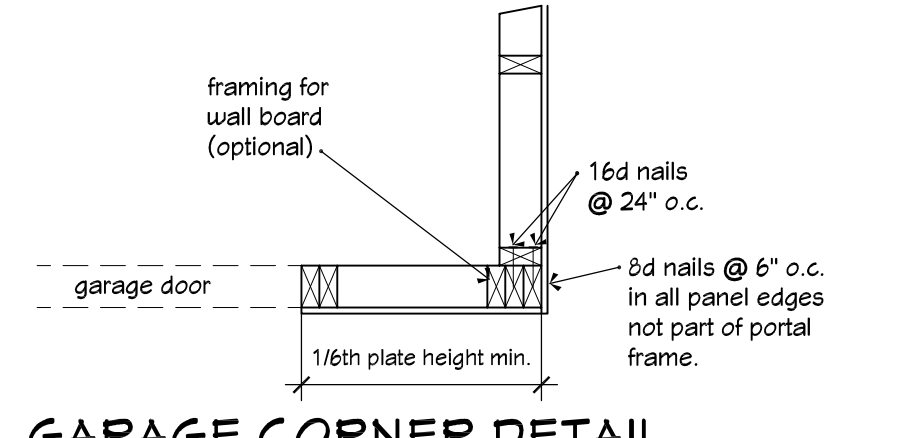
### WOOD CHIMNEY DETAIL



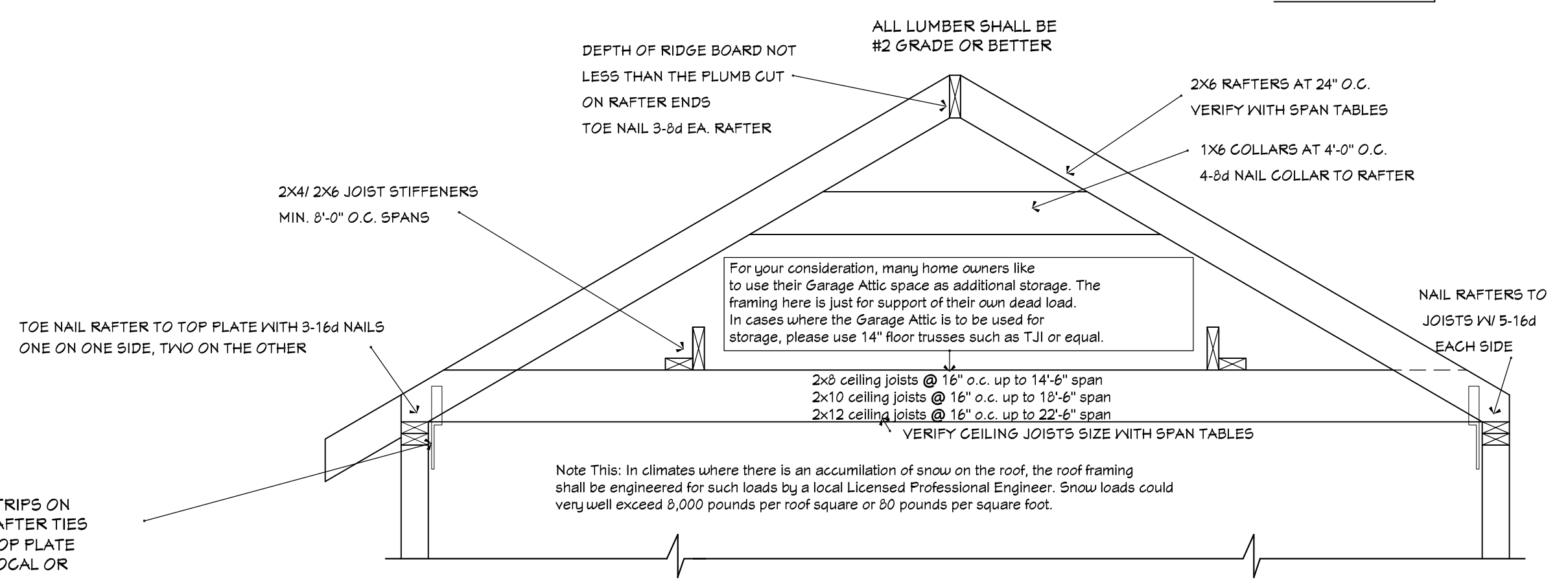
### GARAGE CORNER DETAIL

**GENERAL FOUNDATION NOTES:**

- 1) These foundation notes and details are not applicable when a post tensioned slab is specified. Please refer to the Engineer's notes and details.
- 2) These notes and details were taken from the Dallas, Texas area office of the U.S. Department of Housing and Urban Development, Type "C" Foundation.
- 3) Provide a min. of 4" sand fill except in areas with a high water table. Where a high water table occurs use gravel, crushed stone or comparable material.
- 4) All beams shall penetrate a minimum of 6" into undisturbed soils.
- 5) No dead end beams shall be allowed.
- 6) All beams and slab reinforcement to extend within 1-1/2" of exterior forms.
- 7) All concrete shall have a 28 day ultimate compressive strength of 3,000 p.s.i.
- 8) Slab reinforcing shall be tied and supported every 48" or less.
- 9) Lap all bar reinforcing 40 diameters. That's 15" with 3/8" rebars.
- 10) This foundation detail sheet is provided for your convenience. Use at your own risk. It is advised that a qualified licensed Professional Engineer review this foundation design and the soil report to assure this foundation design is correct for the soils it is to be built on.

