



CASE COVER SHEET

City of Rockwall
Planning and Zoning
Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

HISTORIC PRESERVATION ADVISORY BOARD APPLICATIONS

CERTIFICATE OF APPROPRIATENESS (COA)
BUILDING PERMIT FEE WAIVER
SMALL MATCHING GRANT (SMG)

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

HISTORIC PRESERVATION ADVISORY BOARD

CONDITIONS OF APPROVAL

NOTES



HISTORIC PRESERVATION ADVISORY BOARD APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

CASE NUMBER: _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR HAS SIGNED BELOW.

DIRECTOR OF PLANNING: _____

DATE RECEIVED: _____

RECEIVED BY: _____

APPLICATION:

- CERTIFICATE OF APPROPRIATENESS (COA)
- LOCAL LANDMARK EVALUATION & DESIGNATION
- BUILDING PERMIT WAIVER & REDUCTION PROGRAM
- SMALL MATCHING GRANT APPLICATION

SPECIAL DISTRICTS [SELECT APPLICABLE]:

- OLD TOWN ROCKWALL HISTORIC (OTR) DISTRICT
- PLANNED DEVELOPMENT DISTRICT 50 (PD-50)
- SOUTHSIDE RESIDENTIAL NEIGHBORHOOD OVERLAY (SRO) DISTRICT
- DOWNTOWN (DT) DISTRICT

CONTRIBUTING STATUS [SELECT APPLICABLE]:

- LANDMARKED PROPERTY
- HIGH CONTRIBUTING PROPERTY
- MEDIUM CONTRIBUTING PROPERTY
- LOW CONTRIBUTING PROPERTY
- NON-CONTRIBUTING PROPERTY

CURRENT LAND USE OF THE SUBJECT PROPERTY:

- RESIDENTIAL
- COMMERCIAL

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 603 EAST RUSK ST ROCKWALL TX 75087

SUBDIVISION _____

LOT _____

BLOCK _____

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

IS THE OWNER OF THE PROPERTY THE PRIMARY CONTACT? YES NO

APPLICANT(S) IS/ARE: OWNER TENANT NON-PROFIT RESIDENT

CHECK THIS BOX IF OWNER AND APPLICANT ARE THE SAME.

OTHER, SPECIFY: _____

OWNER(S) NAME JAKE RASHELL / NICOLE SMITH

APPLICANT(S) NAME MICHAEL CHEATHAM

ADDRESS 603 EAST RUSK ST ROCKWALL

ADDRESS 1821 TRAIL DR ROCKWALL TX

PHONE 972-750-8802 / 208-791-9225

PHONE 469-734-6055

E-MAIL JAVERASHELL@GMAIL.COM
SMITHNCL01@GMAIL.COM

E-MAIL OFFICE@WILLOWCREEKCUSTOMHOMES.COM

SCOPE OF WORK/REASON FOR EVALUATION REQUEST [PLEASE PRINT]

CONSTRUCTION TYPE [CHECK ONE]:

EXTERIOR ALTERATION

NEW CONSTRUCTION

ADDITION

DEMOLITION

RELOCATIONS

OTHER, SPECIFY: _____

ESTIMATED COST OF CONSTRUCTION/DEMOLITION OF THE PROJECT (IF APPLICABLE):

\$ 120,000

PROJECT DESCRIPTION. IN THE SPACE PROVIDED BELOW OR ON A SEPARATE SHEET OF PAPER, DESCRIBE IN DETAIL THE WORK THAT WILL BE PERFORMED ON SITE. FOR LOCAL LANDMARK EVALUATION & DESIGNATION REQUESTS INDICATE ANY ADDITIONAL INFORMATION YOU MAY HAVE CONCERNING THE PROPERTY, HISTORY, SIGNIFICANCE, PRESENT CONDITIONS, STATUS, CURRENT OR PAST USE(S), ETC. STAFF RECOMMENDS THAT PHOTOGRAPHS OF THE INTERIOR AND EXTERIOR OF THE PROPERTY ARE SUBMITTED WITH THIS APPLICATION.

ADDING ROUGHLY 615 SF OF AIR CONDITIONED SPACE TO BACK OF HOME. 375 SF TO BE LIVING ROOM & 240 SF TO BE BEDROOM & CLOSET. ADDING A 400 SF 2 CAR GARAGE TO RIGHT SIDE OF HOME. ALL NEW EXTERIOR FACADE TO MATCH EXISTING EXCEPT POSSIBLY USING A HARDY SIDING ON BACK NOT EXPOSED TO STREET IF ALLOWED.

OWNER & APPLICANT STATEMENT [ORIGINAL SIGNATURES REQUIRED]

I ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND THAT ALL INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. FURTHERMORE, I UNDERSTAND THAT IT IS NECESSARY FOR ME OR A REPRESENTATIVE TO BE PRESENT AT A PUBLIC HEARING FOR THIS CASE TO BE APPROVED.

OWNER'S SIGNATURE _____

APPLICANT'S SIGNATURE [Signature]



TRACT 2
BILLY QUINTON AND
AUTUMN QUINTON
INST. NO.
20160000012152

CARMEN GALVAN
VOL. 1907, PG. 137

(CM)
N.E. CORNER OF
CARMEN GALVAN
VOL. 1907, PG. 137

VICTORY WORSHIP
CENTER, INC.
VOL. 1395, PG. 142

1/2" IRF FOR REFERENCE
S 01°31'27" E - 0.38'

N 89°44'24" E 75.00'

100.00'

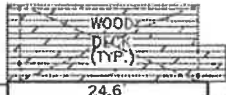
N 01°31'27" W

100.00'

TRACT 1
BILLY QUINTON AND
AUTUMN QUINTON
INST. NO.
20160000012152

7,498 sq. ft.
0.17 of an acre

ONE STORY
FRAME NO
FOUNDATION



ONE STORY
FRAME
(603)

ROBERT THOMAS
WIKTORCHIK
INST. NO.
2007-00381305

100.00'

S 01°31'27" E

100.00'

(CM)
S.W. CORNER OF
TRACT 1
BILLY QUINTON AND
AUTUMN QUINTON
INST. NO.
20160000012152

75.00'

S 89°44'24" W 75.00'

PLACE OF
BEGINNING

OHPL OHPL OHPL OHPL OHPL

ASPHALT

E. RUSK STREET



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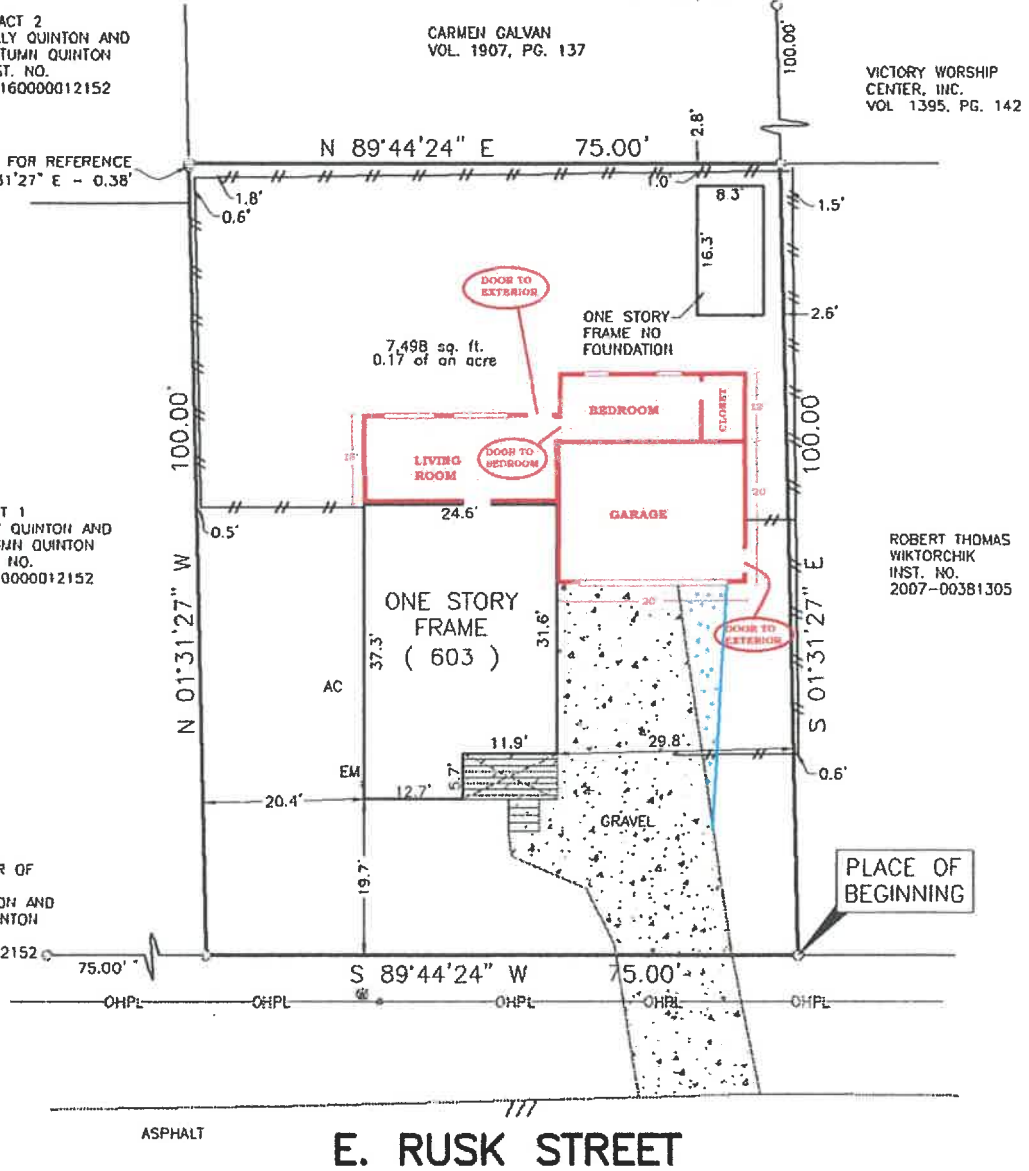
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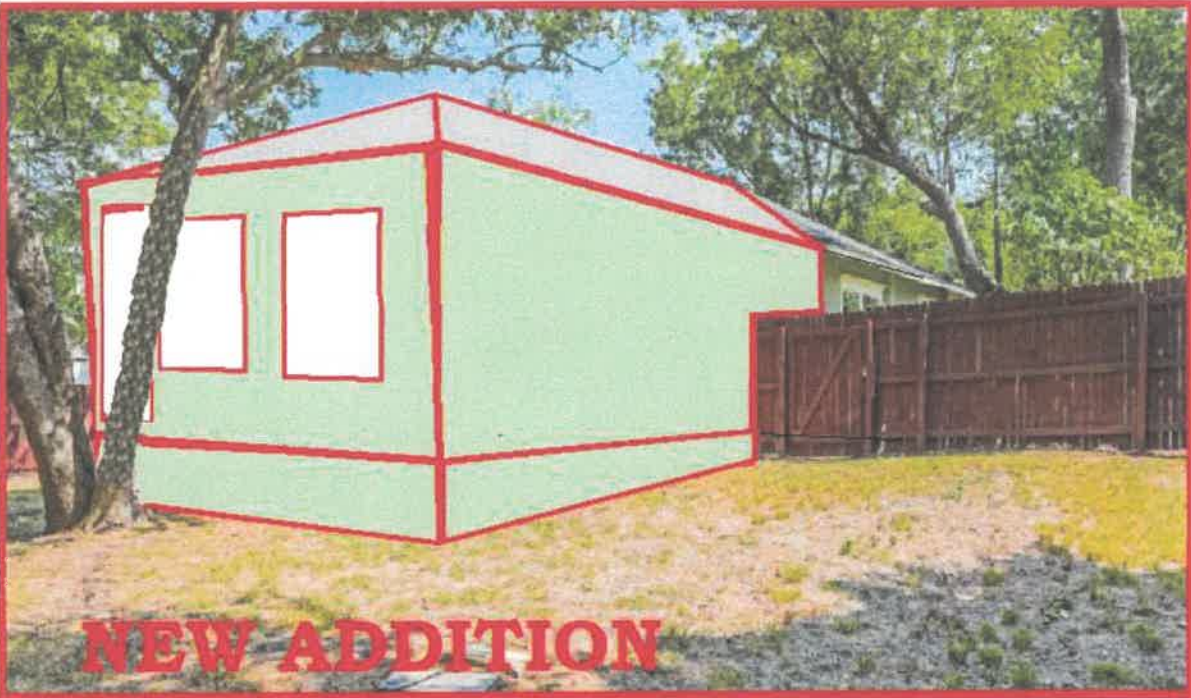
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E. RUSK STREET





NEW ADDITION



EXISTING



CITY OF ROCKWALL

HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Historic Preservation Advisory Board
DATE: November 16, 2023
APPLICANT: Michael Cheatham
CASE NUMBER: H2023-020; *Small Matching Grant for 603 E. Rusk Street*

On October 27, 2023, staff received applications for a Certificate of Appropriateness (COA) [Case No. H2023-019], a *Small Matching Grant* [Case No. H2023-020], and a *Building Permit Fee Waiver* [Case No. H2023-021] from the contractor -- Michael Cheatham -- on behalf of the property owners (Jake Rashell and Nicole Smith) for the purpose of constructing an addition to the existing single-family home on the subject property. The subject property is located at 603 E. Rusk Street and is designated as a *Low-Contributing Property*. According to Section 08, *Small Matching Grants*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), residential properties located within the Old Town Rockwall (OTR) Historic District or the Southside Residential Neighborhood Overlay (SRO) District that are *Contributing* (i.e. *High, Medium, or Low Contributing*) shall be eligible for a total grant amount up to \$1,000.00. In this case, the subject property is located within the Old Town Rockwall (OTR) District and is classified as a *Low-Contributing Property*. The project includes improvements that will be visible from the street (i.e. *adding a 400 SF, two [2] car garage the right side of the home that will match the primary structure*) and, based on the applicant's scope of work, the property is eligible for matching funds. The total valuation of the project provided by the applicant is \$120,000.00, which makes the project eligible for a *Small Matching Grant* of up to \$1,000.00; however, approval of this request is discretionary decision for the Historic Preservation Advisory Board (HPAB). As of October 1, 2023, the Historic Preservation Advisory Board (HPAB) has approved two (2) *Small Matching Grants* for FY2024. Should this request be approved, the *Small Matching Grants Fund* would be reduced to \$2,500.00.



