



HISTORIC PRESERVATION ADVISORY BOARD APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

CASE NUMBER: H2021-009

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR HAS SIGNED BELOW.

DIRECTOR OF PLANNING: _____

DATE RECEIVED: _____

RECEIVED BY: _____

APPLICATION:

- CERTIFICATE OF APPROPRIATENESS (COA)
- LOCAL LANDMARK EVALUATION & DESIGNATION
- BUILDING PERMIT WAIVER & REDUCTION PROGRAM
- SMALL MATCHING GRANT APPLICATION

SPECIAL DISTRICTS [SELECT APPLICABLE]:

- OLD TOWN ROCKWALL HISTORIC (OTR) DISTRICT
- PLANNED DEVELOPMENT DISTRICT 50 (PD-50)
- SOUTHSIDE RESIDENTIAL NEIGHBORHOOD OVERLAY (SRO) DISTRICT
- DOWNTOWN (DT) DISTRICT

CONTRIBUTING STATUS [SELECT APPLICABLE]:

- LANDMARKED PROPERTY
- HIGH CONTRIBUTING PROPERTY
- MEDIUM CONTRIBUTING PROPERTY
- LOW CONTRIBUTING PROPERTY
- NON-CONTRIBUTING PROPERTY

CURRENT LAND USE OF THE SUBJECT PROPERTY:

- RESIDENTIAL
- COMMERCIAL

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 406 Munson Street
 SUBDIVISION Epshen LOT 4.56 BLOCK _____

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

IS THE OWNER OF THE PROPERTY THE PRIMARY CONTACT? YES NO APPLICANT(S) IS/ARE: OWNER TENANT NON-PROFIT RESIDENT

CHECK THIS BOX IF OWNER AND APPLICANT ARE THE SAME. OTHER, SPECIFY: _____

OWNER(S) NAME	<u>Bryan & Lauren Graves</u>	APPLICANT(S) NAME	_____
ADDRESS	<u>406 Munson Street Rockwall, Tx 75087</u>	ADDRESS	_____
PHONE	<u>469-338-6911</u>	PHONE	_____
E-MAIL	<u>info@gravesroofing.com</u>	E-MAIL	_____

SCOPE OF WORK/REASON FOR EVALUATION REQUEST [PLEASE PRINT]

CONSTRUCTION TYPE [CHECK ONE]: EXTERIOR ALTERATION NEW CONSTRUCTION ADDITION DEMOLITION
 RELOCATIONS OTHER, SPECIFY: _____

ESTIMATED COST OF CONSTRUCTION/DEMOLITION OF THE PROJECT (IF APPLICABLE): \$ 70,000.00

PROJECT DESCRIPTION. IN THE SPACE PROVIDED BELOW OR ON A SEPARATE SHEET OF PAPER, DESCRIBE IN DETAIL THE WORK THAT WILL BE PERFORMED ON SITE. FOR LOCAL LANDMARK EVALUATION & DESIGNATION REQUESTS INDICATE ANY ADDITIONAL INFORMATION YOU MAY HAVE CONCERNING THE PROPERTY, HISTORY, SIGNIFICANCE, PRESENT CONDITIONS, STATUS, CURRENT OR PAST USE(S), ETC. STAFF RECOMMENDS THAT PHOTOGRAPHS OF THE INTERIOR AND EXTERIOR OF THE PROPERTY ARE SUBMITTED WITH THIS APPLICATION.

Addition to the back of the house. Adding master bedroom and bathroom. Patio cover. Repour existing drive way to the side walk.

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OWNER'S SIGNATURE [Signature]

APPLICANT'S SIGNATURE [Signature]

Lauren & Bryan Graves
406 Munson Street
Rockwall, TX 75087
12/1/2021

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

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Sincerely,

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Lauren & Bryan Graves

Enclosure

GENERAL NOTES

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5. PROVIDE ONE # 3 OR HANGING SIZE CORNER BAR X 4" x 8" LONG (2" x 8" EACH LEG) FOR EACH HORIZONTAL BAR AT CORNER IN GRADE BEAM.
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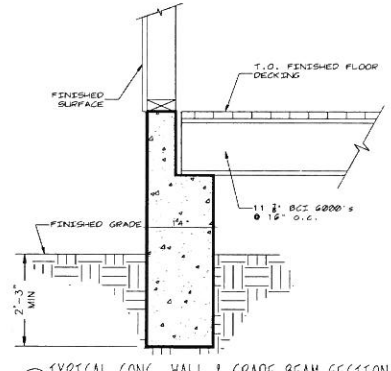
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7. COMPACTION OF FILL SHALL BE ACCOMPANIED WITH A MAXIMUM OF 2" LOOSE LEAFS SUBSTANCE SHALL BE PREPARED IN ACCORDANCE WITH SPECIFICATIONS IN THE PROJECT GEOTECHNICAL INVESTIGATION.

CONSTRUCTION NOTES

1. SITE SURGRADE, CONCRETE AND CURBING SHALL CONFORM TO ACI 307 "RECOMMENDED PRACTICE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION."
2. SITE GRADING AND DRAINAGE AROUND FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE WATER WILL NOT COLLECT AROUND SLAB. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED SLOPING AWAY FROM FOUNDATION WITH A MINIMUM SLOPE OF 2:1 (1/4" x 10' x 10' SLOPE) FOR A MINIMUM DISTANCE OF 5'-0" FROM FOUNDATION EDGE.
3. FEMUR GRADERS SHALL HAVE POSITIVE DRAINAGE (SLOPING AWAY FROM SLAB) A MINIMUM OF 4" CLEARANCE BETWEEN TOP OF SLAB AND OR BRICK LEGS AND SOIL SURFACE SHALL BE MAINTAINED.
4. BEAM TRENCHES SHALL BE CLEAN AND FREE OF LOOSE SOIL AND DEBRIS. BEAM BOTTOMS MUST BE FLOORED IN MINIMUM 1" UNDISTURBED SOIL OF PROPERLY COMPACTED FILL UNLESS PEEPS ARE SPECIFIED. BEAM TRENCH BOTTOMS MAY BE FLOORED BY A MINOR EXISTING SURFACE. ADEQUATE BEAM WIDTH BELOW FOUNDATION SLAB MUST BE EQUAL TO OR GREATER THAN BEAM WIDTH. 4" NOTED ON FOUNDATION PLAN.
5. AT CONTRACTORS EXPOSURE, A SAND CUSHION OR OTHER LAYER OF SELECT FILL MAY BE USED AS TOP LAYER FOR PAD. EXISTING SOILS MAY BE USED AS LONG AS THEY PRESENT NO HAZARD TO POLY VAPOR BARRIER.
6. A LAYER OF 6 MIL POLYETHYLENE WITH LAPPED JOINTS BETWEEN SAND & EXISTING MATERIAL AND SLAB IS REQUIRED UNLESS INDICATED OTHERWISE.
7. SLAB REINFORCING BARS SHALL BE SUPPORTED BY CHAIRS SPACED AT A 12" MAXIMUM INTERVAL, AND TIED AT ALL INTERSECTIONS TO PROVIDE PROPER CURING CONCRETE PLACEMENT.
8. CONSTRUCTION ACTIVITIES ARE PROHIBITED UNLESS INDICATED OTHERWISE.
9. CONCRETE SHALL VIBRATED TO ENSURE CONSOLIDATION.
10. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION NOTWITHSTANDING ANY DISCREPANCIES.
11. WHERE ARE DISCREPANCIES BETWEEN FOUNDATION PLAN AND ARCHITECTURAL PLANS ARE NOTED, ARCHITECTURAL PLANS SHALL CONTROL.
12. COORDINATE SYMBOLICAL OPENINGS WITH ARCHITECTURAL DRAWINGS FOR ALL OPENINGS, DROPS, SLOPES, BREAK LEGS, AND RELATED ITEMS.
13. IF SOLID ROCK IS ENCOUNTERED DURING TRENCHING OF BEAMS, BEAM DEPTH MAY BE REDUCED, BUT MUST MAINTAIN A MINIMUM OF 12" SOIL COVER UPON FINAL GRADE.
14. PLUMBING LINES SHALL NOT BE LOCATED ALONG SIDE OR IN BEAM TRENCHES.
15. SEWERLINES AND DREDS SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO ELIMINATE AND PREVENT FLOODING OF WATER.
16. TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER TO FOUNDATION AND THEN A HORIZONTAL DISTANCE EQUAL TO TWICE THE HALF THAT OF MATURE HEIGHT OF TREE OR SHRUB UNLESS PEEPS ARE SPECIFIED.

