



CITY OF ROCKWALL

HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Historic Preservation Advisory Board
DATE: November 21, 2019
APPLICANT: Rick Cawthon
CASE NUMBER: H2019-018; *Small Matching Grant*

SUMMARY

Hold a public hearing to discuss and consider a request by Rick Cawthon for a Small Matching Grant allowing exterior modifications to a *Non-Contributing Property* being a 0.323-acre tract of land identified as a portion of Block 22, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 205 N. Clark Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1959 and classified as a *Non-Contributing* property according to the 2017 Historic Resources Survey. Existing on the subject property is a single-family home that was constructed in 1980 -- *according to the Rockwall Central Appraisal District (RCAD)*. The existing home is approximately 1,146 SF, one (1) story in height, and is clad with cementitious lap siding. The applicant is requesting a small matching grant in conjunction with a request for a Certificate of Appropriateness (COA) [*Case No. H2019-017*] to allow exterior modifications to a single-family home on the subject property.

CONFORMANCE TO THE SMALL MATCHING GRANTS REQUIREMENTS

According to Section 8, *Small Matching Grants*, of Article XI, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), residential properties located within the Old Town Rockwall (OTR) Historic or the Southside Residential Neighborhood Overlay (SRO) District are eligible for matching funds of 50% of the total project. The maximum grant amount for a *Non-Contributing Property* is \$500.00 and the project must include improvements that are visible from the street. In this case, the subject property is located within the Old Town Rockwall (OTR) District and is classified as a *High Contributing Property*. The project includes improvements that will be visible from the street (*i.e. an addition to the home*) and based on the applicant's scope of work, the property is eligible for matching funds. Based on the scope of work and the total valuation of \$110,000.00, the replacement of the cementitious lap siding qualifies for a small matching grant of up to \$500.00; however, approval of this request is discretionary for the Historic Preservation Advisory Board (HPAB).

As of November 18, 2019, the Historic Preservation Advisory Board (HPAB) has approved one (1) small matching grants for FY2019. Should this request be approved, the Small Matching Grants Fund would be reduced to \$3,500.

CONDITIONS OF APPROVAL

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Small Matching Grant, staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