HISTORIC PRESERVATION ADVISORY BOARD APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
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OTHER, SPECIFY: _____

OWNER(S) NAME JAKE RASHELL / NICOLE SMITH

APPLICANT(S) NAME MICHAEL CHEATHAM

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PHONE 972-750-8802 / 208-791-9225

PHONE 469-734-6055

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SMITHNCL01@GMAIL.COM

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SCOPE OF WORK/REASON FOR EVALUATION REQUEST [PLEASE PRINT]

CONSTRUCTION TYPE [CHECK ONE]:

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OWNER'S SIGNATURE _____

APPLICANT'S SIGNATURE [Signature]



H2023-020: Small Matching Grant for 603 E Rusk



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

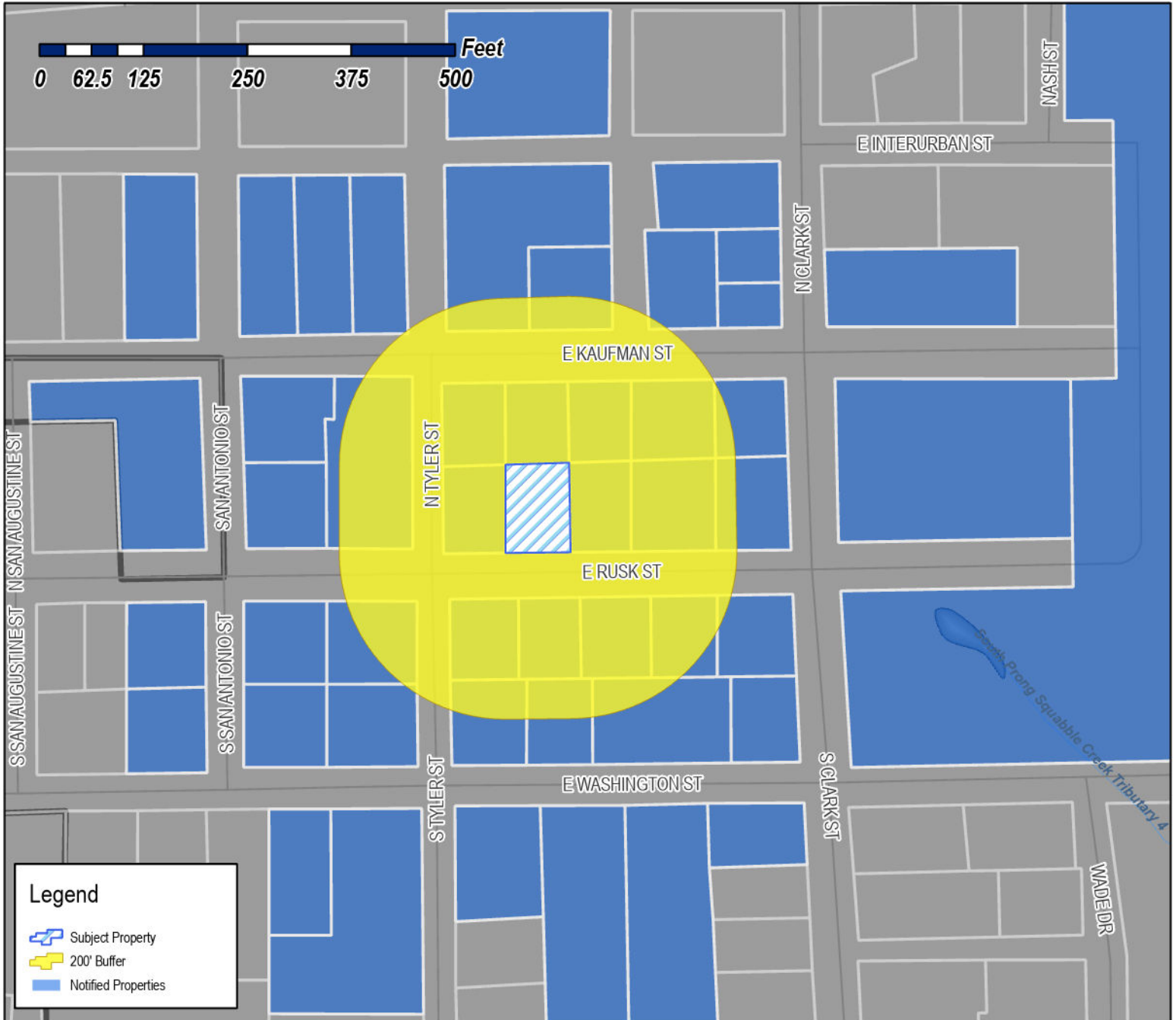




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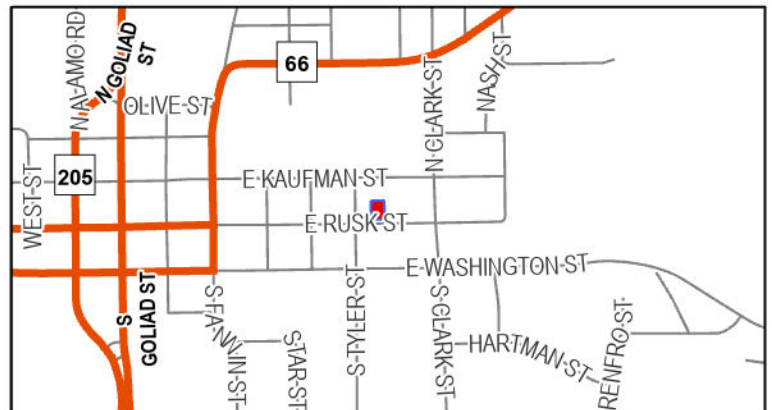
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Case Number: H2023-020
Case Name: Small Matching Grant for
 603 E Rusk Street
Case Type: Historic
Zoning: Single-Family 7 (SF-7) District
Case Address: 603 E Rusk Street

Date Saved: 10/30/2023

For Questions on this Case Call: (972) 771-7746



SMILEY KAREN APRIL
605 E RUSK ST
ROCKWALL, TX 75087

INDEPENDENT ADMINISTRATOR - ESTATE OF
ROBERT THOMAS WIKTORCH
P.O. BOX 3061
WARMINSTER, PA 18974

DUTT JOHN RICHARD JR ETUX
505 E WASHINGTON ST
ROCKWALL, TX 75087

BIRKENBACK JOSSEPH M & OLGA M
506 E RUSK ST
ROCKWALL, TX 75087

CLARK JENNIFER A
610 E KAUFMAN ST
ROCKWALL, TX 75087

GALVAN CARMAN
604 E KAUFMAN ST
ROCKWALL, TX 75087

OCCUPANT
603 E RUSK ST
ROCKWALL, TX 75087

INTEGRITY ALL CASH HOME BUYERS LLC
7340 BAKER BLVD #392
RICHLAND HILLS, TX 76118

ROCKWALL COMMUNITY PLAYHOUSE
609 E RUSK ST
ROCKWALL, TX 75087

OCCUPANT
601 E WASHINGTON ST
ROCKWALL, TX 75087

GLASS JERRY
301 MEADOWDALE DR
ROCKWALL, TX 75087

GREEN JAMES KEITH II & HOLLY NICOLE
605 E WASHINGTON ST
ROCKWALL, TX 75087

ROCKWALL COMMUNITY PLAYHOUSE
609 E RUSK ST
ROCKWALL, TX 75087

REEVES ASHLEY ELLEN & DANIEL GARRET
609 E WASHINGTON ST
ROCKWALL, TX 75087

WEBB RODNEY D AND FRAN W
507 E RUSK ST
ROCKWALL, TX 75087

HARPER VICKI DAWSON
605 E KAUFMAN ST
ROCKWALL, TX 75087

OCCUPANT
601 E KAUFMAN ST
ROCKWALL, TX 75087

HARPER LYDIA
1200 CLEVELAND STREET APT 327
DENTON, TX 76201

HARPER VICKI DAWSON
605 E KAUFMAN ST
ROCKWALL, TX 75087

ROCKWALL COMMUNITY PLAYHOUSE
609 E RUSK ST
ROCKWALL, TX 75087

COUNTY OF ROCKWALL
101 E Rusk ST
ROCKWALL, TX 75087

WILLIAMS JERRY LANE
608 E RUSK ST
ROCKWALL, TX 75087

SMITH GREGORY P & MARILYN
610 E RUSK ST
ROCKWALL, TX 75087

ROBINSON NELDA
602 E RUSK ST
ROCKWALL, TX 75087

HORNER ANDREA J
604 E RUSK ST
ROCKWALL, TX 75087

OCCUPANT
102 S CLARK ST
ROCKWALL, TX 75087

KINSEY DONALD H & TARI L
2 MANOR COURT
HEATH, TX 75032

OCCUPANT
601 E RUSK ST
ROCKWALL, TX 75087

QUINTON BILLY & AUTUMN
102 N TYLER ST
ROCKWALL, TX 75087

QUINTON BILLY & AUTUMN
102 N TYLER ST
ROCKWALL, TX 75087

OCCUPANT
505 E KAUFMAN ST
ROCKWALL, TX 75087

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the Historic Preservation Advisory Board will consider the following application:

Case No. H2023-020: Small Matching Grant for 603 E. Rusk Street

Hold a public hearing to discuss and consider a request by Michael Cheatham on behalf of Jake Rashell and Nicole Smith for the approval of a Small Matching Grant for an addition to an existing single-family home being a Low Contributing Property on a 0.25-acre parcel of land identified as Block 120E of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 603 E. Rusk Street, take any action necessary.

For the purpose of considering the effects of such a request, the Historic Preservation Advisory Board will hold a public hearing on Thursday, November 16, 2023 at 6:00 PM. This hearing will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Thursday, November 16, 2023 at 4:00 PM to ensure they are included in the information provided to the Historic Preservation Advisory Board.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

--- PLEASE RETURN THE BELOW FORM ---

Case No. H2023-020: Small Matching Grant for 603 E. Rusk Street

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



TRACT 2
BILLY QUINTON AND
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CARMEN GALVAN
VOL. 1907, PG. 137

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N.E. CORNER OF
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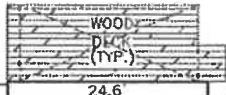
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7,498 sq. ft.
0.17 of an acre