LIMITATIONS

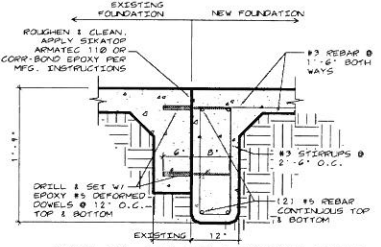
1. A PRE-PREP INSPECTION IS REQUIRED BY THE ENGINEER OF RECORD.
2. IN THE EVENT SO SOILS REPORT FOR THE SPECIFIC TRACT OF LAND UPON WHICH THE PROPOSED STRUCTURE IS TO BE CONSTRUCTED IS PROVIDED, THE ENGINEER WILL RELY ON INFORMATION CONTAINED IN SAID SOILS REPORT. AN INSPECTION PLAN AND SPECIFICATIONS, HOWEVER, THE ENGINEER DOES NOT ASSUME OR TAKE ANY RESPONSIBILITY WHATSOEVER FOR THE ACCURACY OF SAID SOILS REPORT, OR ANY INFORMATION CONTAINED THEREIN FOR WHICH THE ENGINEER HAS RELIED UPON TO DESIGN THE FOUNDATION FOR THE PROPOSED STRUCTURE. IF NO SOILS REPORT IS PROVIDED, THE ENGINEER'S DESIGN WILL BE BASED SOLELY ON AVERAGE SOIL CONDITIONS IN GENERAL LOCATION OF PROPOSED CONSTRUCTION AS A RESULT THE ENGINEER'S NO GUARANTEE, WARRANTY, OR REPRESENTATION AS TO THE ACCURACY OF DESIGN FOR THE PARTICULAR TRACT OF LAND UPON WHICH THE CLIENT PROPRIETOR TO CONSTRUCT A STRUCTURE, UNLESS THE ENGINEER SHALL WARN THE DESIGN TO BE FREE OF DEFECTS IF CONSTRUCTED UPON SOIL SUBSTANTIALLY SIMILAR IN ALL RESPECTS TO AVERAGE SOIL CONDITIONS FOR THE AREA. MINIMUM COVER OF SOIL LOCATED AT CORNER ARE INDICATED TO FLUCTUATE SEASONALLY DEPENDING ON THE AMOUNT OF RAINFALL & WEATHER PATTERNS. SURFACE DRAINAGE AND SUBSURFACE DRAINAGE CHARACTERISTICS.
3. FOR FOUNDATION TO PERFORM AS DESIGNED OWNER MUST ENSURE THAT SOIL INTERLUPE CONTENT IS MAINTAINED AT A CONSTANT LEVEL SURROUNDING THE FOUNDATION. DO NOT ALLOW SOIL TO DRY OUT TO A POINT WHERE THE SOIL GRACKS OR PULLS AWAY FROM THE FOUNDATION.
4. TO REDUCE CRACKING IN FOUNDATION, ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED SLOPING AWAY FROM THE FOUNDATION WITH A MINIMUM OF 2%.



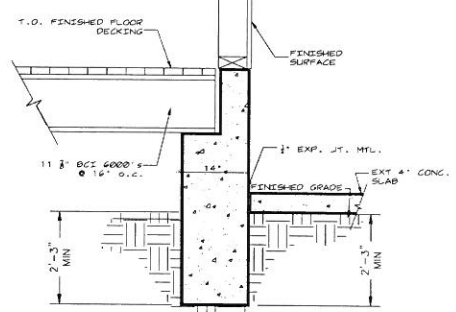
B TYPICAL EXTERIOR CONC. SLAB & GRADE BEAM SECTION
SCALE: 1" = 1'-0"

Mario Luis De Leon

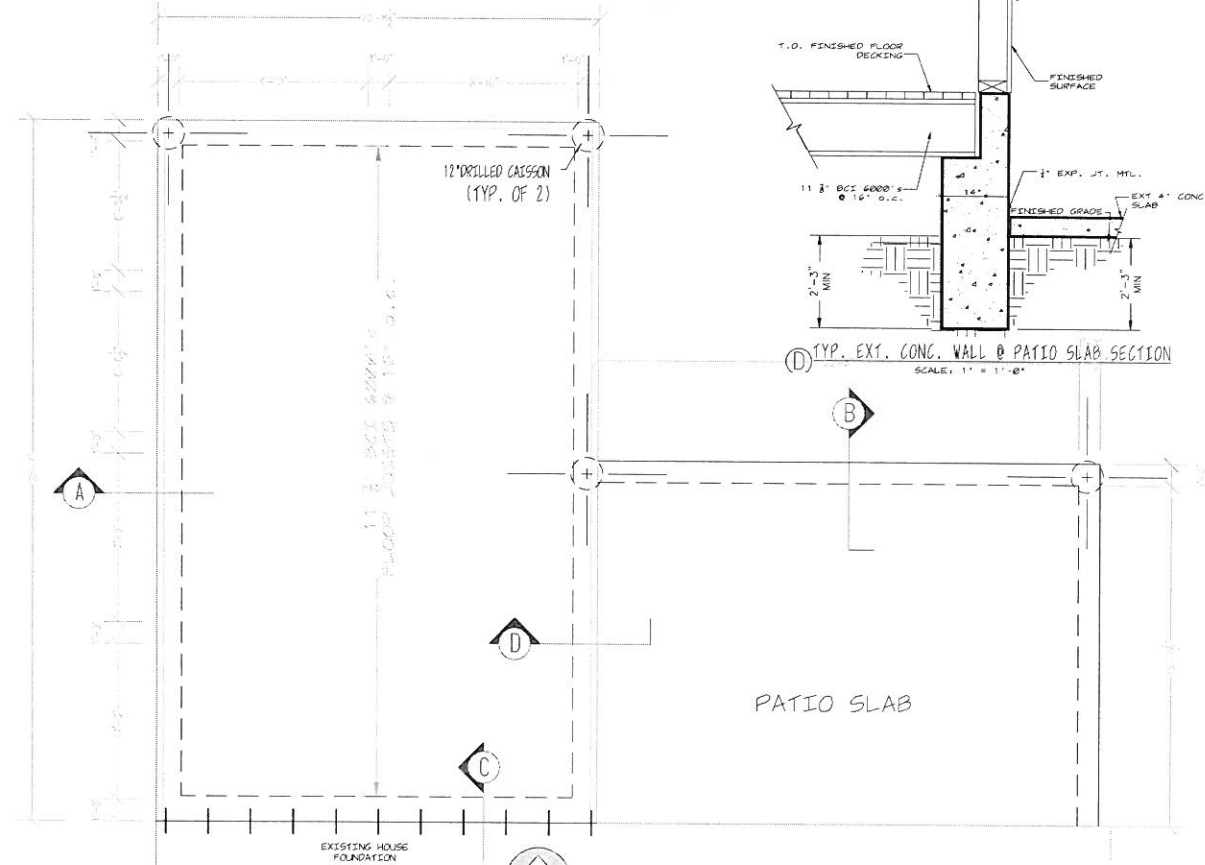
Digitally signed by Mario Luis De Leon
Date: 2021.11.20 20:14:24 -06'00'