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0 12.5 25 50 75 100 Feet

H2019-018 - 205 N. CLARK STREET
HISTORICAL - LOCATION MAP = 



INTERURBAN

CLARK

KAUFMAN



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



10/19/2019

Rick and Paulette Cawthon

205 North Clark

Rockwall Texas 75087

Rickgcawthon@gmail.com

214-726-5559

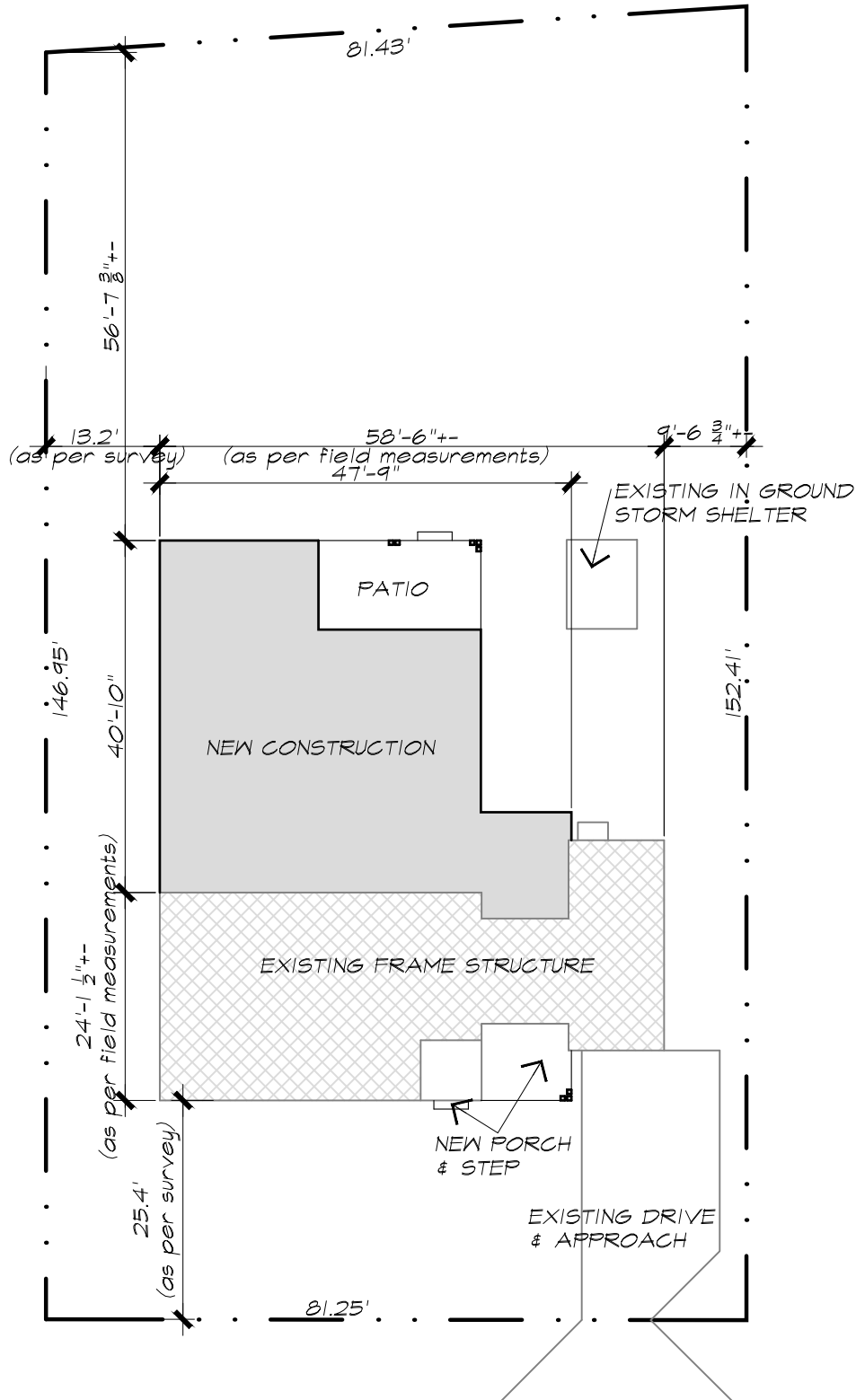
To whom it may concern at the City of Rockwall.

We are requesting a COA to add approximately 1400 square feet to our house located at the above address. Please review the attached site plan, survey, elevation drawings, material list and photographs.

Please let me know if you have additional questions.

Sincerely,

Rick and Paulette



205 N. CLARK ST.

LOT AREA = 12,161.73 SF
 LOT COVERAGE = 24.8%

PLAN # C 2431
 DATE: 10/17/2019

SITE PLAN

SCALE: 1" = 20'-0"

M. Rouse Designs

2307 HIGH RIDGE
 SACHSE, TEXAS 75048

(214) 801-9944

mrousedesigns.com

"WHERE DESIGN EXCELLENCE BEGINS"

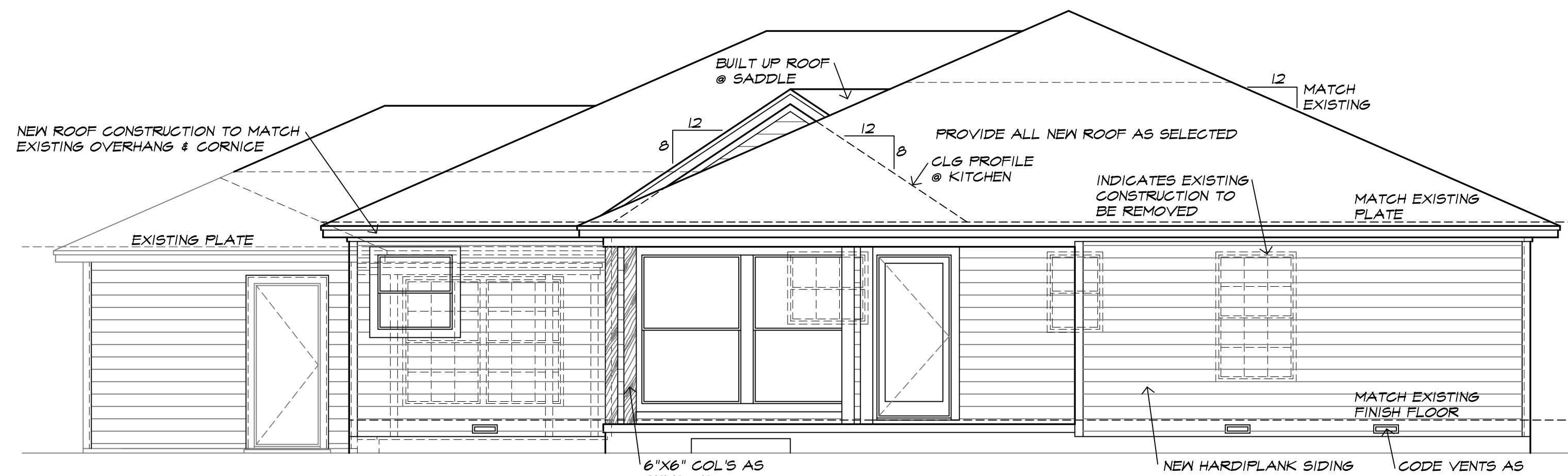
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PART OF BLOCK 22