ONE STORY
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FOUNDATION



ONE STORY
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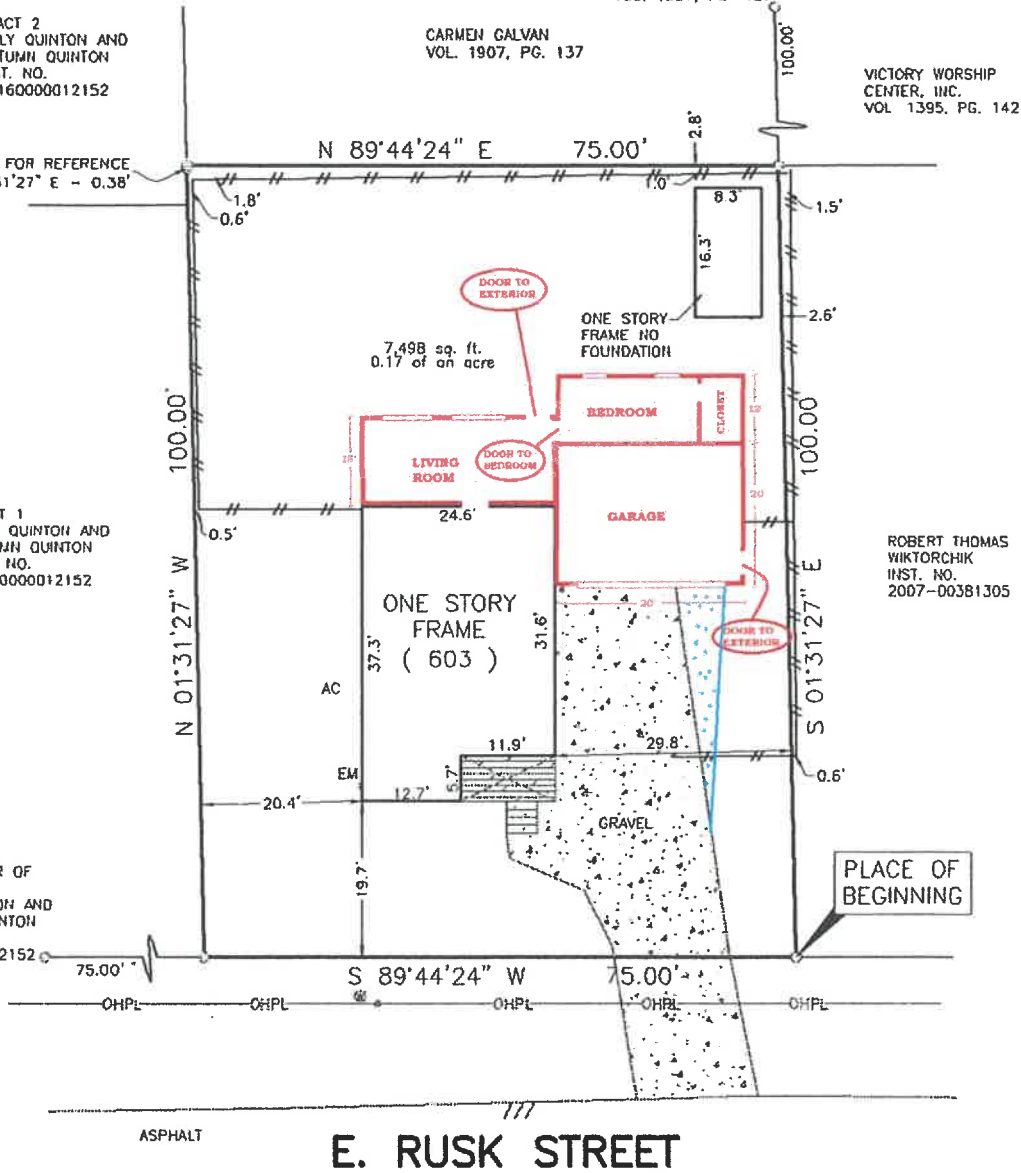
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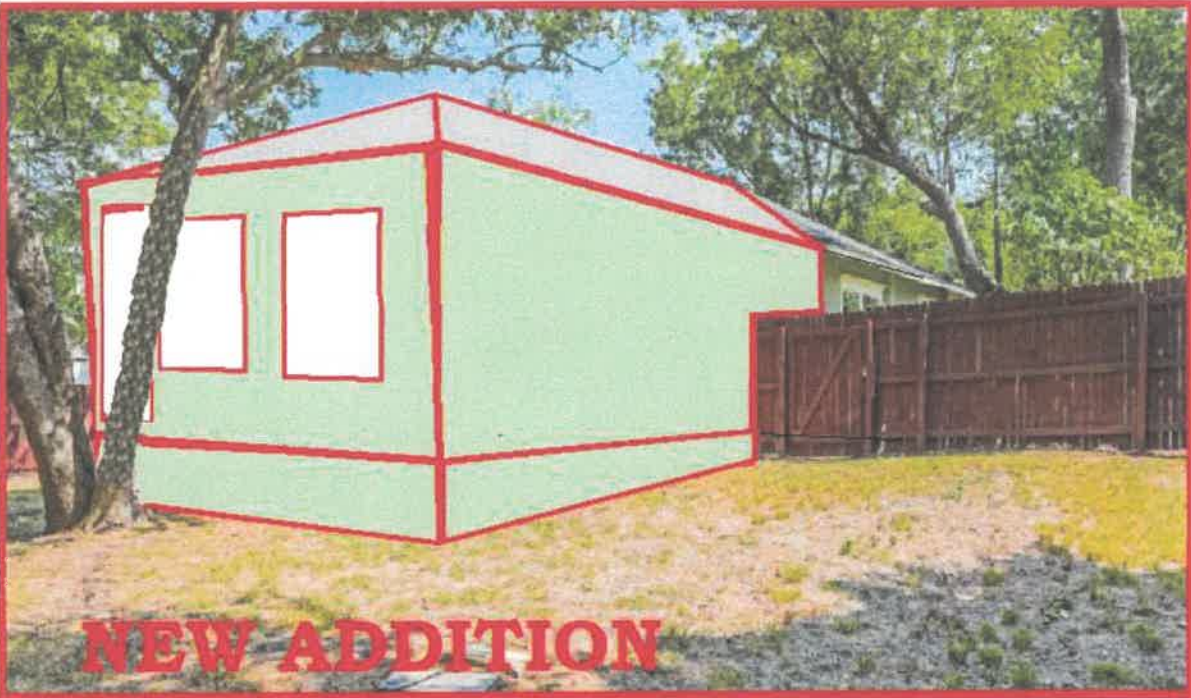
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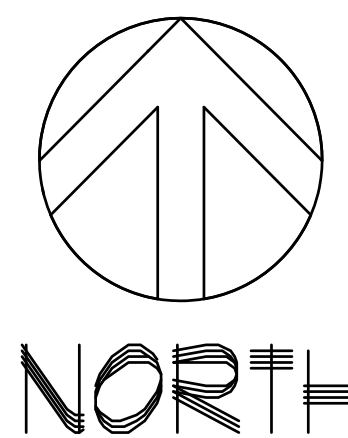
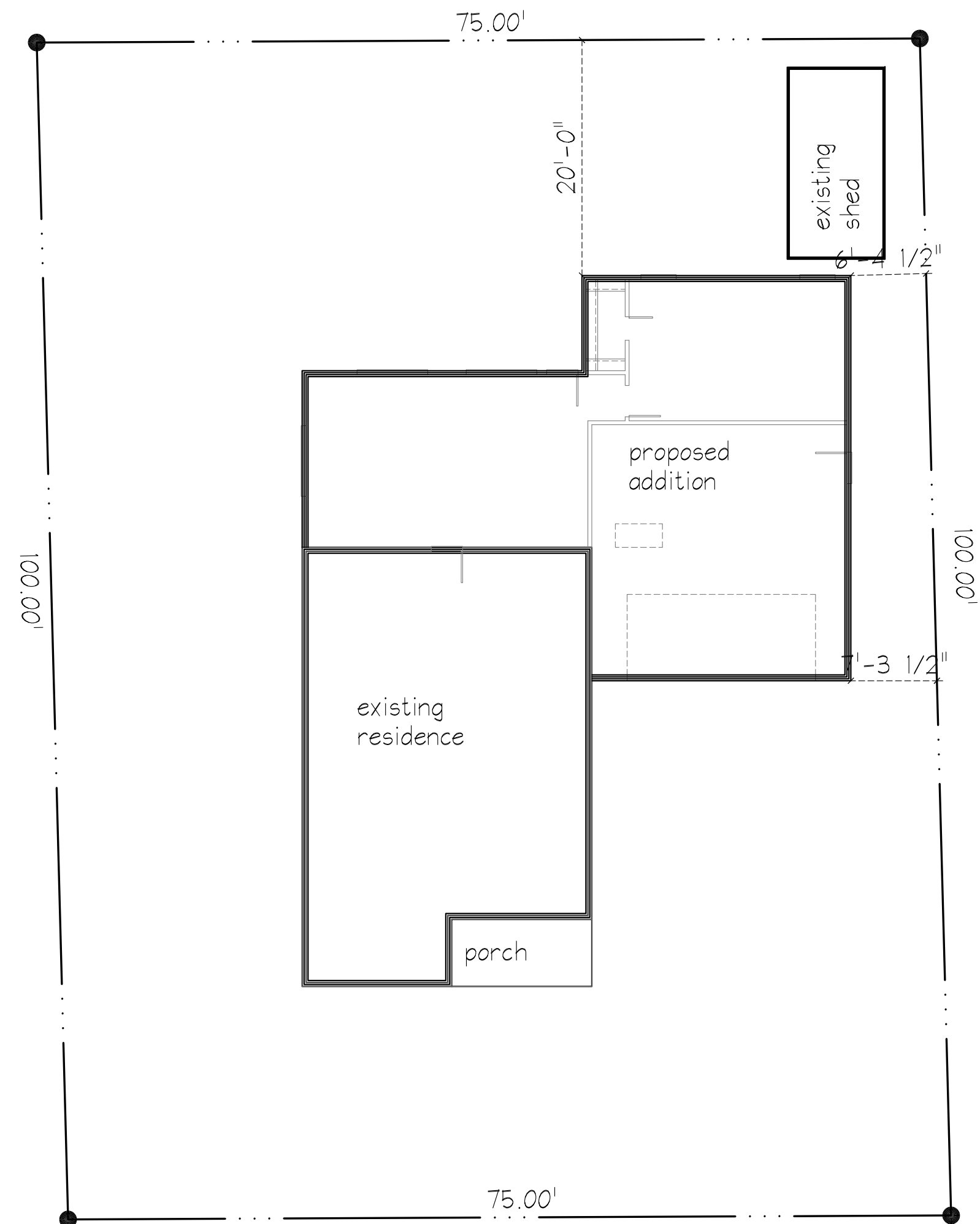




NEW ADDITION



EXISTING



Areas:

| | |
|-----------------|---------------|
| Area of Lot | 7,498 sq. ft. |
| Covered Area | 1,142 sq. ft. |
| Percent Covered | 15.2% |

PLOT PLAN
SCALE 1" = 10'-0"

Notes:

- Do not scale drawings, follow dimensions only. All structural information shown for reference purposes only. Contractor shall have licensed structural engineer review and design all structural elements such as all framing walls, beams, connections, headers, joists and rafters.
- All dimensions are from face of stud to face of stud unless otherwise noted.
- Window sizes indicated on plans are noted by approximate rough openings size. Verify window sizes and "owner furnish windows" with owner prior to construction. Refer to plans and exterior elevations for window types.
- All framing shall be done in accordance with IBC latest edition.
- Spread studs at tub ends to accommodate plumbing and provide blocking, top and bottom, at shower to secure plumbing.
- Exterior sheathing shall be 5/8" OSB.
- All interior walls shall be covered with 1/2" gypsum board with metal corner reinforcing. Drywall finish should include taping over joints, applying joint compound and sanding the compound for a smooth finish. Verify with owner the level of drywall texturing.
- All walls and ceilings in garage and garage storage areas to have 5/8" Type-X gypsum board with 1-hour fire rating. All exterior doors in garage and attic access to be metal or solid core with a 20 minute fire rating.
- Provide 1/2" "moisture resistant" gypsum board at all wet locations.
- All finishes to be chosen and verified by owner.
- Contractor shall field verify all cabinet dimensions before fabrication.
- All millwork to be chosen and verified by owner. Contractor shall submit "shop drawings" at owners request.
- Provide 1/2" cement board for tile backer.
- Provide min. 4 - gang 2x4 studs at glue-lam bearing.
- All work shall be in accordance with National Plumbing Code, Latest Edition.
- Contractor shall provide HVAC "duct layout" for approval prior to fabrication. For coordination with fixtures and diffuser location.
- Verify all column type, size, and material with owner prior to construction.
- Prefabricated fireplace construction shall meet or exceed all applicable codes regarding use of fire separations, clearances, etc. It is the contractor's responsibility to ensure that all items and construction meet or exceed code. Overall flue height shall be coordinated to match height shown on plans and shall not exceed the top of chimney chase as constructed. All fireplace chase walls shall be insulated inside and outside. Provide horizontal "draft stops" at each floor level by packing 6" (R19) insulation between 2x4 joists.
- Provide combustion air vents with screen and back damper for fireplaces, wood stoves and any appliance with an open flame.
- All bath and toilet area walls shall have water resistant gypsum boards.
- All plumbing walls shall be 2x6.
- Bedroom windows shall have a minimum net clear opening of 5.7 square feet, a minimum net clear openable width of 20", a minimum net clear openable height of 24", and have a maximum finish sill height of 42" from finished floor. All glass located within 18" of floor, 24" of a door or located within 60" of floor at bath tubs, whirlpools, showers, saunas, steam rooms, or hot tubs shall be tempered.
- Attic HVAC units shall be located within 20' of its service opening. Return air grills shall not be located within 10' of a gas fired appliance.
- All exposed insulation shall have a flame spread rating of less than 25 and a smoke density rating of less than 450.

| MASTER REVISION INDEX | | | APPLICABLE CODES |
|-----------------------|--|------------|---|
| SHEET # | DESCRIPTION | SCALE | |
| 1 | PLOT PLAN | 1"=10'-0" | 2021 INTERNATIONAL FIRE CODE |
| 2 | DEMO PLAN & REMODEL PLAN W/ ELECTRICAL | 1/4"=1'-0" | 2021 INTERNATIONAL BUILDING CODE |
| 3 | FOUNDATION LAYOUT & ROOF PLAN | 1/4"=1'-0" | 2021 INTERNATIONAL PLUMBING CODE |
| 4 | FRONT, REAR, LEFT, & RIGHT ELEVATION | 1/4"=1'-0" | 2020 NATIONAL ELECTRICAL CODE |
| 5 | STANDARD DETAILS | N.T.S. | 2021 INTERNATIONAL RESIDENTIAL CODE |
| | | | 2021 INTERNATIONAL ENERGY CONSERVATION CODE |
| | | | 2021 INTERNATIONAL FUEL & GAS CODE |
| | | | 2021 INTERNATIONAL GREEN CONSTRUCTION CODE |