C TYPICAL EXT. CONC. SLAB & GRADE BEAM SECTION
SCALE: 1" = 1'-0"



D TYP. EXT. CONC. WALL @ PATIO SLAB SECTION
SCALE: 1" = 1'-0"



FOUNDATION PLAN
SCALE: 3/16" = 1'-0" NORTH



ACD ADVANCED CONSTRUCTION STRUCTURE - FIRE PROTECTION
1520 E I-30 ROCKWALL, TX 75087
214-576-8148

NOT FOR CONSTRUCTION
APPROVED FOR CONSTRUCTION
DATE: 11/20/21
PROJECT: GRAVES RESIDENCE
FOUNDATION PLAN
SHEET 4 OF 4

GRAVES RESIDENCE
406 MUNSON ST. ROCKWALL, TX 75087
FOUNDATION PLAN

November 13 2021

SHEET
S1
OF
4

Mario Luis De Leon

Digitally signed by Mario Luis De Leon
Date: 2021.11.20 20:14:44 -06'00'



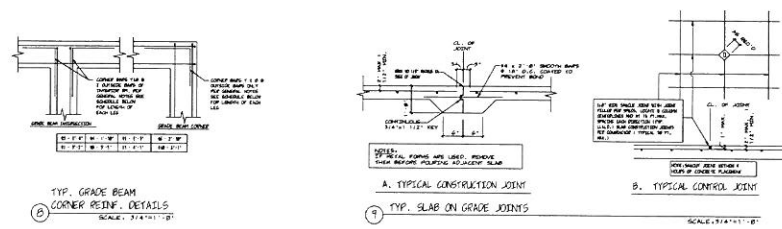
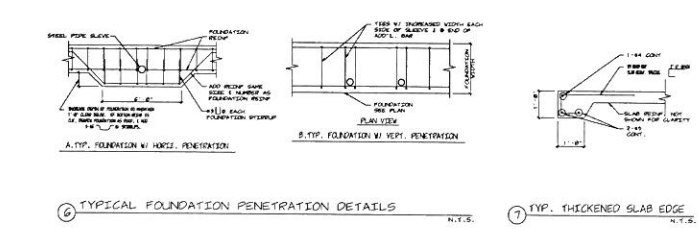
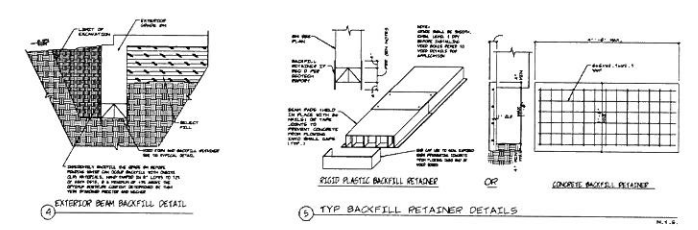
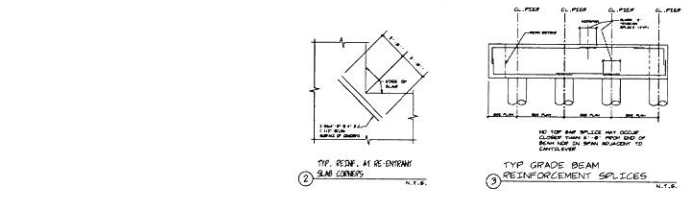
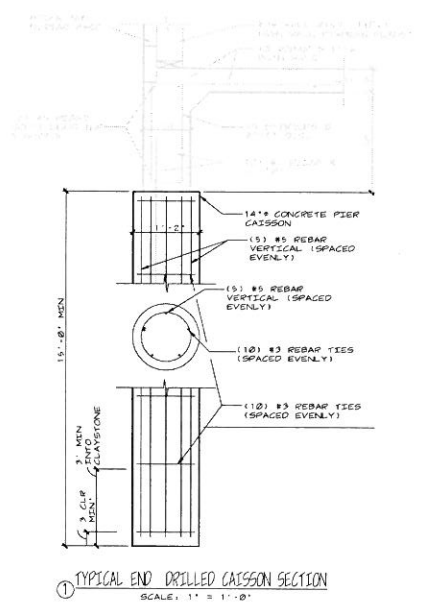
ACCD ADVANCED CONSTRUCTION DESIGN
STRUCTURE - TIME PROTECTION
1520 E I-30 ROCKWALL TX 75087
214-576-8148

PROFESSIONAL ENGINEER
MARIO LUIS DE LEON
LICENSE NO. 130547
EXPIRES 12/31/2024
1520 E I-30 ROCKWALL, TX 75087
214-576-8148
www.mid-engineering.com

GRAVES RESIDENCE
406 MUNSON ST ROCKWALL, TX 75087
FOUNDATION DETAILS

November 13 2021

SHEET
S2
OF
4



Mario Luis De Leon

Digitally signed by Mario Luis De Leon
Date: 2021.11.20 20:15:00 -06'00'



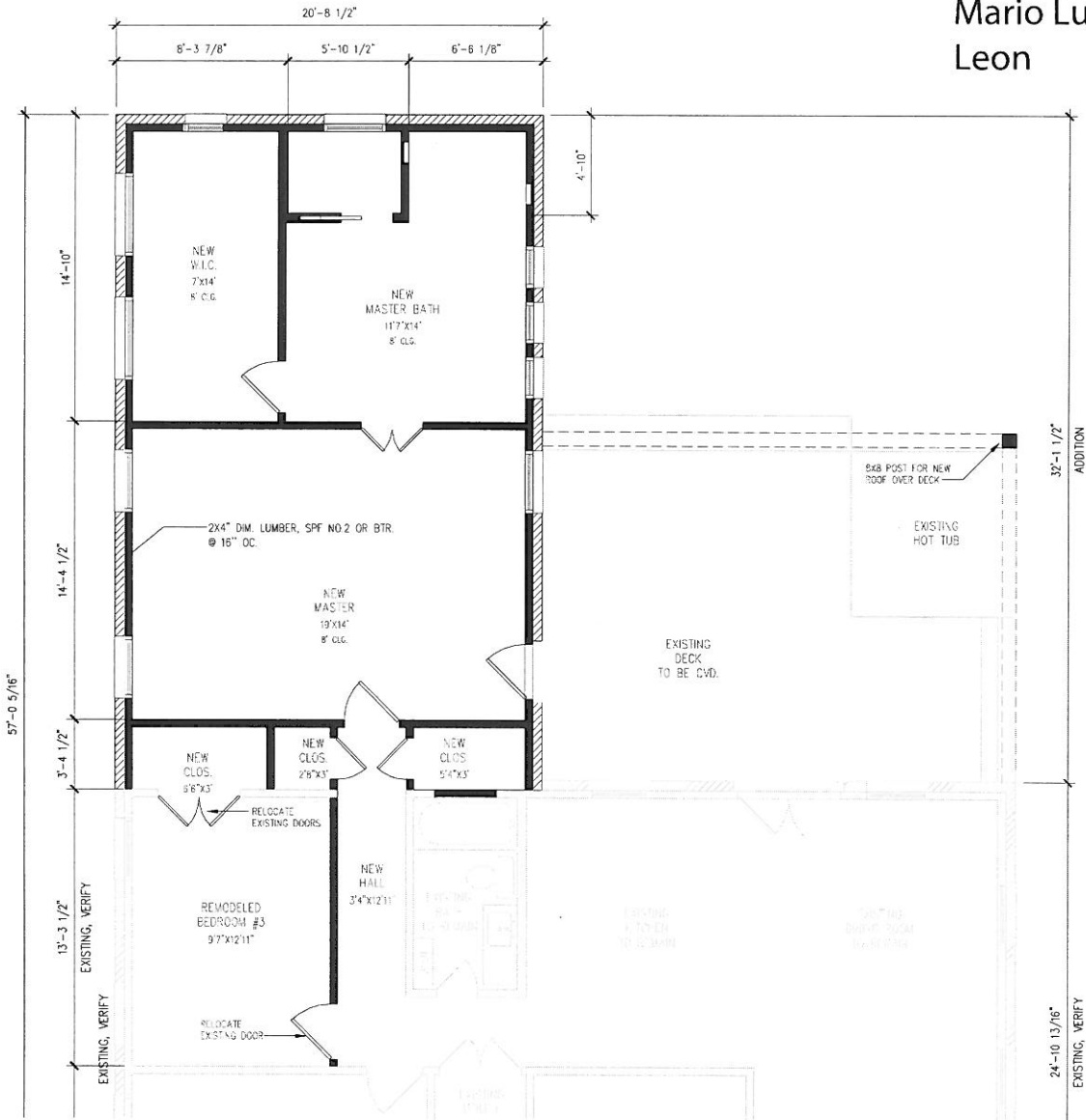
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THIS DOCUMENT IS THE PROPERTY OF ACCD. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF ACCD.