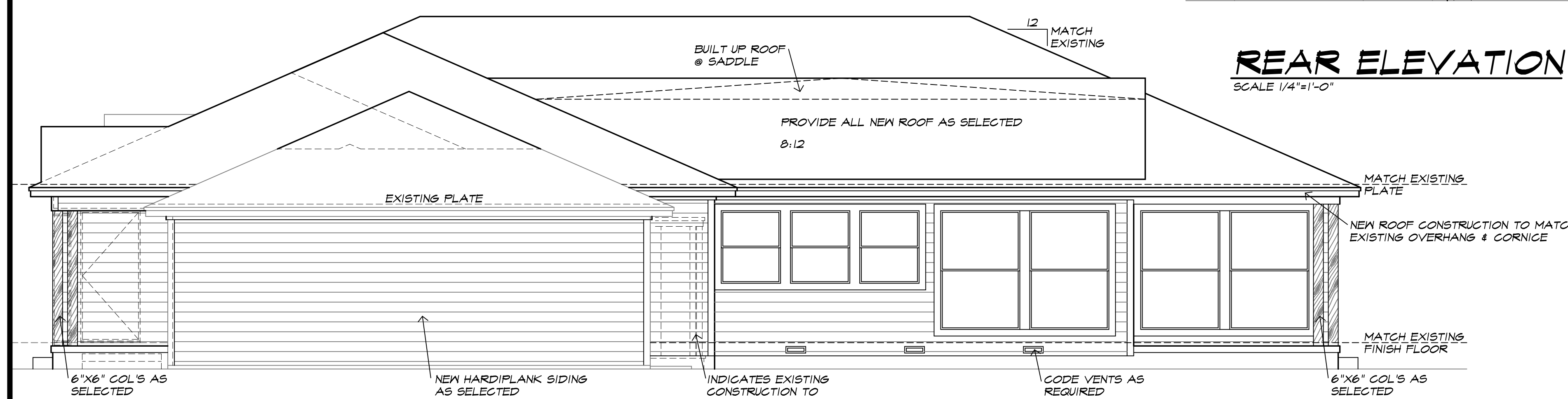
THE FARMERS AND MERCHANTS NATION BANK ADDITION

ROCKWALL, TEXAS

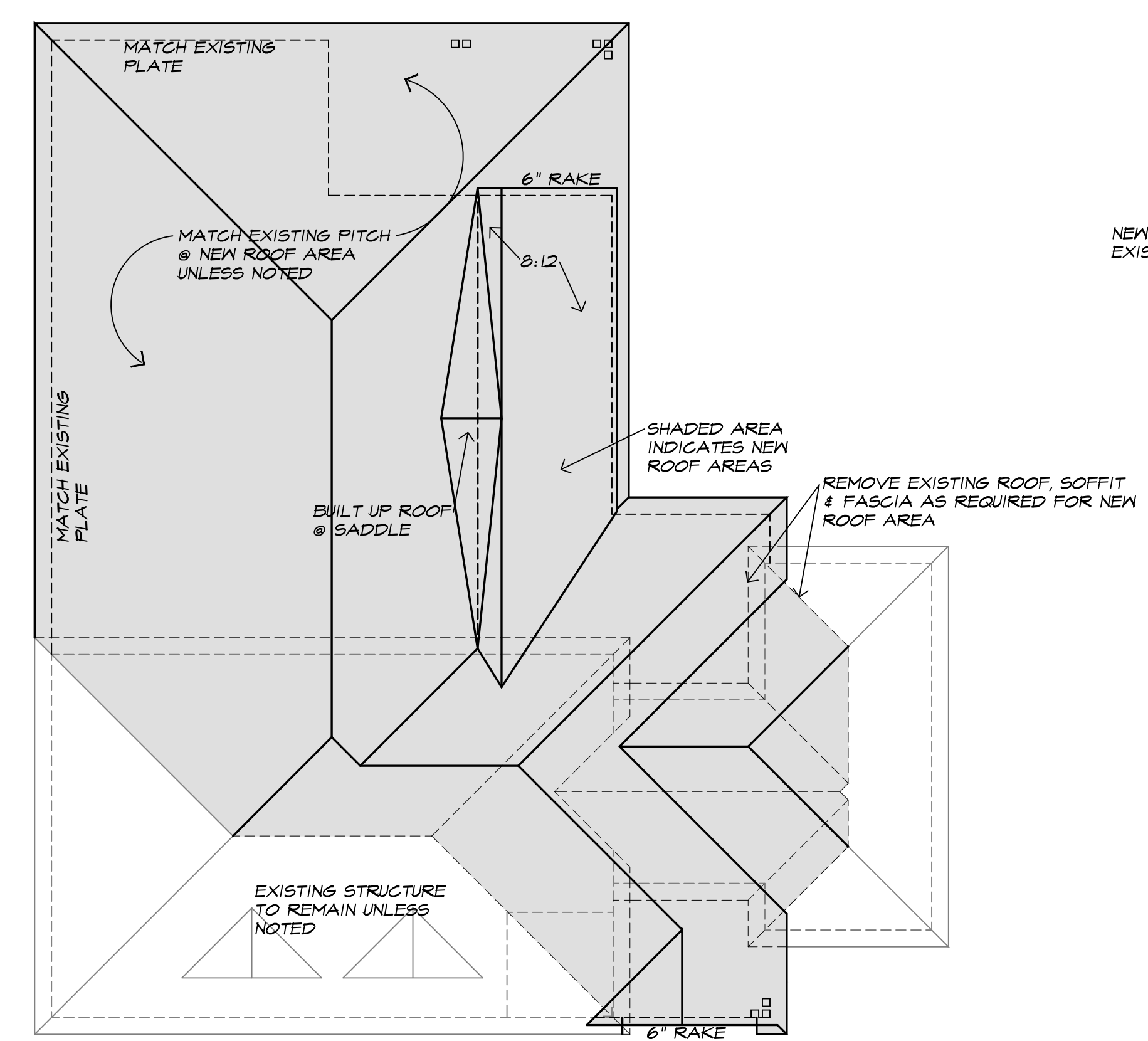
PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.



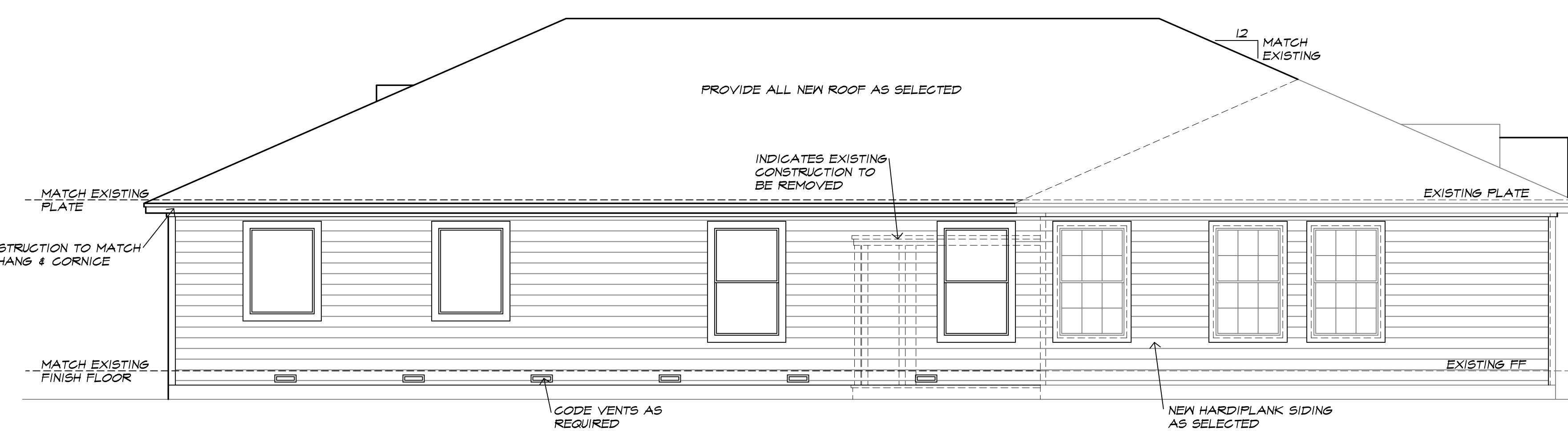
REAR ELEVATION
SCALE 1/4"=1'-0"