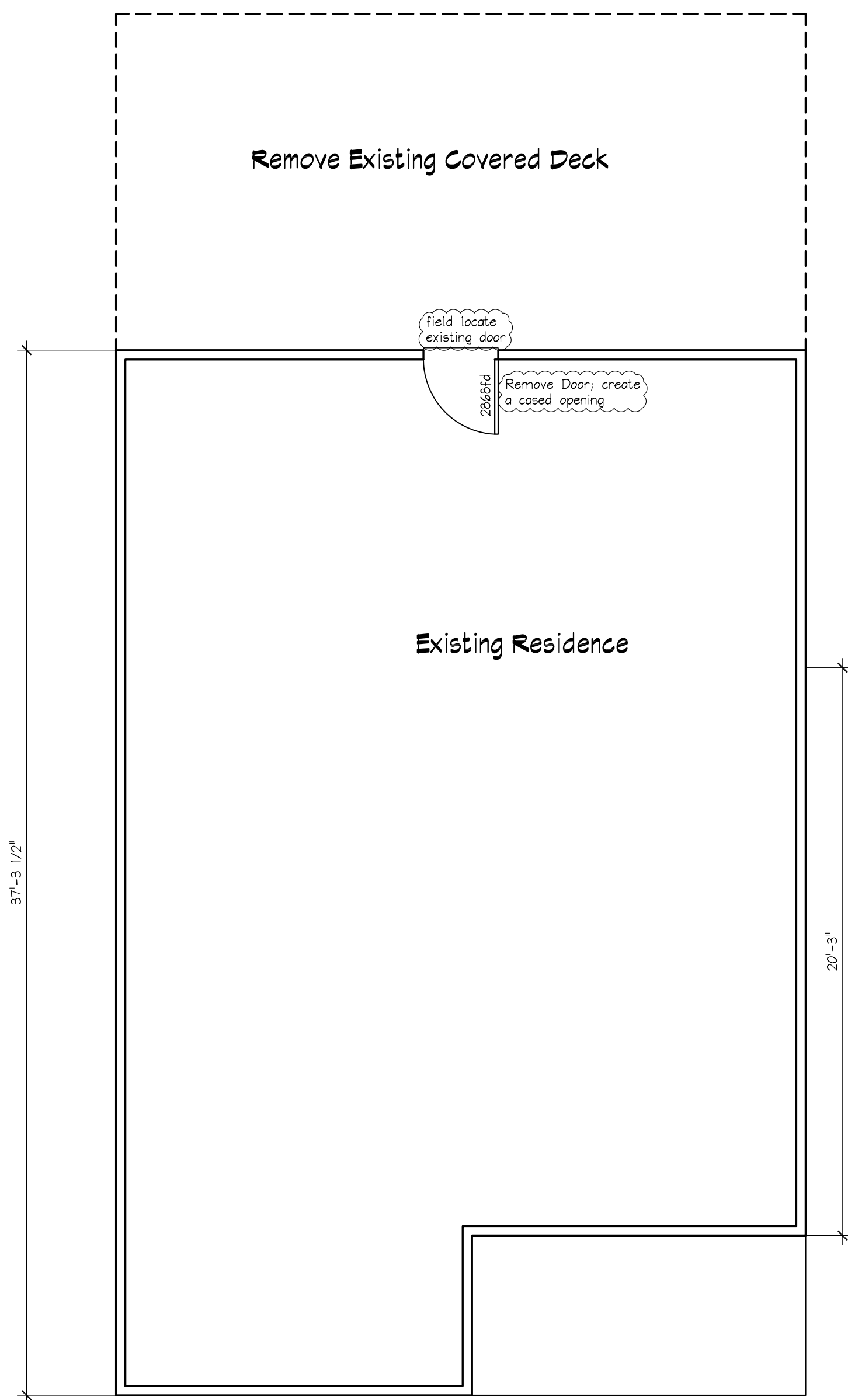
REVISIONS:
11/02/2023

J. Karlovich
Home Design
(214) 674-0290 : Phone
jkarlovichhomedesign.com

These plans are intended to provide the basis construction information necessary to substantially complete the structure. Like most home designers, this firm, J. Karlovich Home Design, is not being an architectural or engineering firm stands no liability for structural or architectural design integrity. Every effort has been made to ensure all dimensions are correct and governmental regulations have been met. If any error or omission does occur it is the sole responsibility of the contractor and/or the owner to correct the error and/or omission at his own expense and not the responsibility of J. Karlovich Home Design. These plans are intended to be a one-time use for this address ONLY.

Willow Creek Custom Homes
469-338-0141

A Custom Addition for:
Jake Rashell & Nicole Smith
603 E Rusk Street
Abstract No. 14
B.F. Boydston Survey
City of Rockwall, Rockwall County, Texas



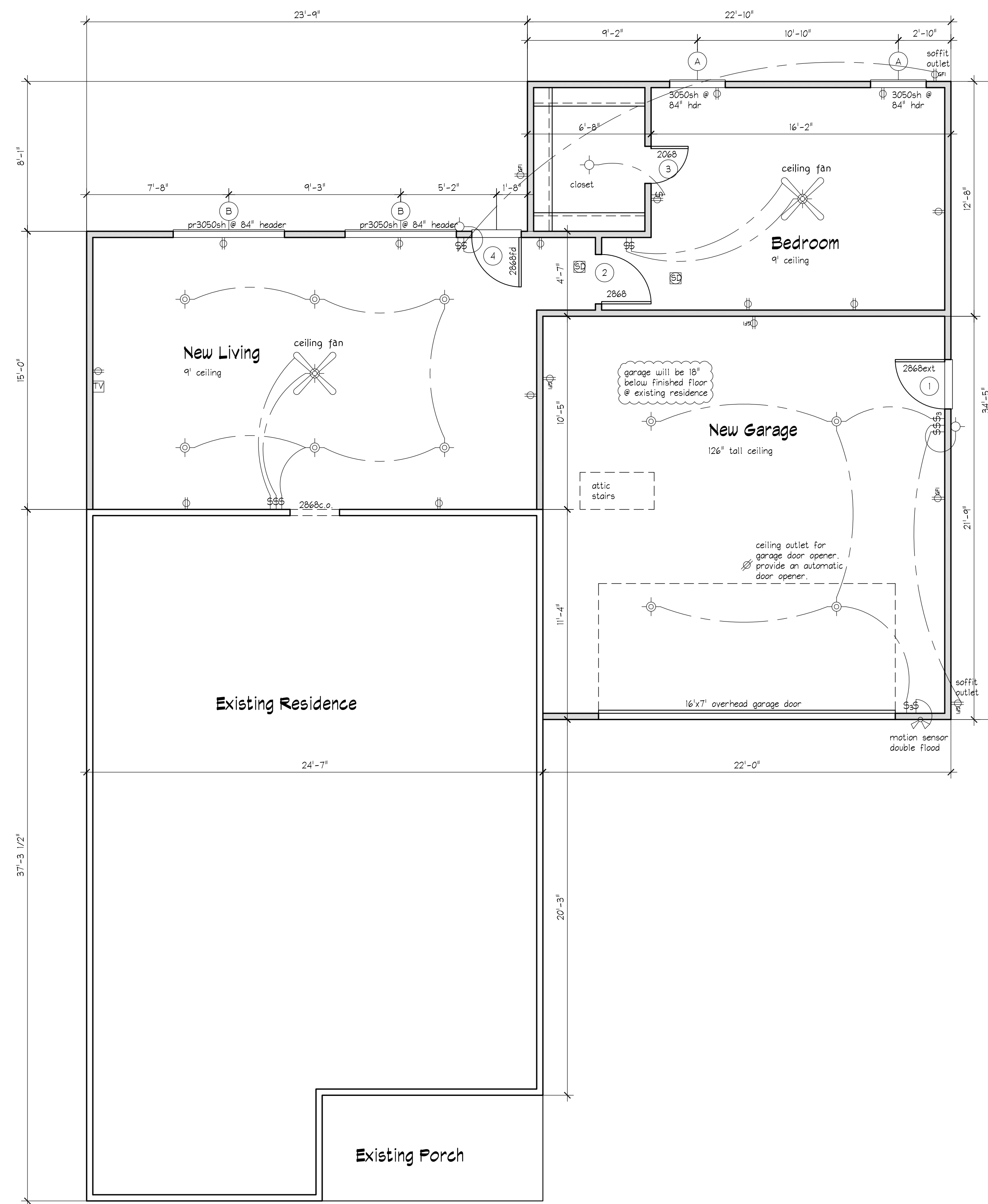
EXISTING + DEMO PLAN
SCALE 1/4" = 1'-0"

ELECTRICAL LEGEND

- ◆ Surface/Ceiling Mount
- Recessed Eyeball Mount
- ⊕ Ground-up Landscape Flood
- ⊖ Wall Mounted
- ◆ 6" LED Recessed Can Light
- ◆ 6" Vapor Recessed Can Light
- Single Fluorescent Strip
- Double Flood w/ Motion Sensor (exterior)
- LED Fluorescent Lighting
- ⊕ Exhaust Fan (minimum 90 cfm)
- ⊕ Ceiling Heater
- ⊕ Carbon Monoxide Detector
- ⊕ Sub Panel
- ⊕ Intercomm System
- ⊕ Telephone Jack
- ⊕ Bundled Cable (2 RG6 Coax, 2 CAT6, 2 Fiber)
- ⊕ Network (CAT6 Only)
- ⊕ Speaker (1/4 Speaker Wiring)
- ⊕ Smoke and Carbon Monoxide Detector
- ⊕ Duplex Outlet (125 volt)
- ⊕ Appliance Outlet (240 volt)
- ⊕ GFI Outlet (UL Approved)
- ⊕ Ceiling Outlet (125 volt)
- ⊕ Floor Outlet (pre-wire before pouring foundation)
- ⊕ Single Light Switch
- ⊕ Three Way Light Switch
- ⊕ Light Switch with Dimmer Control
- ⊕ Ceiling Fan (provide proper ceiling brace)
- ⊕ Electrical Breaker Box (refer to electrician for size)

Notes:

- All electrical work shall be done in accordance with National Electric Code, Latest Edition.
- Provide a J-Box below counter for dishwasher, ice machine, compactor and range.
- Provide waterproof covers on all exterior outlets and ground fault interrupter receptacles in all wet and exterior locations.
- All fixtures shall be UL Approved.
- Provide "buzzer" at entry doors and door chimes.
- Verify water heater and HVAC electrical requirements prior to construction.
- Verify all outlet, switch, fixture, television and telephone locations with owner prior to construction.
- Provide light fixtures and outlets in attic as per owners instructions.
- Verify all light fixtures and plug type and location with owner prior to installation.
- Center all light fixtures in each room.



FLOOR + ELECTRICAL PLAN
SCALE 1/4" = 1'-0"

Doors Schedule:

| ID# | Size | Description | Quantity |
|-----|------|----------------------------|----------|
| 1 | 2868 | Exterior as Selected | 1 |
| 2 | 2868 | Interior as Selected | 1 |
| 3 | 2068 | Interior as Selected | 1 |
| 4 | 2868 | Exterior 1-Lite Glass Door | 1 |

Windows Schedule:

| ID# | Size | Description | Quantity |
|-----|-----------|-------------|----------|
| A | 3050 | Single Hung | 2 |
| B | Pair 3050 | Single Hung | 3 |

All windows in wet areas, in stairwell, and/or closer than 24" to a door to have tempered glass.

Areas:

| | |
|----------------------|---------------|
| Existing HVAC Area | 850 sq. ft. |
| New HVAC Area | 651 sq. ft. |
| Total HVAC Area | 1,501 sq. ft. |
| Garage | 491 sq. ft. |
| Existing Porch | 68 sq. ft. |
| New Slab | 1,142 sq. ft. |
| New Total Under Roof | 2,060 sq. ft. |

REVISIONS:
11/02/2023

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A Custom Addition for:
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B.F. Boydston Survey
City of Rockwall, Rockwall County, Texas

11/2/2023 9:03:56 PM, ARCH D, For Construction Use





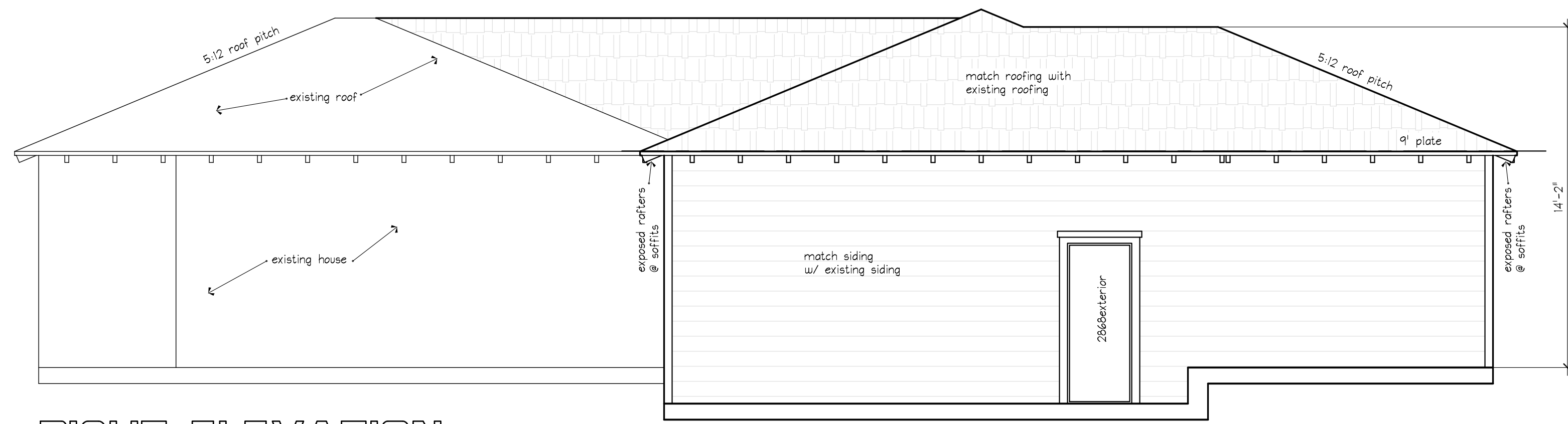
NOV 11 2004

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Willow Creek Custom Homes
469-338-0141