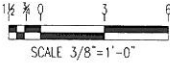
GRAVES RESIDENCE
406 MUNSON ST ROCKWALL, TX 75087
WALL FRAMING PLAN

November 13 2021

SHEET
03
OF
4



WALL FRAMING PLAN
SCALE: 3/16" = 1' - 0"





CITY OF ROCKWALL

HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Historic Preservation Advisory Board

DATE: December 16, 2021

APPLICANT: Lauren and Bryan Graves

CASE NUMBER: H2021-009; *Building Permit Fee Waiver for 406 Munson Street*

The applicants -- *Lauren and Bryan Graves* -- are requesting the approval of a *Building Permit Fee Waiver* for the construction of a new addition to an existing home, for repaving the existing driveway, and constructing a new patio cover. The applicant is proposing that the addition to the home be located in the rear of the subject property. The existing concrete driveway will be removed and repaved with concrete. The patio cover will be constructed to cover an existing patio space at the rear of the existing. On March 21, 2016, the City Council approved *Resolution No. 16-08* establishing the *Building Permit Fee Waiver Program* to provide an incentive for the rehabilitation or restoration of historic structures and other properties in certain areas of the City. For a residential property to be eligible for the *Building Permit Fee Waiver Program*, the property must be located within the Old Town Rockwall (OTR) Historic District or the Southside Residential Neighborhood Overlay (SRO) District and involve a minimum investment of \$5,000.00 for the rehabilitation or restoration project. Properties classified as *Contributing* (i.e. *High, Medium, or Low Contributing*) shall be eligible for a full waiver of building permit fees and properties classified as *Non-Contributing* shall be eligible for a reduction in permit fees of up to 50%. The applicant has provided a scope of work and a valuation of \$70,000.00 for the new addition to the existing home, the repaving of the existing driveway, and the new patio cover. Based on the property's designation as *Non-Contributing*, the building permit fee would be eligible for a 50% reduction under the *Building Permit Fee Waiver* program. The estimated building permit fees for these projects before and after the waiver are as follows:

PERMIT	FEE	ESTIMATED FEE AFTER 50% REDUCTION
SINGLE-FAMILY [REMODEL/ADDITION]	\$0.48/SF x 608 SF = \$291.84 ¹	\$145.92
PATIO COVERS/DECKS/CARPORTS	\$75.00	\$32.50
CONCRETE	\$.20/SF x 850 SF = \$170.00 ²	\$85.00

NOTES:

¹: Minimum fee is \$125.00.

²: Minimum fee is \$50.00.

Should the Historic Preservation Advisory Board (HPAB) approve the request, the applicants building permit fees would be reduced as shown above. Should the Historic Preservation Advisory Board (HPAB) have any questions concerning the applicant's request, staff and the applicant will be present at the December 16, 2021 meeting.



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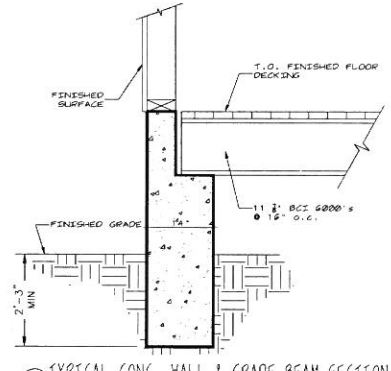
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5. SELECT FILL MATERIAL WITH A #21 REFINED SAND SHOULD BE COMPACTED TO A DRY DENSITY OF 115 STANDARD PENETRATION TEST WITH A MINIMUM COMPACTION OF 75 (1) OPTIMUM.
6. SLAY SOILS WITH A #21 EQUAL TO OR GREATER THAN #5 SHOULD BE COMPACTED TO A DRY DENSITY OF 115 STANDARD PENETRATION TEST WITH A MINIMUM COMPACTION OF 85 TO 91 OPTIMUM AT TIME OF PLACEMENT.
7. COMPACTION OF FILL SHALL BE ACCOMPANIED WITH A MAXIMUM OF 2" LOOSE LAYS SUBSTANCE SHALL BE PREPARED IN ACCORDANCE WITH SPECIFICATIONS IN THE PROJECT GEOTECHNICAL INVESTIGATION.

CONSTRUCTION NOTES

1. SITE SURGRADE, CONCRETE AND CURBING SHALL CONFORM TO ACI 307 "RECOMMENDED PRACTICE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION."
2. SITE GRADING AND DRAINAGE AROUND FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE WATER WILL NOT COLLECT AROUND SLAB. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED SLOPING AWAY FROM FOUNDATION WITH A MINIMUM SLOPE OF 2:1 (1/4" = 3/16" DUMP) FOR A MINIMUM DISTANCE OF 5'-0" FROM FOUNDATION EDGE.
3. FENCE GRADERS SHALL HAVE POSITIVE DRAINAGE (SLOPING AWAY FROM SLAB) A MINIMUM OF 4" CLEARANCE BETWEEN TOP OF SLAB AND OR BRICK LEGS AND SOIL SURFACE SHALL BE MAINTAINED.
4. BEAM TRENCHES SHALL BE CLEAN AND FREE OF LOOSE SOIL AND DEBRIS. BEAM BOTTOMS MUST BE FLOORED IN MINIMUM 1" UNDISTURBED SOIL OR PROPERLY COMPACTED FILL. UNLESS PEEPS ARE SPECIFIED, BEAM TRENCH BOTTOMS MAY BE FLOORED BY A MINOR EXISTING SURFACE. ADEQUATE BEAM WIDTH BELOW FOUNDATION SLAB MUST BE EQUAL TO OR GREATER THAN BEAM WIDTH. 4" NOTED ON FOUNDATION PLAN.
5. AT CONTRACTORS EXPOSURE, A SAND CUSHION OR OTHER LAYER OF SELECT FILL MAY BE USED AS TOP LAYER FOR PAD. EXISTING SOILS MAY BE USED AS LONG AS THEY PRESENT NO HAZARD TO POLY VAPOR BARRIER.
6. A LAYER OF 6 MIL POLYETHYLENE WITH LAPPED JOINTS BETWEEN SAND & EXISTING MATERIAL AND SLAB IS REQUIRED UNLESS INDICATED OTHERWISE.
7. SLAB REINFORCING BARS SHALL BE SUPPORTED BY CHAIRS SPACED AT A 1'-0" MAXIMUM INTERVAL, AND TIED AT ALL INTERSECTIONS TO PROVIDE PROPER CURING CONCRETE PLACEMENT.
8. CONSTRUCTION ACTIVITIES ARE PROHIBITED UNLESS INDICATED OTHERWISE.
9. CONCRETE SHALL VIBRATED TO ENSURE CONSOLIDATION.
10. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION NOTIFY ENGINEER OF ANY DISCREPANCIES.
11. WHERE ARE DISCREPANCIES BETWEEN FOUNDATION PLAN AND ARCHITECTURAL PLANS ARE NOTED, ARCHITECTURAL PLANS SHALL GOVERN.
12. COORDINATE SYMBOLICAL OPENINGS WITH ARCHITECTURAL DRAWINGS FOR ALL OPENINGS, DROPS, SLOPES, BREAK LEGS, AND RELATED ITEMS.
13. IF SOLID ROCK IS ENCOUNTERED DURING TRENCHING OF BEAMS, BEAM DEPTH MAY BE REDUCED, BUT MUST MAINTAIN A MINIMUM OF 12" SOIL COVER UPON FINAL GRADE.
14. PLUMBING LINES SHALL NOT BE LOCATED ALONG SIDE OR IN BEAM TRENCHES.
15. SEWERLINES AND DREDS SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO ELIMINATE AND PREVENT FLOODING OF WATER.
16. TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER TO FOUNDATION AND THEN A HORIZONTAL DISTANCE EQUAL TO TWICE THE HALF THAT OF MATURE HEIGHT OF TREE OR SHRUB UNLESS PEEPS ARE SPECIFIED.