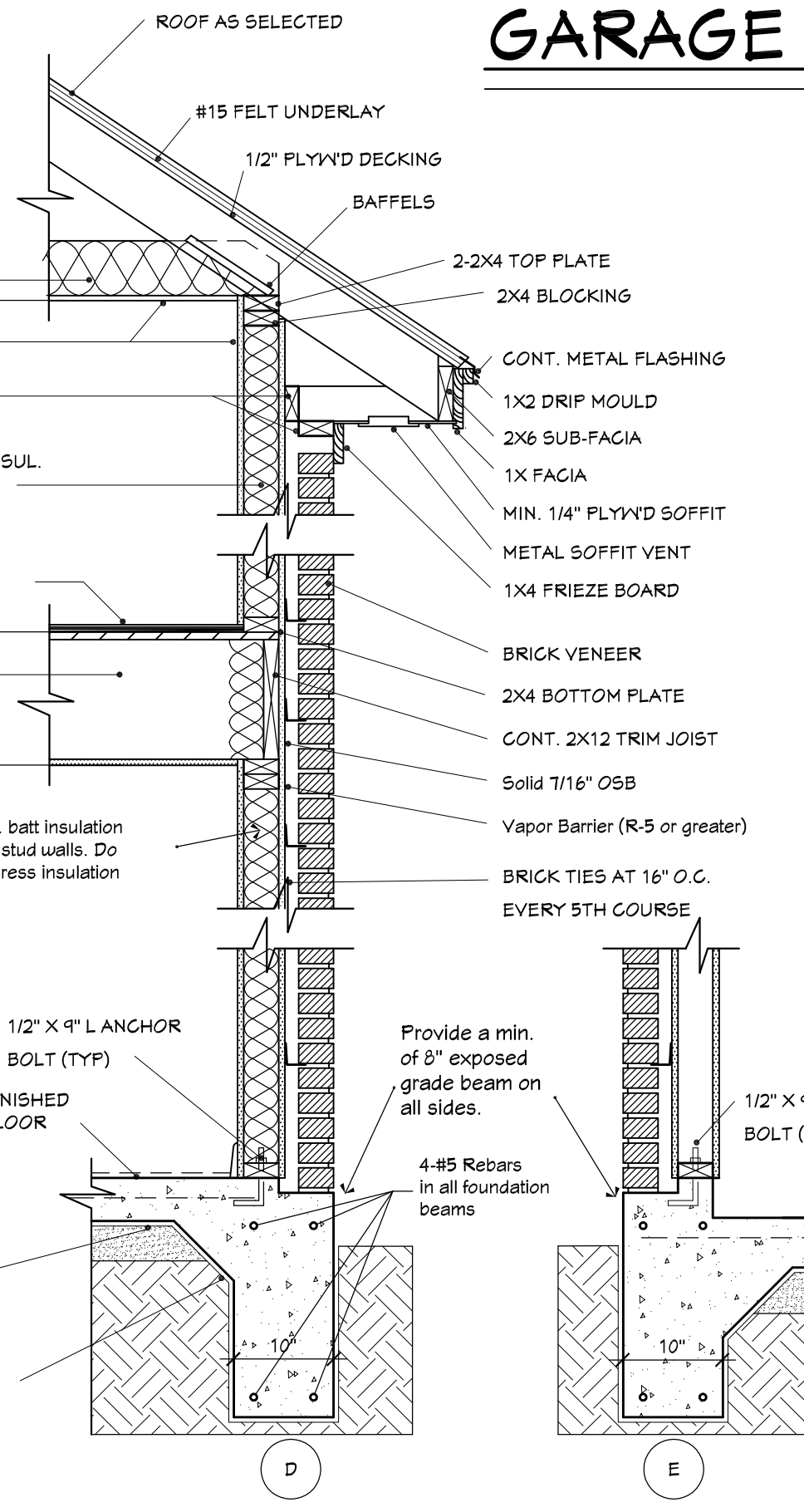


### GARAGE CORNER DETAIL

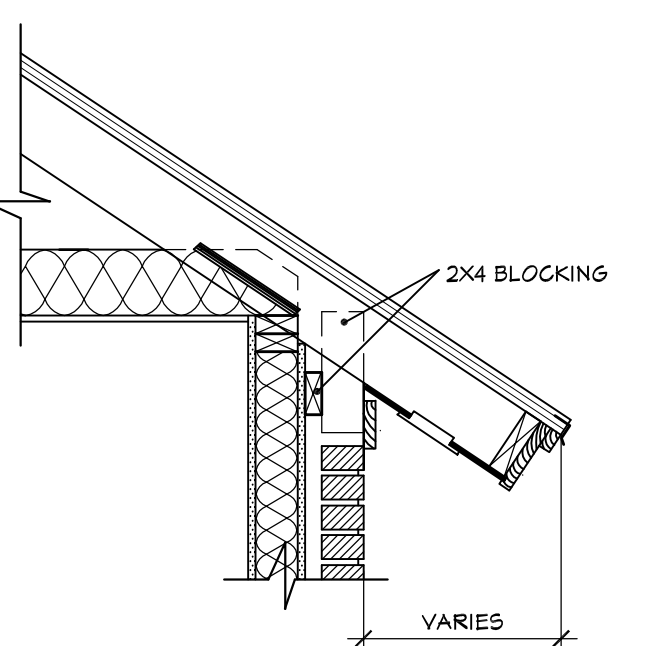


### GARAGE ROOF BRACING

Note: In climates where there is an accumulation of snow on the roof, the roof framing shall be engineered for such loads by a local Licensed Professional Engineer. Snow loads could vary well exceed 5,000 pounds per roof square or 20 pounds per square foot.