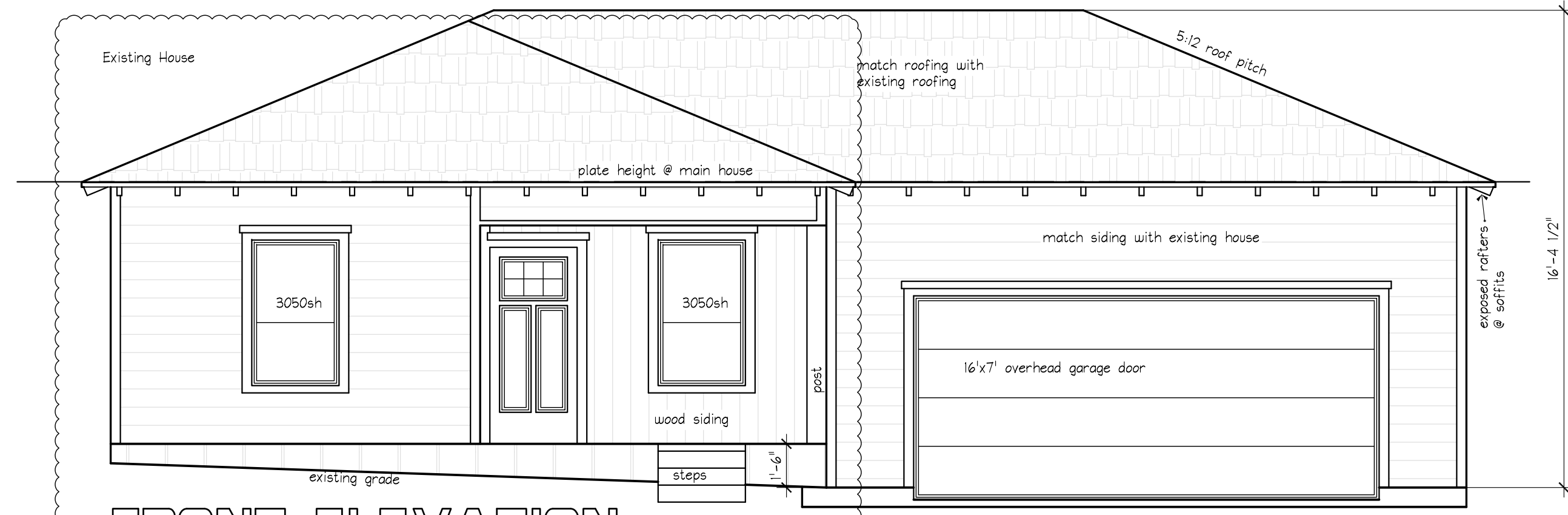
A Custom Addition for:
Jake Rashell & Nicole Smith

603 E Rusk Street
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B.F. Boydston Survey
City of Rockwall, Rockwall County, Texas



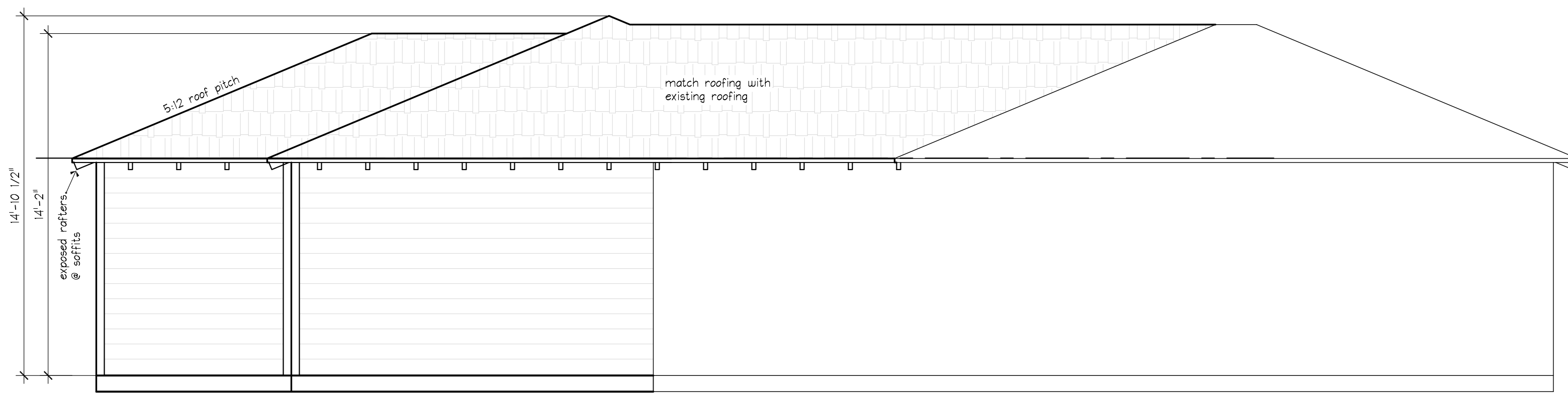
RIGHT ELEVATION

SCALE 1/4" = 1'-0"



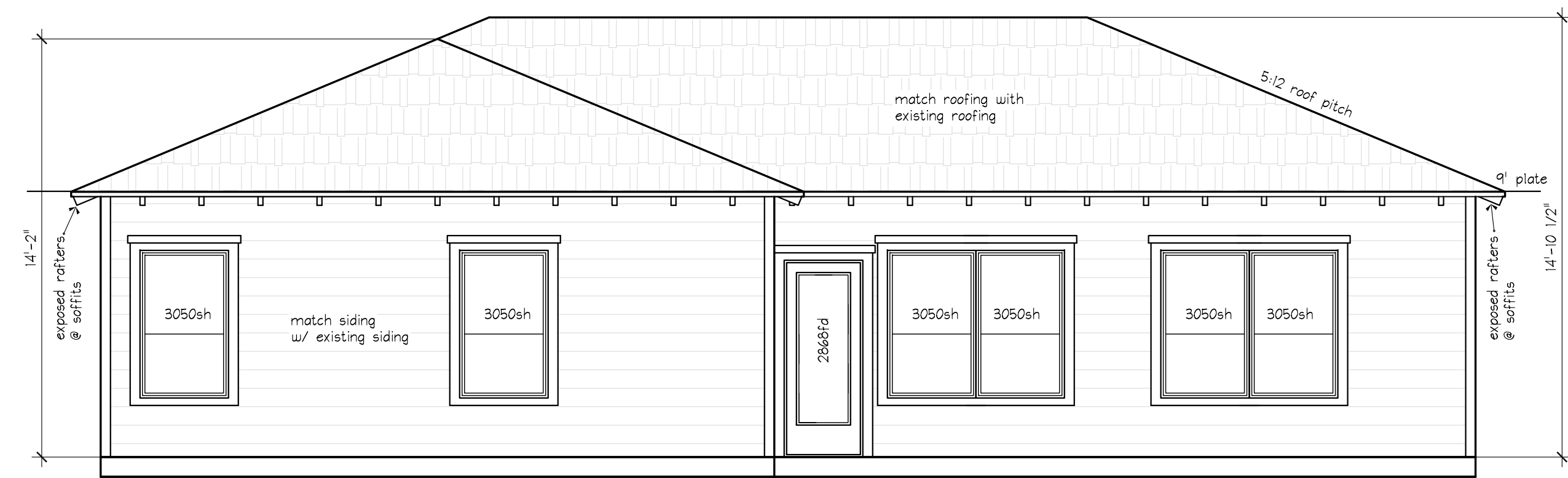
FRONT ELEVATION

SCALE 1/4" = 1'-0"



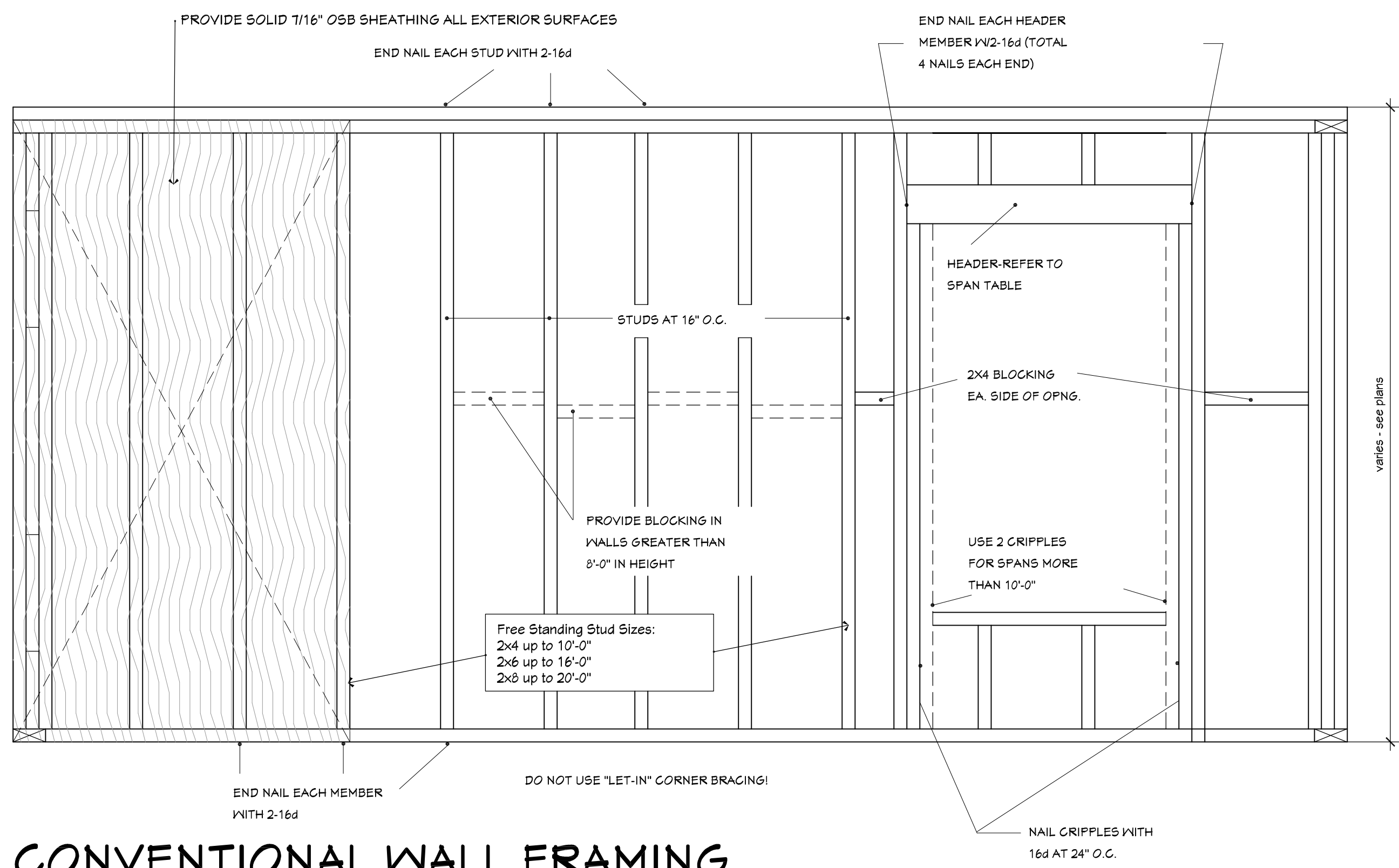
LEFT ELEVATION

SCALE 1/4" = 1'-0"