LIMITATIONS

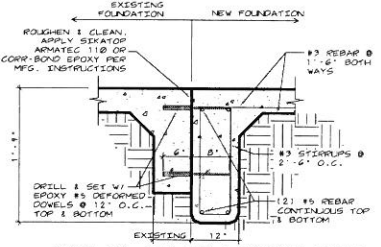
1. A PRE-PREP INSPECTION IS REQUIRED BY THE ENGINEER OF RECORD.
2. IN THE EVENT SO SOILS REPORT FOR THE SPECIFIC TRACT OF LAND UPON WHICH THE PROPOSED STRUCTURE IS TO BE CONSTRUCTED IS PROVIDED, THE ENGINEER WILL RELY ON INFORMATION CONTAINED IN SAID SOILS REPORT. AN INSPECTION PLAN AND SPECIFICATIONS, HOWEVER, THE ENGINEER DOES NOT ASSUME OR TAKE ANY RESPONSIBILITY WHATSOEVER FOR THE ACCURACY OF SAID SOILS REPORT, OR ANY INFORMATION CONTAINED THEREIN FOR WHICH THE ENGINEER HAS RELIED UPON TO DESIGN THE FOUNDATION FOR THE PROPOSED STRUCTURE. IF NO SOILS REPORT IS PROVIDED, THE ENGINEER'S DESIGN WILL BE BASED SOLELY ON AVERAGE SOIL CONDITIONS IN GENERAL LOCATION OF PROPOSED CONSTRUCTION AS A RESULT OF THE ENGINEER'S NO GUARANTEE, WARRANTY, OR REPRESENTATION AS TO THE ACCURACY OF DESIGN FOR THE PARTICULAR TRACT OF LAND UPON WHICH THE CLIENT PROPRIETOR TO CONSTRUCT A STRUCTURE. UNLESS THE ENGINEER SHALL WARN THE DESIGN TO BE FREE OF DEFECTS OF CONSTRUCTION UPON SOIL SUBSTANTIALLY SCHEDULED IN ALL RESPECTS TO AVERAGE SOIL CONDITIONS FOR THE AREA. MINIMUM COVER OF SOIL LOCATED AT CORNER ARE INDICATED TO FLUCTUATE SEASONALLY DEPENDING ON THE AMOUNT OF RAINFALL & WEATHER PATTERNS. SURFACE DRAINAGE AND SUBSURFACE DRAINAGE CHARACTERISTICS.
3. FOR FOUNDATION TO PERFORM AS DESIGNED OWNER MUST ENSURE THAT SOIL INTERLUPE CONTENT IS MAINTAINED AT A CONSTANT LEVEL SURROUNDING THE FOUNDATION. DO NOT ALLOW SOIL TO DRY OUT TO A POINT WHERE THE SOIL GRACKS OR PULLS AWAY FROM THE FOUNDATION.
4. TO REDUCE CRACKING IN FOUNDATION, ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED SLOPING AWAY FROM THE FOUNDATION WITH A MINIMUM OF 2%.



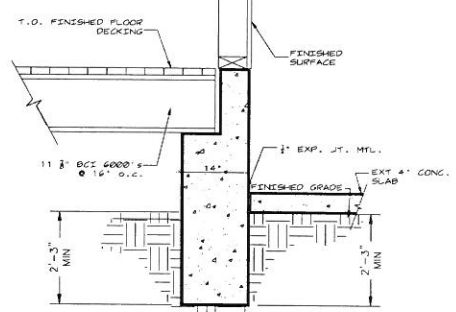
B TYPICAL EXTERIOR CONC. SLAB & GRADE BEAM SECTION
SCALE: 1" = 1'-0"

Mario Luis De Leon

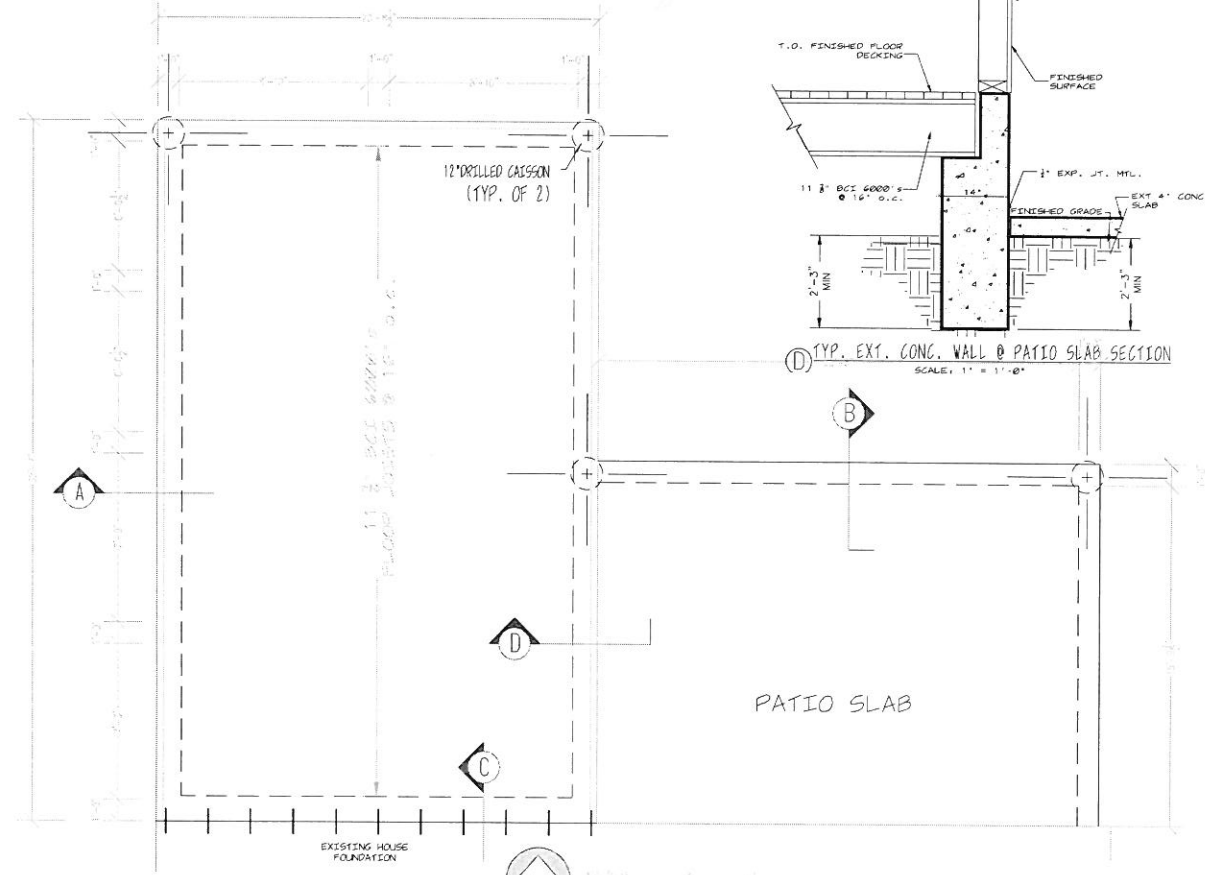
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Date: 2021.11.20 20:14:24 -06'00'