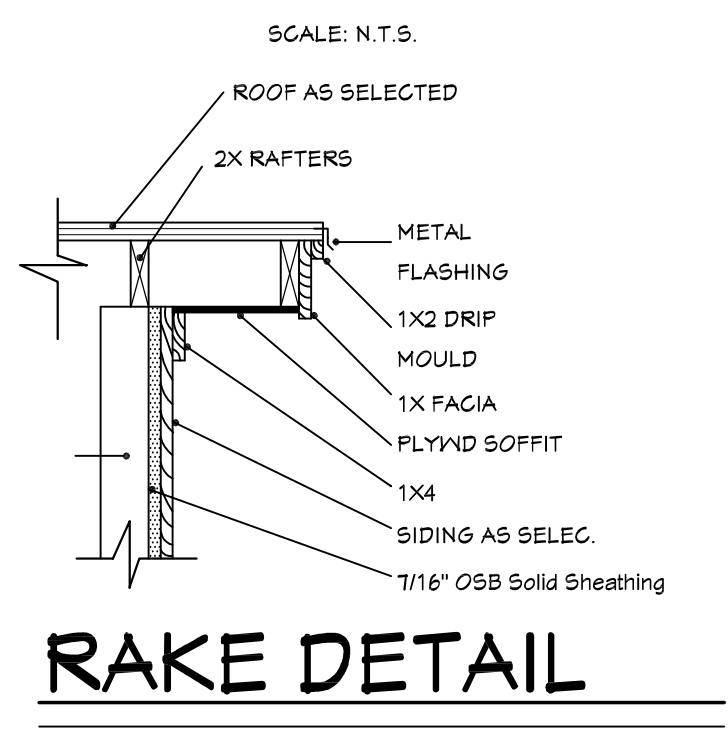


### RAKE DETAIL

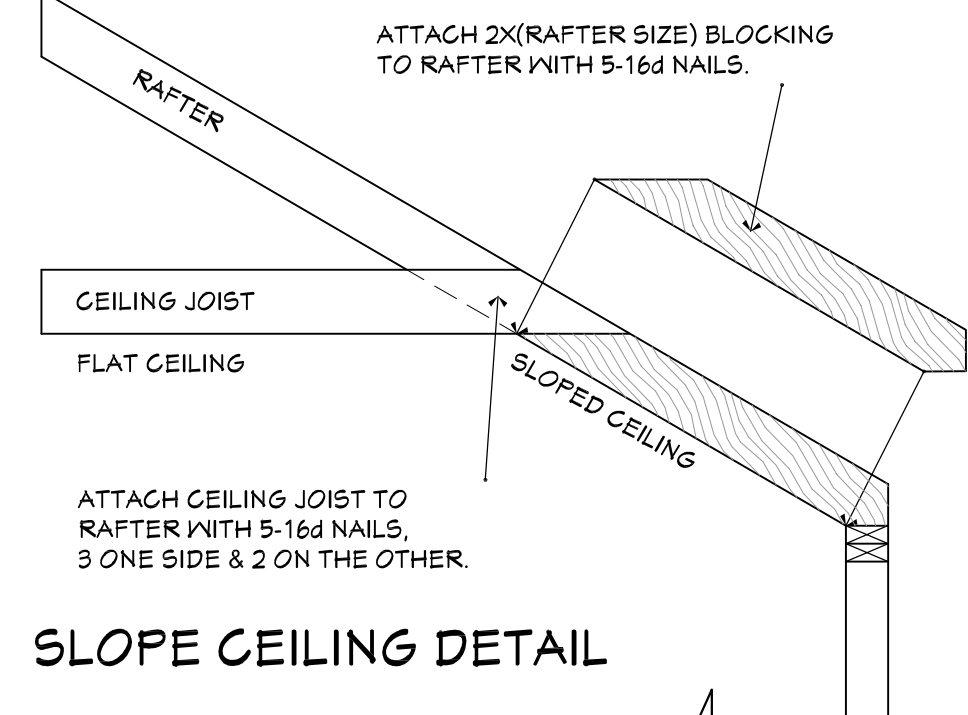


### ALTERNATE CORNICE

SCALE: 3/4" = 1'-0"



### SLOPE CEILING DETAIL



### STANDARD PLUMBING RISER DIAGRAM

REVISIONS:

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**J. Karlovich**  
Home Design

(214) 674-0290 : Phone  
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**STANDARD CONSTRUCTION DETAILS**  
Refer to Engineer Plans for Specific Details

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SHEET NO.  
DETAILS





November 28, 2023

TO: Jake and Nicole Rashell  
603 E. Rusk Street  
Rockwall, TX 75087

FROM: Angelica Guevara  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: H2023-021; *Building Permit Fee Waiver for 603 E. Rusk Street*

Mr. and Mrs. Rashell:

This letter serves to notify you that the above referenced case, that you submitted for consideration by the City of Rockwall, was approved by the Historic Preservation Advisory Board (HPAB) on November 16, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

Staff made the following recommendations concerning the applicant's request:

- (1) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Historic Preservation Advisory Board

On November 16, 2023, the Historic Board approved a motion to approve the Building Permit Fee Waiver of \$487.20 by a vote of 4-1, with Chairman Miller dissenting and Board Members Freed and Lewis absent.

Should you have any questions or concerns regarding your case, please feel free to contact me a (972) 771-6438.

Sincerely,

A handwritten signature in blue ink, appearing to read 'AG', is placed below the word 'Sincerely,'.

Angelica Guevara, *Planning Technician*  
City of Rockwall Planning and Zoning Department