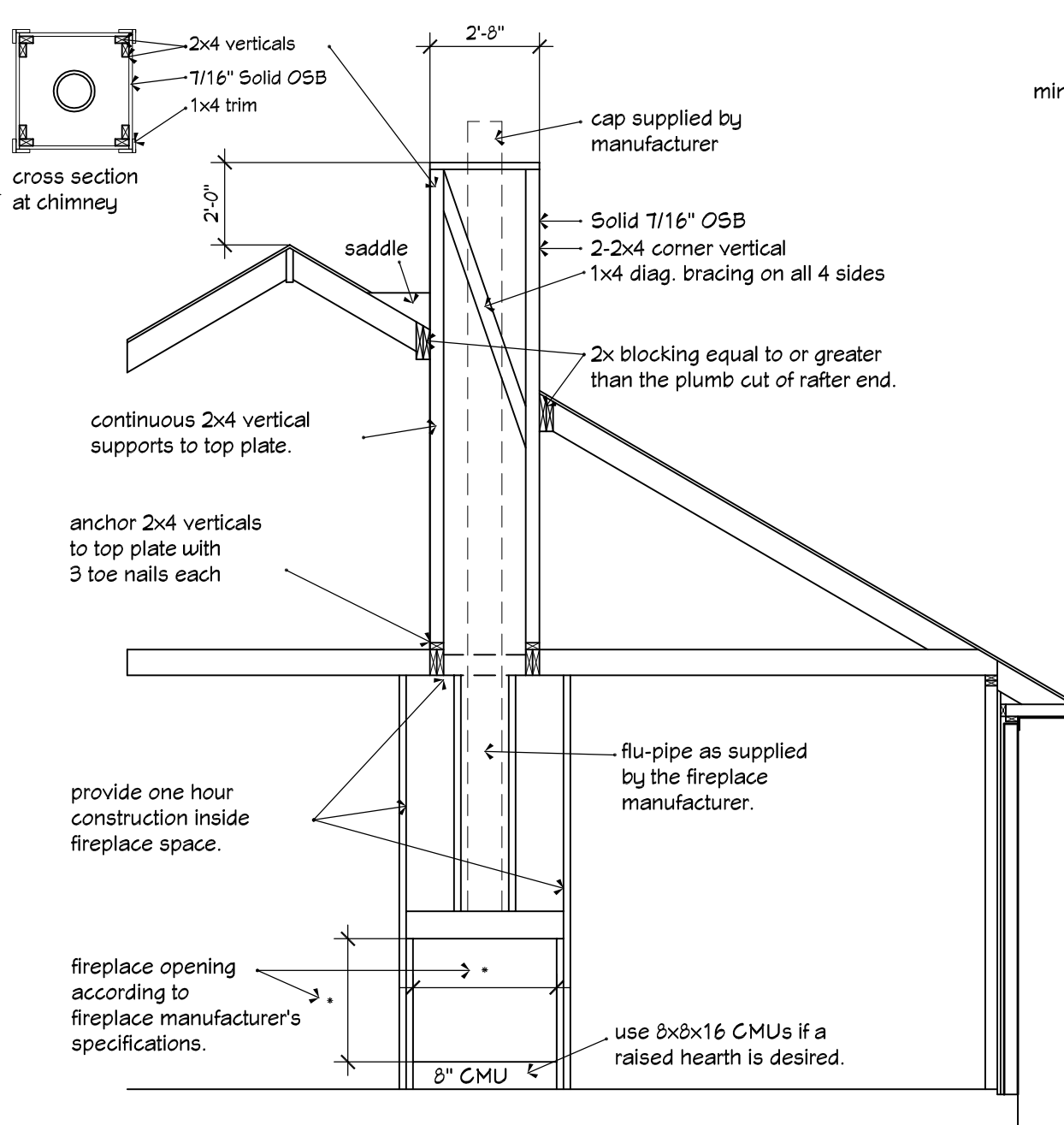
REAR ELEVATION

SCALE 1/4" = 1'-0"

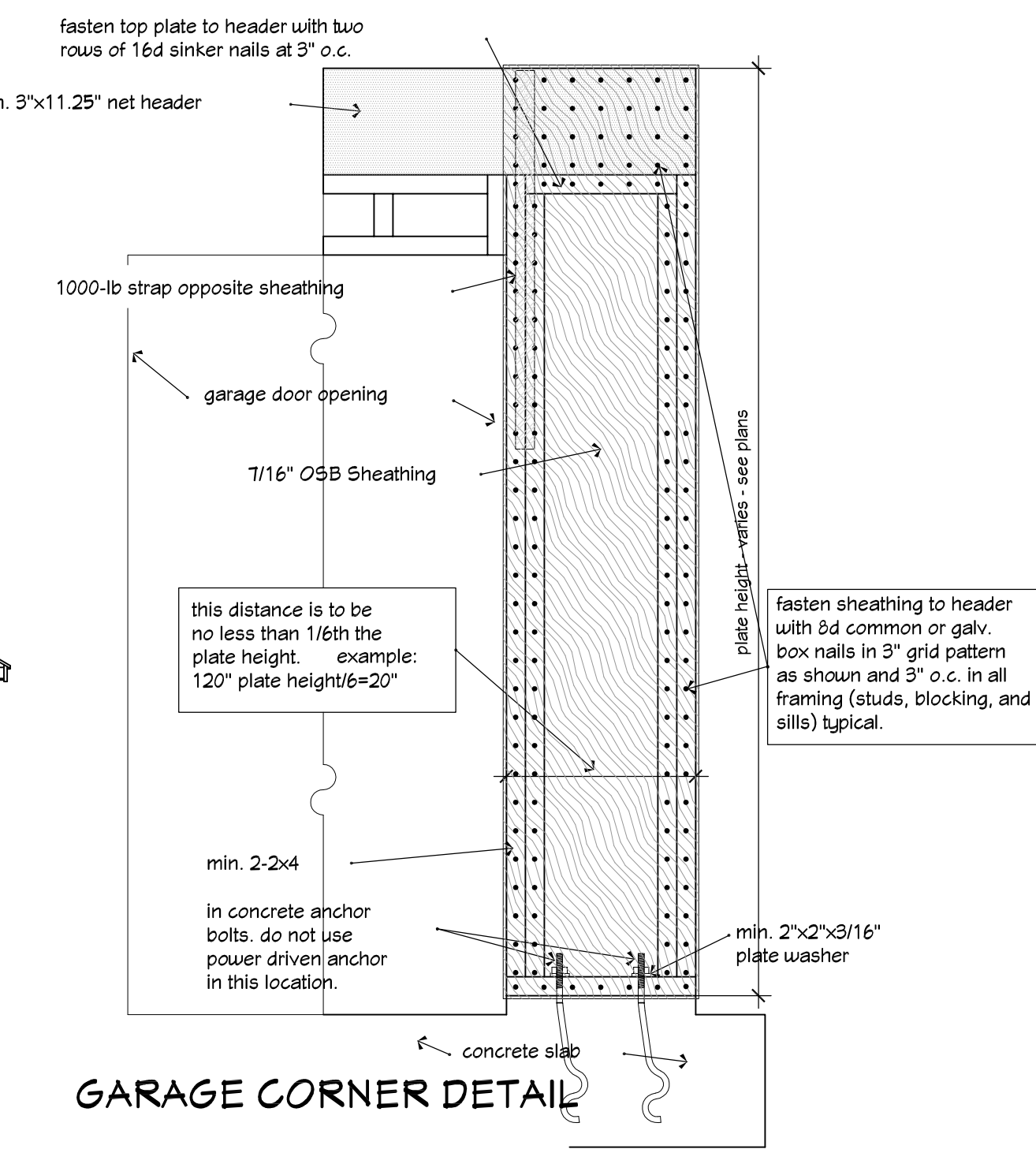


CONVENTIONAL WALL FRAMING

SCALE: 3/4\"/>



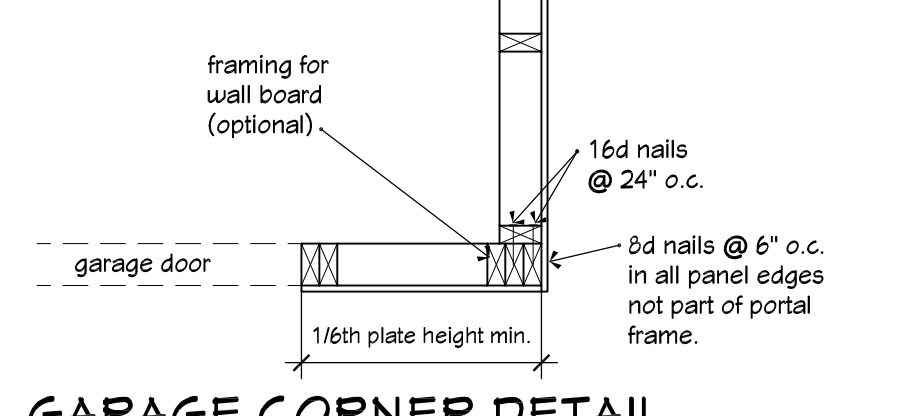
WOOD CHIMNEY DETAIL



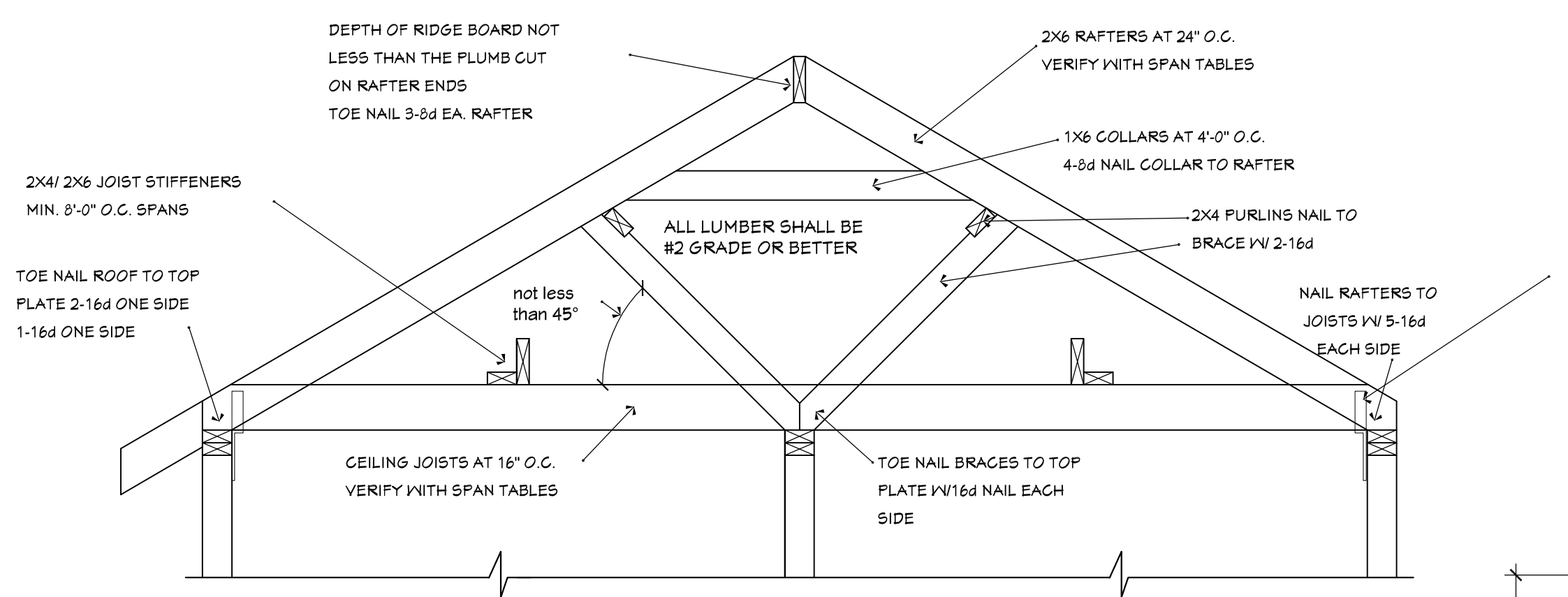
GARAGE CORNER DETAIL

GENERAL FOUNDATION NOTES:

- 1) These foundation notes and details are not applicable when a post tensioned slab is specified. Please refer to the Engineer's notes and details.
- 2) These notes and details were taken from the Dallas, Texas area office of the U.S. Department of Housing and Urban Development, Type "C" Foundation.
- 3) Provide a min. of 4\"/>