C TYPICAL EXT. CONC. SLAB & GRADE BEAM SECTION
SCALE: 1" = 1'-0"



D TYP. EXT. CONC. WALL @ PATIO SLAB SECTION
SCALE: 1" = 1'-0"



FOUNDATION PLAN
SCALE: 3/16" = 1'-0" NORTH



ACD ADVANCED CONSTRUCTION STRUCTURE - FIRE PROTECTION
1520 E I-30 ROCKWALL, TX 75087
214-576-8148

NOT FOR CONSTRUCTION
APPROVED FOR CONSTRUCTION
DATE: 11/20/21
PROJECT: 214-576-8148

GRAVES RESIDENCE
406 MUNSON ST. ROCKWALL, TX 75087
FOUNDATION PLAN

November 13 2021

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Mario Luis De Leon

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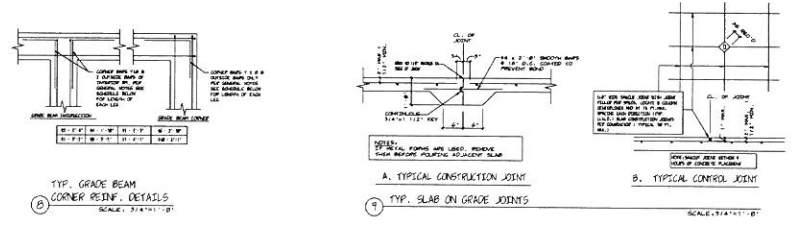
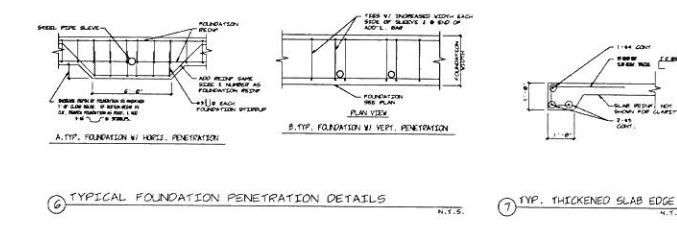
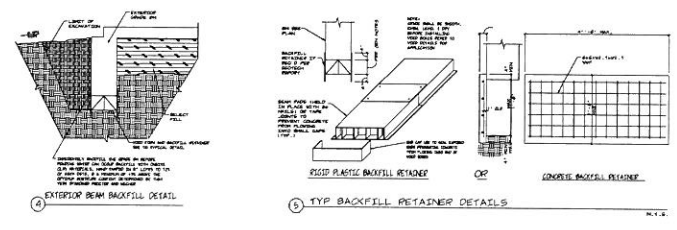
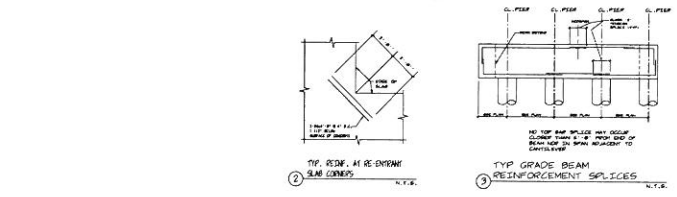
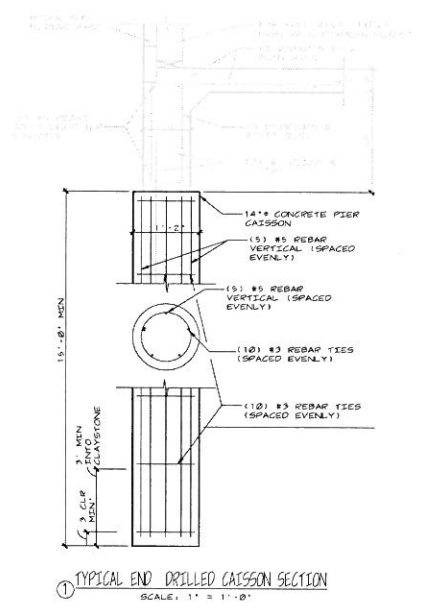
ACCD ADVANCED CONSTRUCTION DESIGN
 STRUCTURE - TIME PROTECTION
 1520 E I-30 ROCKWALL TX 75087
 214-576-8148

PROFESSIONAL ENGINEER
 MARIO LUIS DE LEON
 LICENSE NO. 130547
 STATE OF TEXAS
 EXPIRES 12/31/2024

GRAVES RESIDENCE
 406 MUNSON ST ROCKWALL, TX 75087
FOUNDATION DETAILS

November 13 2021

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Mario Luis De Leon

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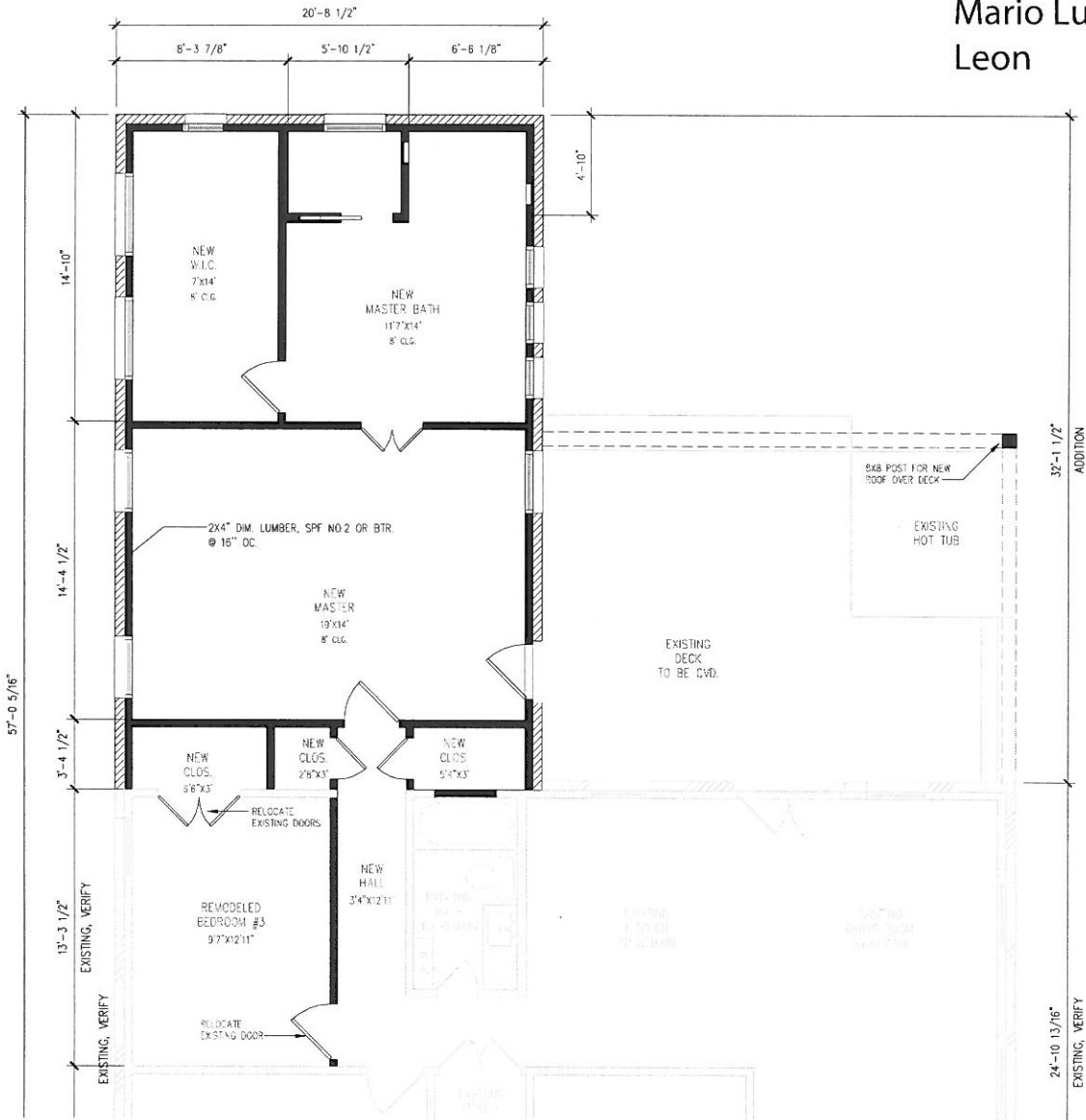
ACCD ADVANCED FIRE DETECTION
STRUCTURE FIRE PROTECTION
1520 E I-30 ROCKWALL TX 75087
214-576-8148