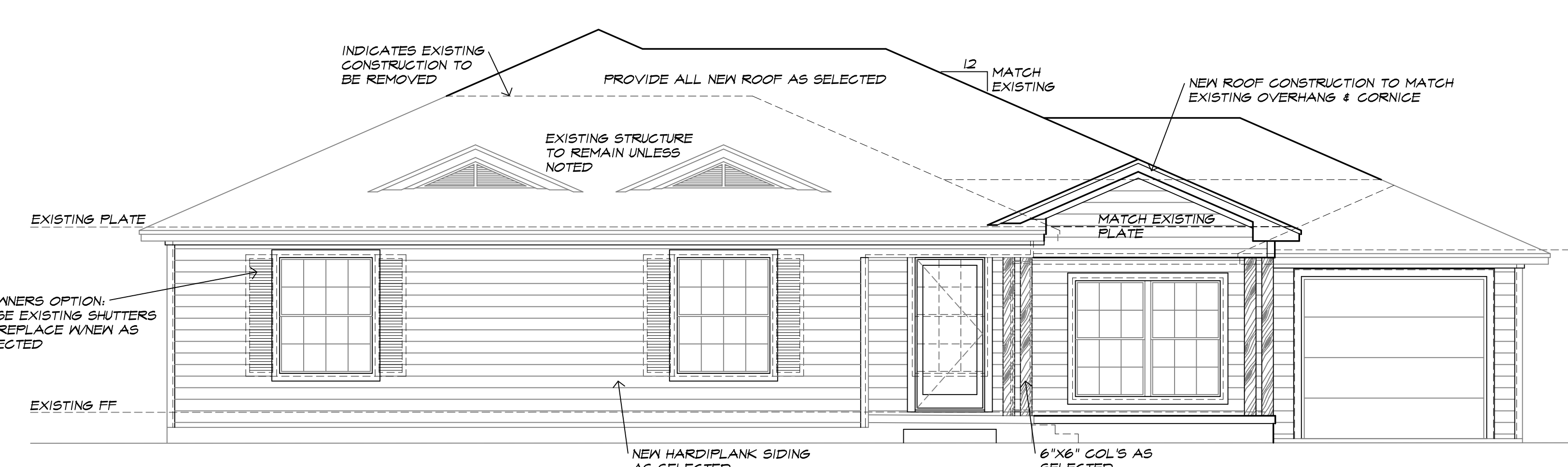
RIGHT SIDE ELEVATION
SCALE 1/4"=1'-0"



ROOF PLAN
SCALE 1/8"=1'-0"
 * PROVIDE ALL NEW ROOF AS SELECTED
 * PROVIDE CORNICE VENTS AS PER CODE WHERE APPLICABLE
 * ROOF VENTILATION AS PER CODE
 * MATCH EXISTING PITCH UNLESS NOTED
 * NEW ROOF CONSTRUCTION TO MATCH EXISTING OVERHANG & CORNICE



LEFT SIDE ELEVATION
SCALE 1/4"=1'-0"