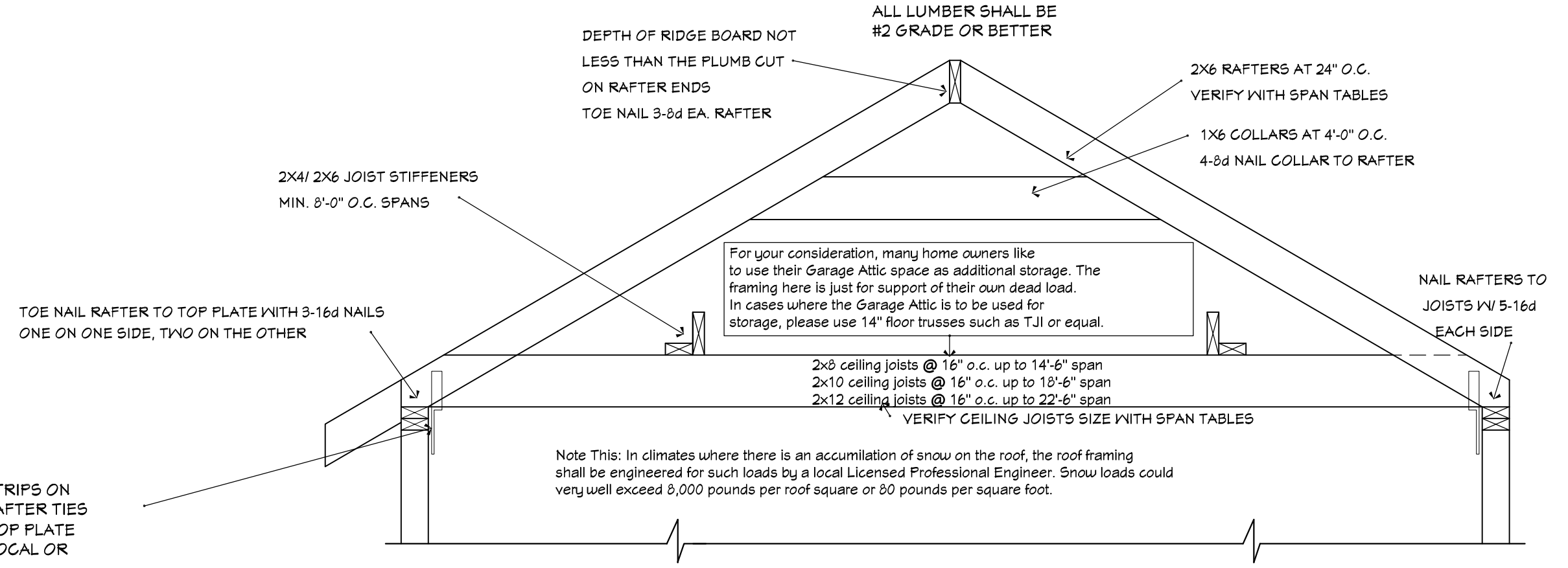


GARAGE CORNER DETAIL

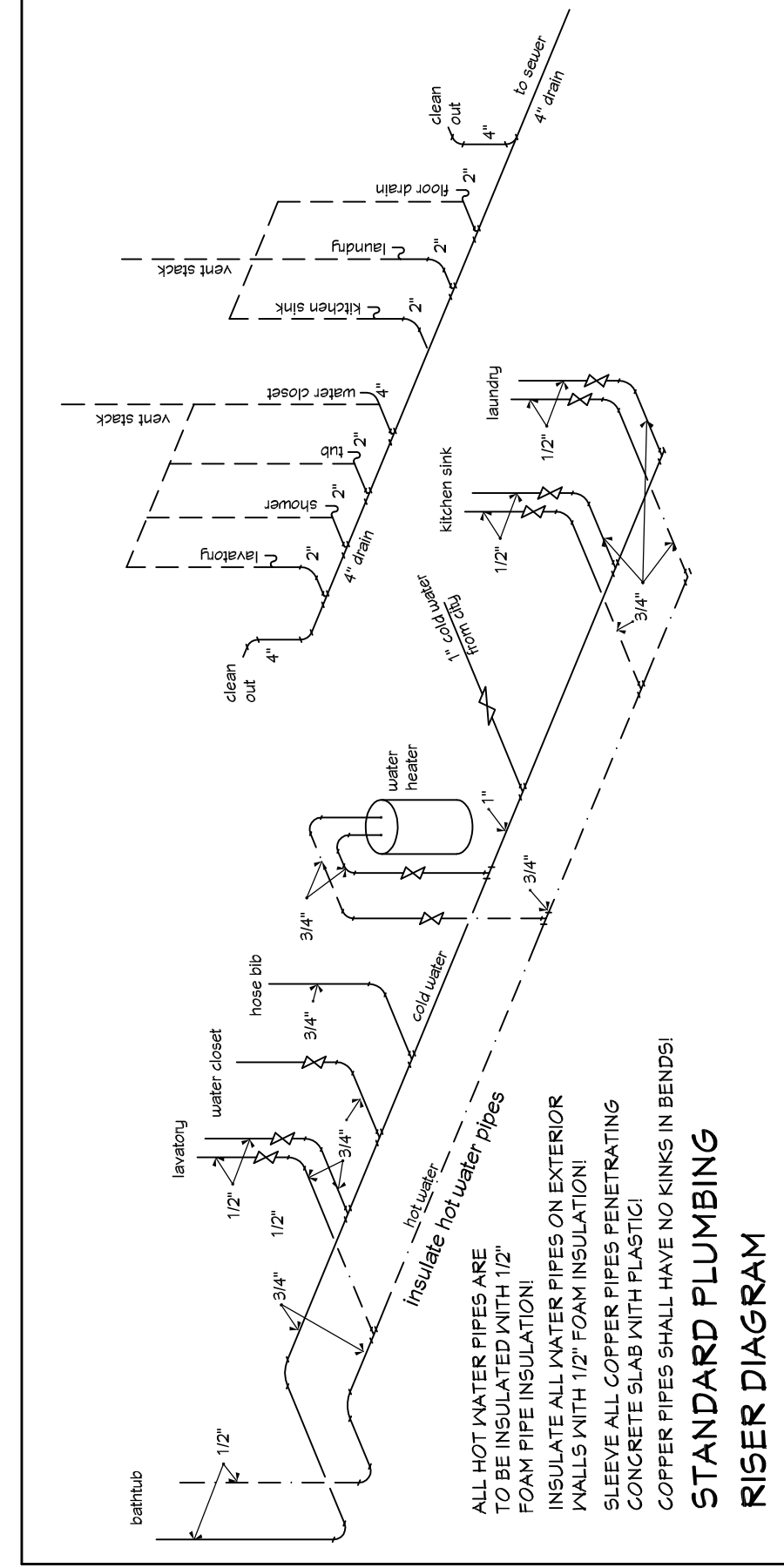


CONVENTIONAL ROOF BRACING

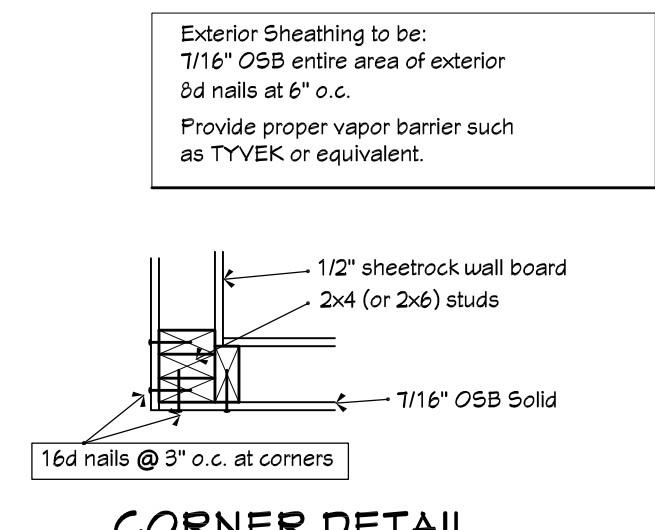
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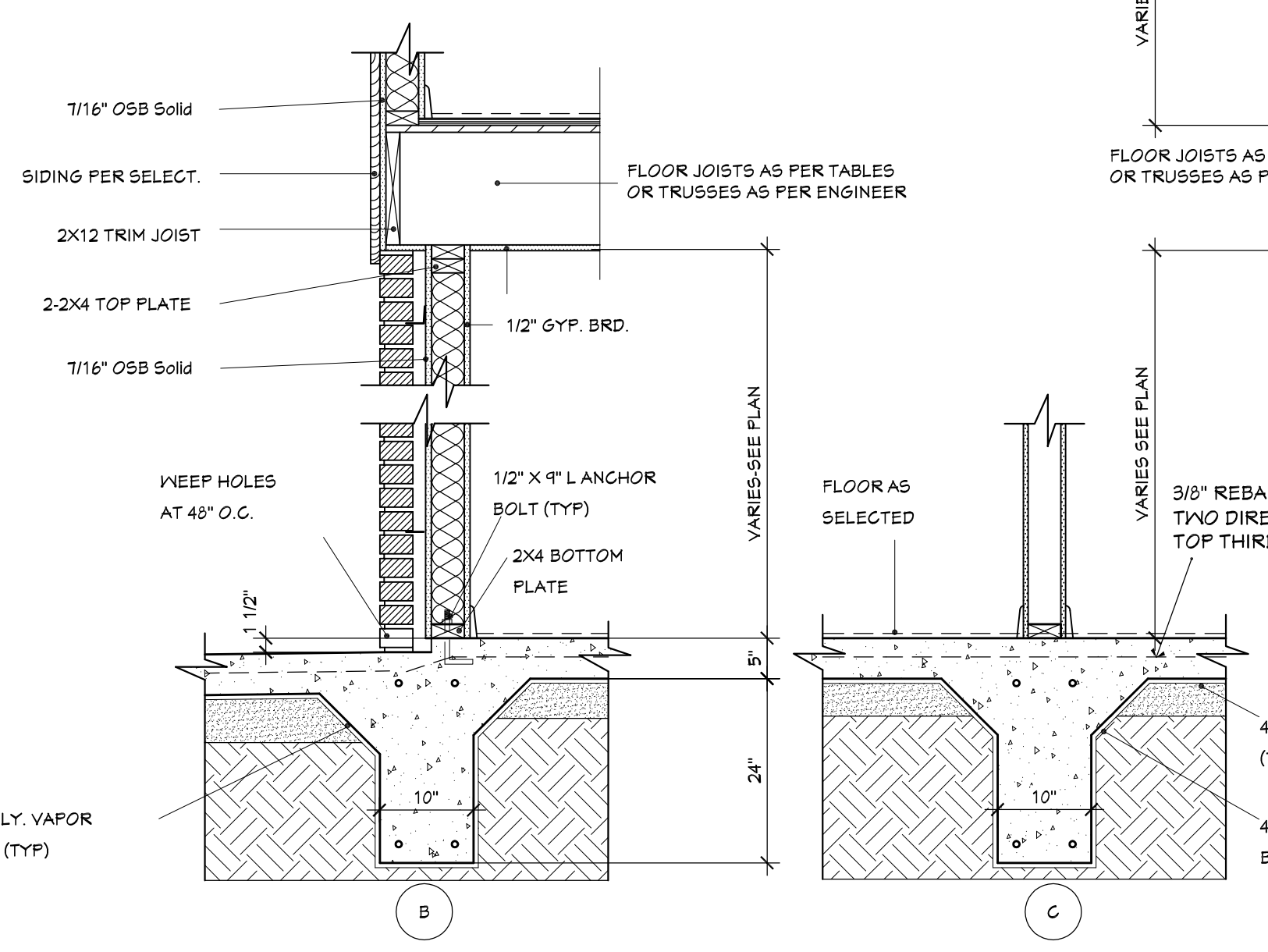
GARAGE ROOF BRACING