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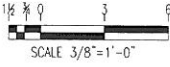
GRAVES RESIDENCE
406 MUNSON ST ROCKWALL, TX 75087
WALL FRAMING PLAN

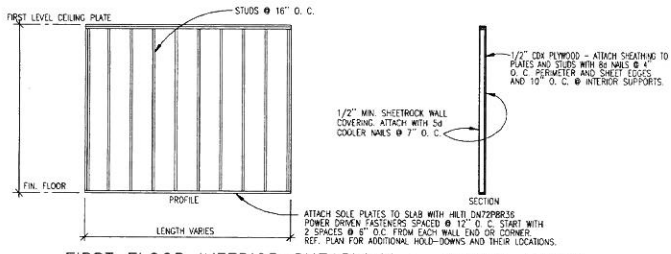
November 13 2021

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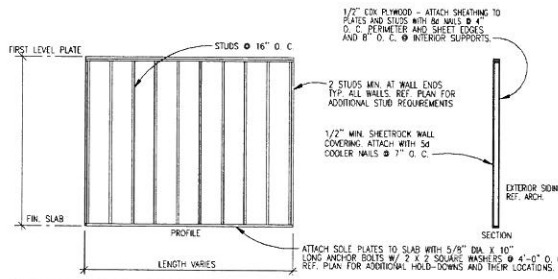


WALL FRAMING PLAN
SCALE: 3/16" = 1'-0"





FIRST FLOOR INTERIOR SHEARWALL - TYPICAL DETAIL



FIRST FLOOR EXTERIOR SHEARWALL - TYPICAL DETAIL

DESIGN CRITERIA:

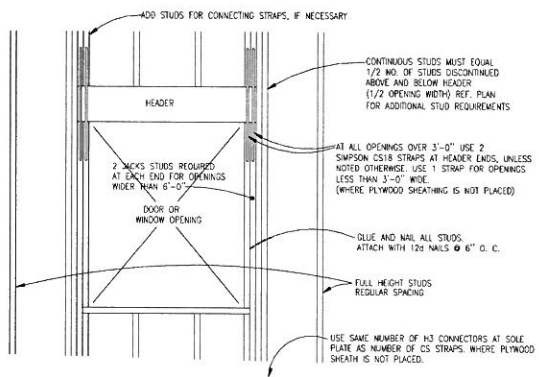
2025 WITH REVISIONS
 LIVE LOADS FLOORING - 40 PSF
 CEILING - 20 PSF
 ROOF - 30 PSF
 ATIC ACCESS STAIR - 350 LBS.
 CAPACITY
 WIND SPEED - 130 MPH
 RISK CATEGORY 1
 MATERIALS AND DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 UNLESS NOTED OTHERWISE, 10'-0" MAX.

HEADERS:

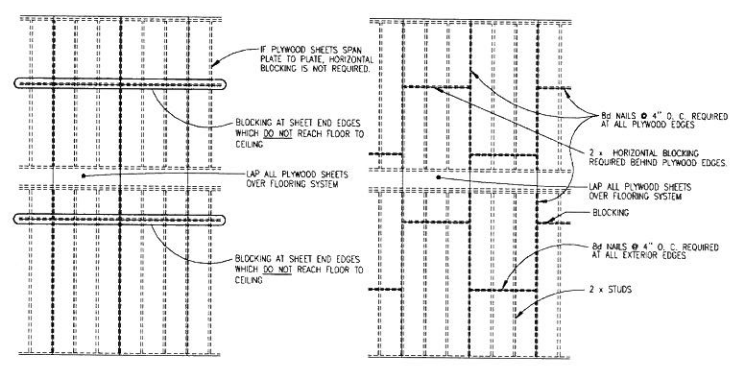
ALL FIRST FLOOR HEADERS AND SECOND FLOOR LOAD BEARING HEADERS TO BE A MIN. OF 2 x 12 ON EDGE, UNLESS NOTED OTHERWISE 10'-0" MAX.
 ALL OTHER HEADERS:
 2 - 2 x 8's on Edge 3'-0" MAX
 2 - 2 x 8's on Edge 4'-0" MAX
 2 - 2 x 8's on Edge 6'-0" MAX
 2 - 2 x 10's on Edge 8'-0" MAX
 2 - 2 x 12's on Edge 10'-0" MAX

TYPICAL BEAM SIZES	EMERGENCY BEAMS (SHOULDER / ORANGE)	SIZE SIMPSON HANGER
1 1/2" x 11 1/2"	H04047	H04047
2" x 11 1/2"	H04047	H04047
3" x 11 1/2"	H04047	H04047
4" x 11 1/2"	H04047	H04047
5" x 11 1/2"	H04047	H04047
6" x 11 1/2"	H04047	H04047
8" x 11 1/2"	H04047	H04047
10" x 11 1/2"	H04047	H04047
12" x 11 1/2"	H04047	H04047
14" x 11 1/2"	H04047	H04047
16" x 11 1/2"	H04047	H04047
18" x 11 1/2"	H04047	H04047
20" x 11 1/2"	H04047	H04047
22" x 11 1/2"	H04047	H04047
24" x 11 1/2"	H04047	H04047
26" x 11 1/2"	H04047	H04047
28" x 11 1/2"	H04047	H04047
30" x 11 1/2"	H04047	H04047
32" x 11 1/2"	H04047	H04047
34" x 11 1/2"	H04047	H04047
36" x 11 1/2"	H04047	H04047
38" x 11 1/2"	H04047	H04047
40" x 11 1/2"	H04047	H04047
42" x 11 1/2"	H04047	H04047
44" x 11 1/2"	H04047	H04047
46" x 11 1/2"	H04047	H04047
48" x 11 1/2"	H04047	H04047
50" x 11 1/2"	H04047	H04047
52" x 11 1/2"	H04047	H04047
54" x 11 1/2"	H04047	H04047
56" x 11 1/2"	H04047	H04047
58" x 11 1/2"	H04047	H04047
60" x 11 1/2"	H04047	H04047
62" x 11 1/2"	H04047	H04047
64" x 11 1/2"	H04047	H04047
66" x 11 1/2"	H04047	H04047
68" x 11 1/2"	H04047	H04047
70" x 11 1/2"	H04047	H04047
72" x 11 1/2"	H04047	H04047
74" x 11 1/2"	H04047	H04047
76" x 11 1/2"	H04047	H04047
78" x 11 1/2"	H04047	H04047
80" x 11 1/2"	H04047	H04047
82" x 11 1/2"	H04047	H04047
84" x 11 1/2"	H04047	H04047
86" x 11 1/2"	H04047	H04047
88" x 11 1/2"	H04047	H04047
90" x 11 1/2"	H04047	H04047
92" x 11 1/2"	H04047	H04047
94" x 11 1/2"	H04047	H04047
96" x 11 1/2"	H04047	H04047
98" x 11 1/2"	H04047	H04047
100" x 11 1/2"	H04047	H04047