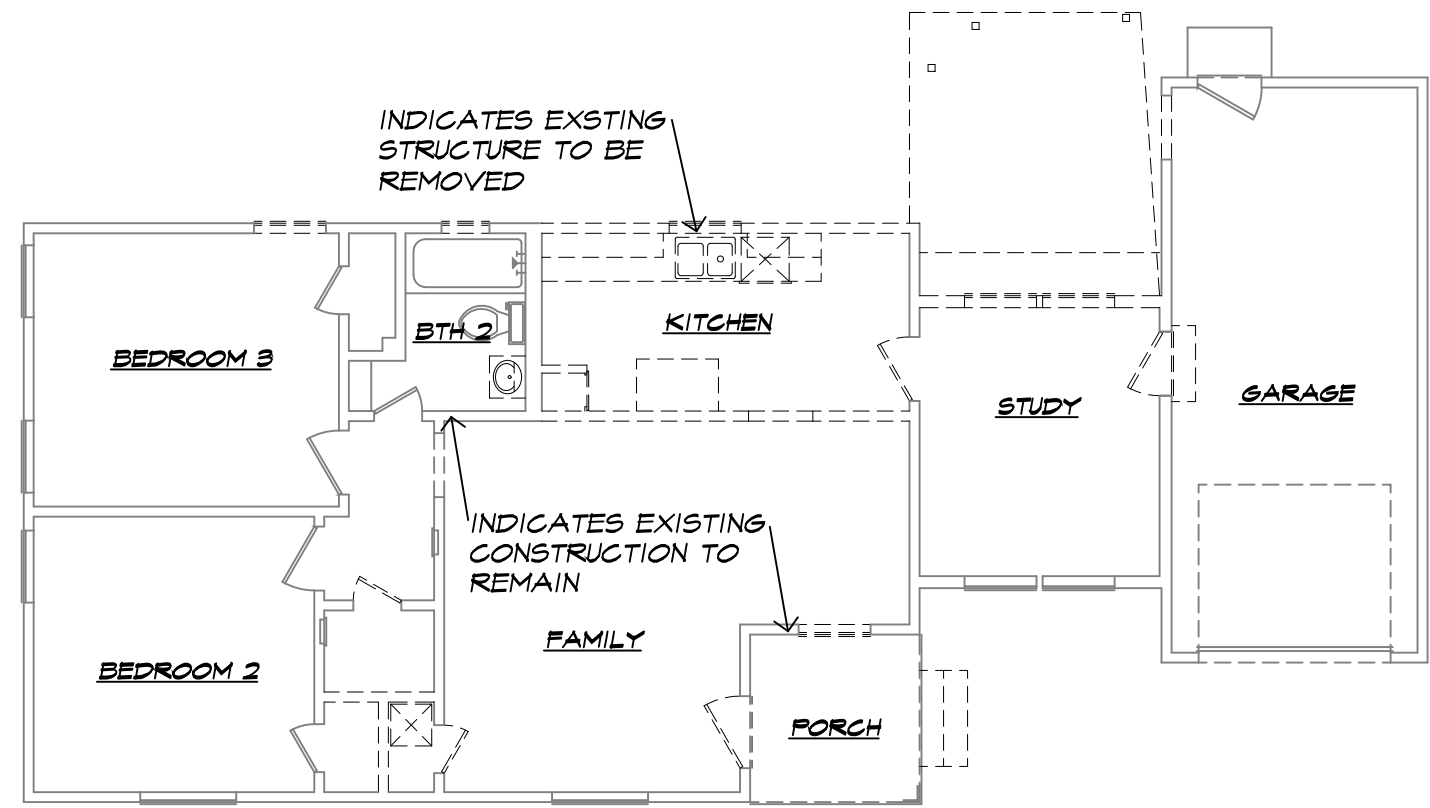
FRONT ELEVATION
SCALE 1/4"=1'-0"

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall be responsible for any discrepancies, and/or the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor are they intended to be a substitute for the contractor's own knowledge, experience, and equipment and it shall be his/her responsibility to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the International Building Code and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of the structure. The contractor shall be responsible for obtaining all necessary permits and shall be responsible for the stability of the structure. The contractor shall be responsible for the stability of the structure. The contractor shall be responsible for the stability of the structure.