STANDARD PLUMBING RISER DIAGRAM

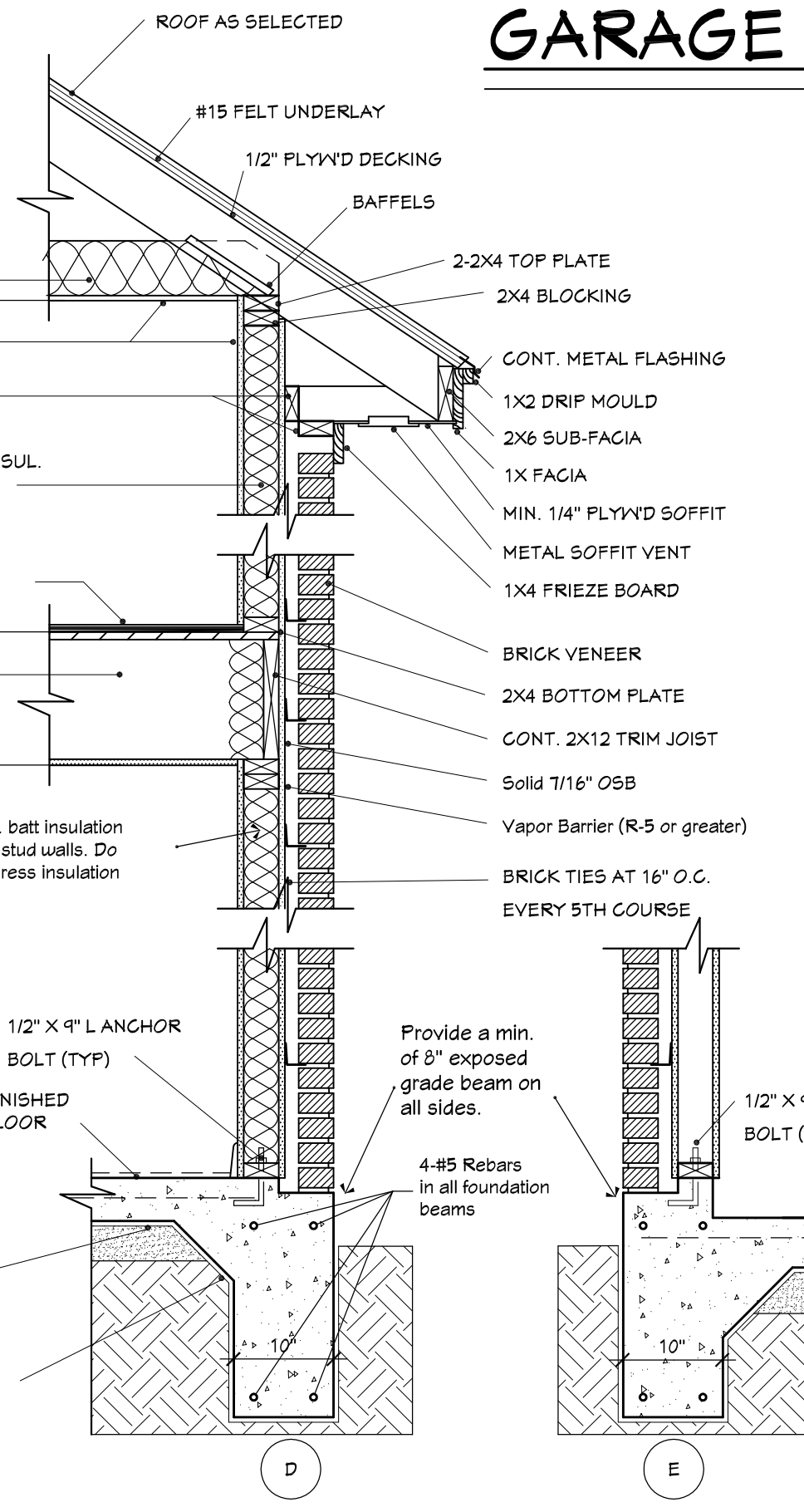


CORNER DETAIL

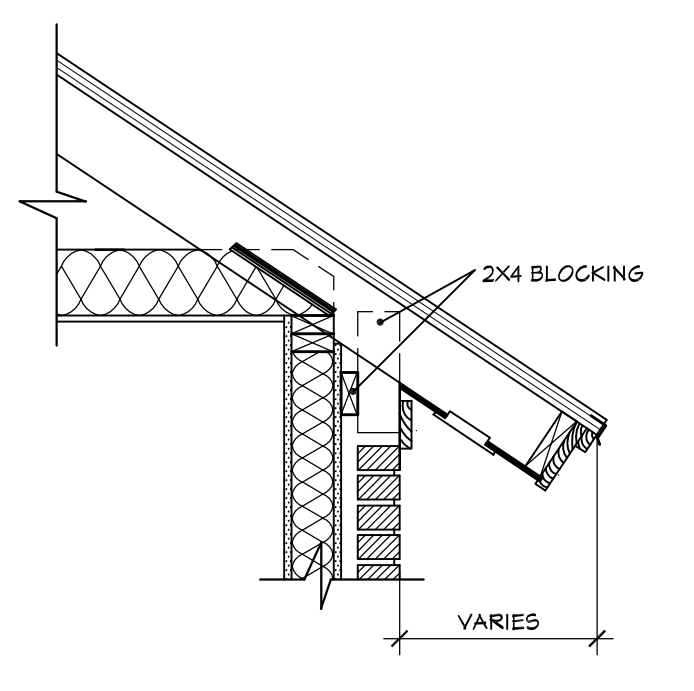


FOUNDATION DETAILS

SCALE: 3/4\"/>

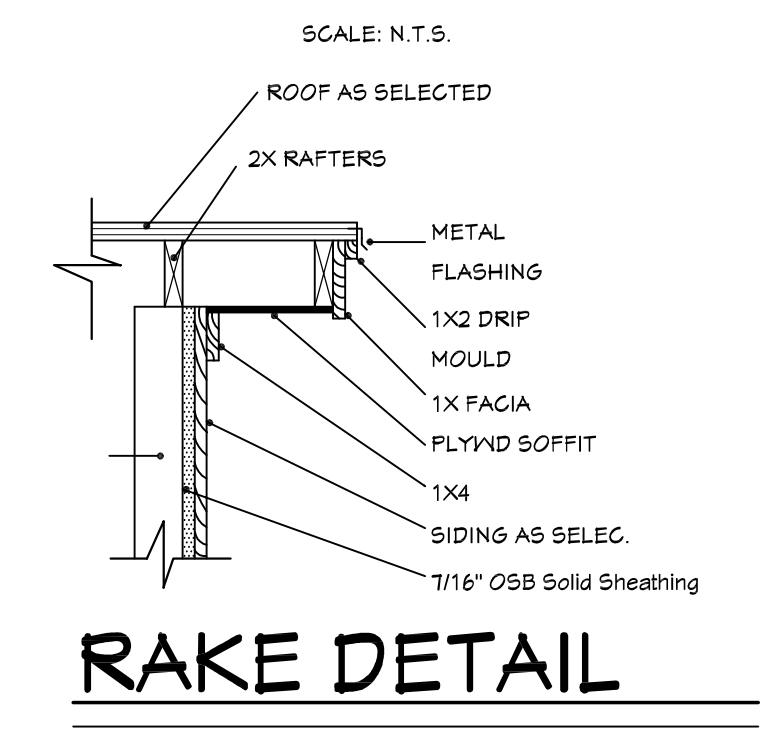


PERIMETER WITH BRICK LEDGE



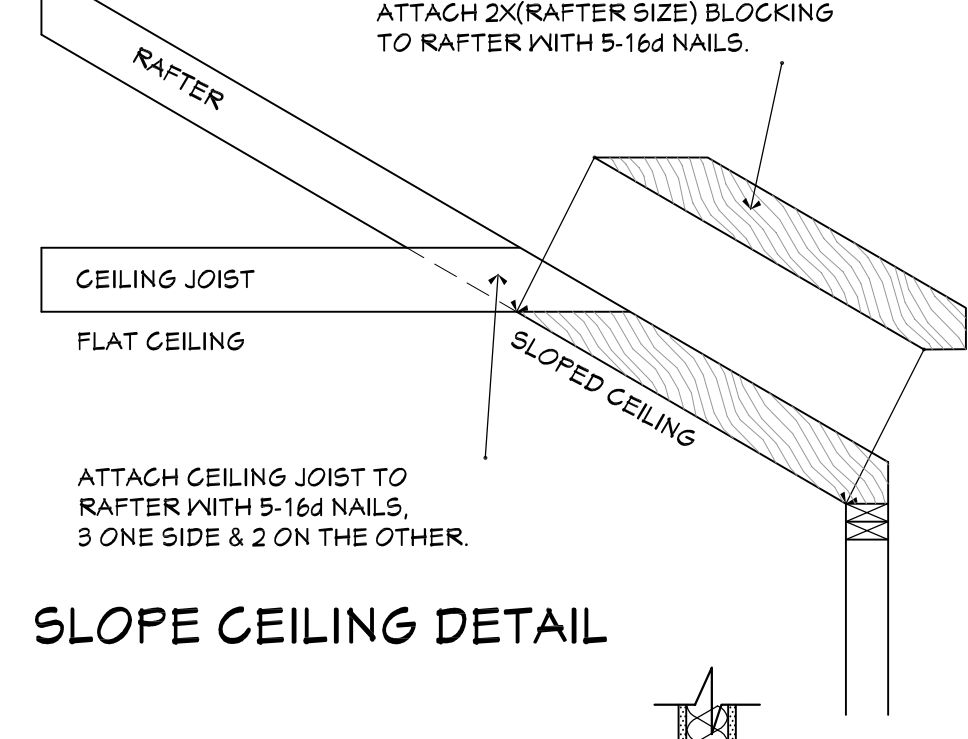
ALTERNATE CORNICE

SCALE: 3/4\"/>

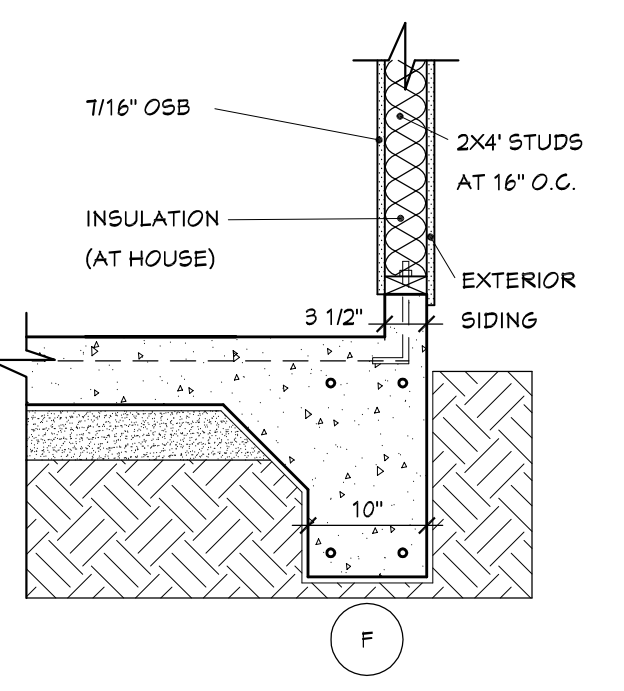


RAKE DETAIL

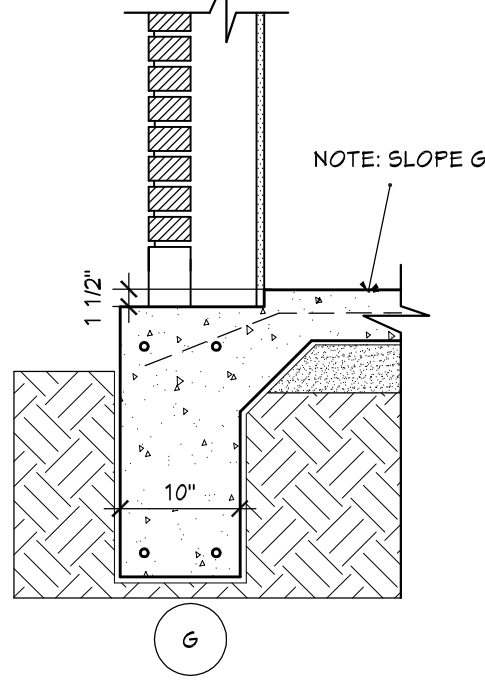
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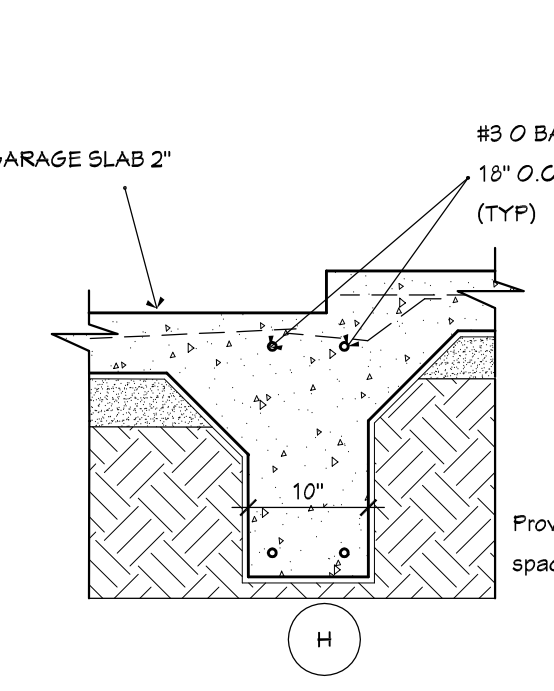
SLOPE CEILING DETAIL



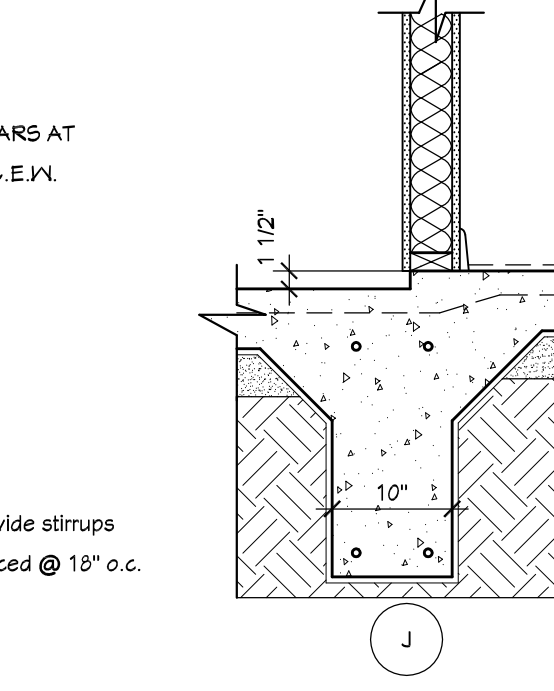
PERIMETER GARAGE WITH BRICK LEDGE



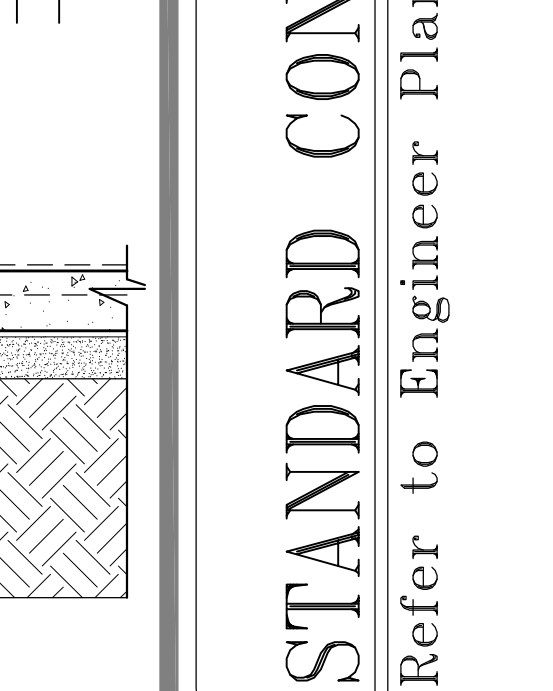
PERIMETER GARAGE (FRAME WALL)



PERIMETER AT GARAGE DOOR



TIRE BUMP AT GARAGE



HOUSE MARGIN

REVISIONS:

J. Karlovich
Home Design

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STANDARD CONSTRUCTION DETAILS
Refer to Engineer Plans for Specific Details



DATE: November 28, 2023

TO: Jake and Nicole Rashell
603 E. Rusk Street
Rockwall, Texas, 75087

FROM: Angelica Guevara
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: H2023-020; Small Matching Grant for 605 E. Washington Street

Mr. and Mrs. Rashell:

This letter serves to notify you that the above referenced case that you submitted for consideration by the City of Rockwall was approved by the Historic Preservation Advisory Board (HPAB) on November 16, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

Staff made the following recommendations concerning the applicant's request:

- (1) The applicant shall be required to receive the necessary building permit(s) prior to any construction on the subject property.
- (2) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Historic Preservation Advisory Board

On November 16, 2023, the Historic Board approved a motion to approve the Small Matching Grant by a vote of 4-1, with Chairman Miller dissenting and Board Members Freed and Lewis absent.

Small Matching Grant

The total valuation of the project provided by the applicant is \$120,000, and would be qualified for a Small Matching Grant of \$1,000.00.

Once the proposed project has been completed, the applicant shall submit a sworn statement of completion acknowledging that the project has been completed in accordance with the application submitted and approved by the HPAB. In addition, the applicant will be required to submit all receipts for the cost of the project. Within 15-days of the receipt of the sworn statement of completion, staff shall verify that the improvements have been completed as required by the HPAB and document the improvements for the City's records. If the improvements have been completed as approved, staff will issue a check request in the applicant's name to the Finance Department for the full amount approved by the HPAB.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-6438.

Sincerely,

Angelica Guevara; *Planning Technician*
City of Rockwall Planning and Zoning Department