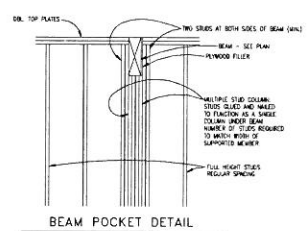
PLYWOOD AND SHEETROCK NAILING DIAGRAMS
 INDICATED ON PLAN BY "SW". LENGTH SPECIFIED WHERE REQUIRED IS GIVEN IN FEET.



WALL REIN. AROUND WINDOW OPENINGS



PLYWOOD BLOCKING AND NAILING PATTERN FOR EXTERIOR WALLS



BEAM POCKET DETAIL

- GENERAL NOTES - WOOD**
- All joists and rafters shall be #2 SYP unless otherwise noted. Multiple 2 x 12 beams shall be of #2 SYP. All wall studs to be stud grade or # 3 SYP. Attach all rafter ends to exterior wall framing with Simpson H3 connectors. Use Simpson HCP for Hojo & Valley connectors. In lieu of #3 bolts as noted in the I.R.C. attach ceiling and floor joists to top plates w/ 3 - 12d common nails (denoted) at each end where a connector is not used.
 - Bolt holes through wood shall be drilled 1/16" maximum larger than the diameter of the bolts to be installed. Bolts through wood shall be fitted with standard washers.
 - Wood framing members and connections shall be constructed and nailed in accordance with the I.R.C. Building Code, latest edition, unless otherwise noted, detailed or specified.
 - Wall studs to be 2 x 4 or 2 x 6 studs @ 16" O.C. Attach each stud to top and sole plates with 2-16d nails each. At exterior walls without plywood sheathing attach studs to the bottom sole plate with an additional Simpson H3 Hurricane anchor at 32" O.C. See plan notes for additional connections.
 - Joists under non-load bearing partitions shall be doubled.
 - Provide Simpson Generalized "U & LUS" standard joint hangers at solid sawn flush joint connections, and for trusses at flush beam connections, or use Simpson LBU hangers. All flush beam to - beam connections are to be made with Simpson "HOLT & GLT" beam connections, U, N, D. All Simpson specifications and recommendations are to be followed, unless noted otherwise.
 - Let-in diagonal wood bracing shall be continuous #2 KD 1 x 6, well anchored to head and sill plates and attached to each wall stud along gagepost.
 - Plywood or sheetrock shall bear on AFPA Framemark and be stamped performance rated for application and exposure on panel. Face grain is to run perpendicular to support members for horizontal (floor and roof) sheathing.
 - Provide the same number of wall studs under beams as the number of members in the beams unless noted otherwise (3 - 2 x 4 studs under each end of a beam made of 3 - 2 x 10 members). Studs to be gaged and nailed to function as a single column.
 - Wood in direct contact with concrete or masonry shall be treated.
 - Wood columns and posts shall be framed to true end bearings, and shall be positively anchored to foundation with approved post bases. Support column and post securely in position and protect base from deterioration. Columns and posts of treated wood may be placed directly on concrete or masonry. Use treated wood for all floor joists which are exposed or within 18" of the ground, or in permanent contact with earth.
 - Joists shall be laterally supported at the ends, at each support and at 8'-0" O.C. maximum by solid blocking. Where the ends of joists are nailed to a flush header, bond or rim joists or to an adjoining stud, end blocking may be omitted. U.N.D. at shearwalls. Solid blocking shall be not less than two inches (2") in thickness and shall match the depth of the joist.
 - At exterior sole plates provide 5/8" dia. x 10" long anchor bolts, with 2 x 2 square washers, at 4'-0" (max.) o. c., with bolts of 12" maximum from wall ends. Bolts shall be embedded 7" minimum into concrete. As an alternate Simpson "MAG" nails - deems may be used. Place 6" from wall ends and space at 2'-8" O.C. See plans for any additional spacing and hold-down and anchoring requirements.
 - All beams made up of multiple 2 x 8 joists shall be connected as per the I.R.C. Code requirements, or local code, whichever is stricter.
 - Fitch beam bolts shall be 3/4" diameter, U. N. D., located 2" from steel plate edges and shall be staggered. Provide two (2) standard washers per bolt, one (1) washer installed on each side of beam.
 - Floor ceiling to be min. 3/4" T&G plywood nailed to floor framing with 10d nails spaced at 4" o. c. at plywood sheet edges and 10" o. c. at interior supports. (6 gauge screws in 1 1/2" min. penetration into support member may be used in lieu of 10d nails for decking attachment, same spacing as nails.)
 - If not specified by applicable building codes, wood members, connections and construction shall comply with AIC Timber Construction Manual requirements, latest edition.
 - All Simpson connectors used with treated wood members treated with chromated copper arsenate (CCA-C) or DOF sodium borate (SBB) should be coated with standard G90 galvanizing and connected with nails, screws, or bolts that are post hot dip galvanized. All Simpson connectors used with wood members treated with alkaline copper quat (ACQ-C) and ACQ-D) or copper azole (CBA-A and CBA-B) or any other "non-DOF" borate should be coated with Simpson Z max (G185) or post hot dip galvanized (HDG) coated with Simpson Z max (G185) or post hot dip galvanized (HDG) or are stainless steel (SS300). Wood treated with ammoniacal copper zinc arsenate (ACZA) or any other preservative treatment not noted above is NOT ALLOWED for construction.
 - For engineered wood products noted on plans, all manufacturer specifications and installation requirements must be followed U.N.D.



ACCD ADVANCED CONSTRUCTION DETAILING & FIRE PROTECTION
 1520 E I-30 ROCKWALL TX 75087
 214-576-8148

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GRAVES RESIDENCE
 406 MUNSON ST ROCKWALL, TX 75087
WALL FRAMING DETAILS

Digitally signed by Mario Luis De Leon
 Date: 2021.11.20 20:15:27 -06'00'

November 13 2021

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DATE: December 21, 2021

TO: Bryan & Lauren Graves
406 Munson St.
Rockwall, Texas, 75087

FROM: Andrew Reyna
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: H2021-009; Building Permit Fee Waiver for 406 Munson Street

Bryan & Lauren Graves:

This letter serves to notify you that the above referenced case, that you submitted for consideration by the City of Rockwall, was approved by the Historic Preservation Advisory Board (HPAB) on 12/16/2021. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Historic Preservation Advisory Board

On December 16, 2021, the Historic Preservation Advisory Board approved a motion to approve the Certificate of Appropriateness (COA) by a vote of 5-0, with Commissioner(s) McClintock and Bowlin absent.

Building Permit Fee Waiver

The building permit fee would be eligible for a full waiver of the permit fees. The applicant shall be required to provide staff with all receipts for the cost of the project to verify the valuation of the project as submitted on the application for this case

Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-6488.

Sincerely,

A handwritten signature in black ink, appearing to read 'AR', is written over a white background.

Andrew Reyna
Planner