**A RENOVATION FOR
205 N. CLARK
ROCKWALL, TEXAS**

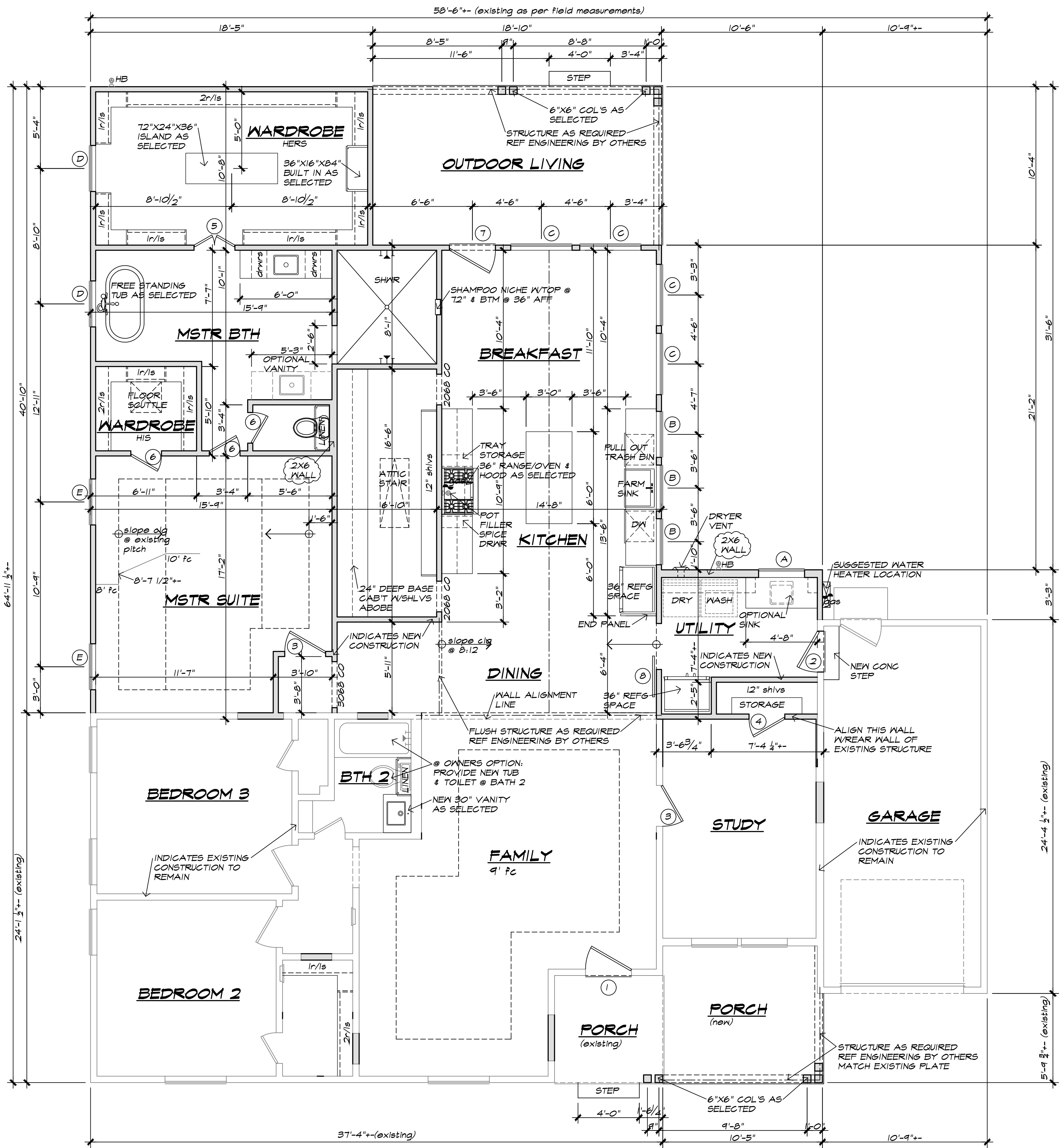
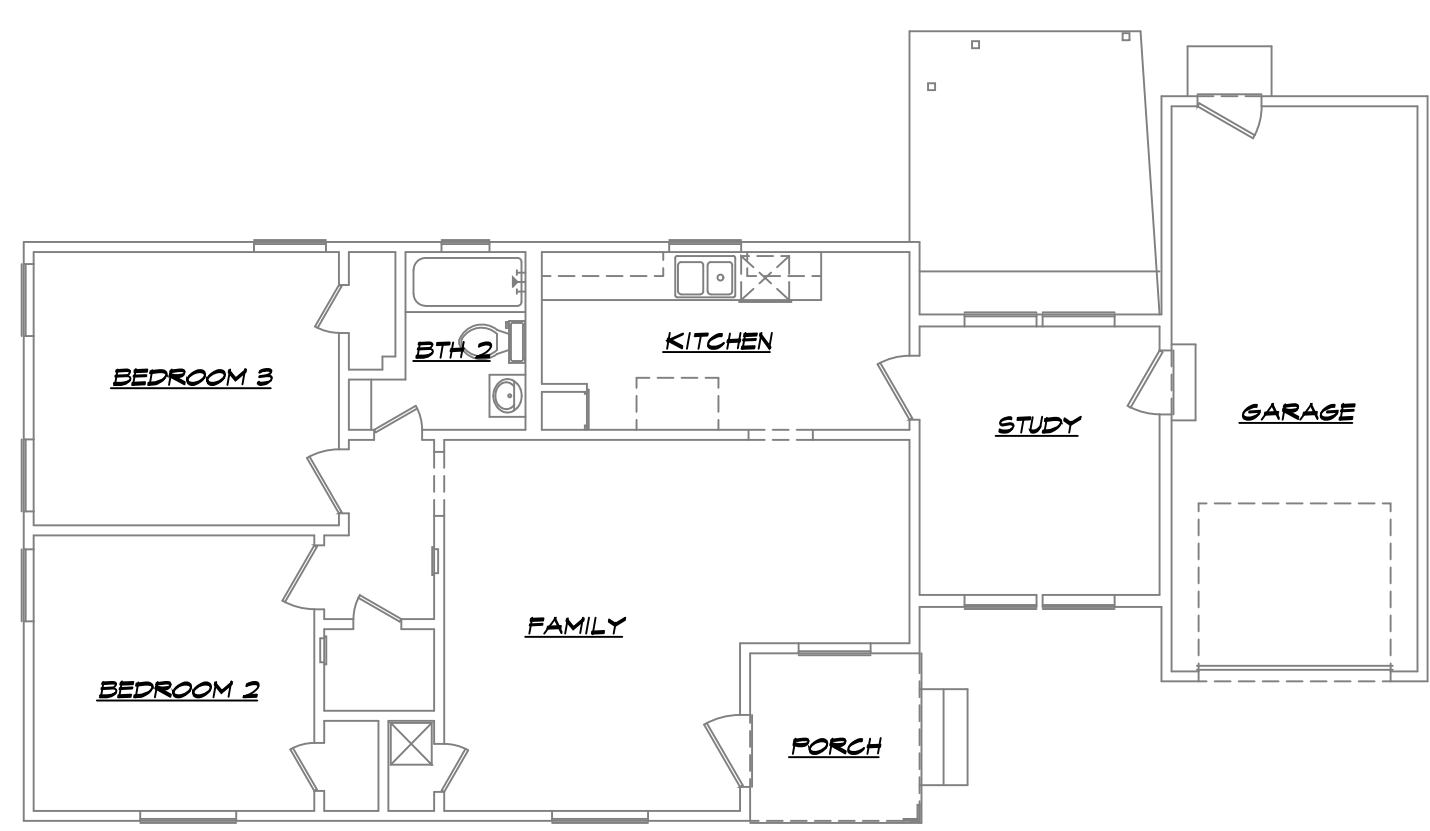
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REVISED DATE
SHEET A2
DESIGN NUMBER C 2431



DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION OF EXISTING WALLS & RELATED STRUCTURES REQUIRED FOR NEW CONSTRUCTION & ALL WORKMANSHIP SHALL CONFORM TO ALL APPLICABLE STATE & LOCAL CODES
- CONSTRUCTION DEBRIS SHALL NOT BE ALLOWED TO COLLECT IN EXCESS @ JOB SITE
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF UNSALABLE ITEMS



DOOR SCHEDULE
(*in existing window opening)

TYPE	SIZE	DESCRIPTION	#
1	SOLID CORE 3'-0" X 6'-8"	EXTERIOR AS SELECTED	1
2	SOLID CORE 2'-8" X 6'-8"	INTERIOR AS SELECTED THRESHOLD	1
3	SOLID CORE 2'-8" X 6'-8"	INTERIOR AS SELECTED	2
4	SOLID CORE 2'-4" X 6'-8"	INTERIOR AS SELECTED	1
5	SOLID CORE FR 1'-4" X 6'-8"	INTERIOR AS SELECTED	1
6	SOLID CORE 2'-0" X 6'-8"	INTERIOR AS SELECTED	3
7	SOLID CORE 3'-0" X 6'-8"	EXTERIOR FULL GLASS	1
8	SOLID CORE 3'-0" X 6'-8"	BARN TYPE AS SELECTED	1

WINDOW SCHEDULE

TYPE	SIZE	DESCRIPTION	#
A	SINGLE HUNG 3'-0" X 3'-0"	@ 6'-8" HDR	1
B	SINGLE HUNG 3'-6" X 3'-8"	@ 6'-8" HDR	3
C	SINGLE HUNG 4'-0" X 6'-0"	@ 6'-8" HDR	4
D	FIXED 3'-0" X 3'-0"	OBSOLETE @ 6'-8" HDR	2
E	SINGLE HUNG 3'-0" X 5'-0"	@ 6'-8" HDR	2

AREAS

EXISTING LIVING (A/C)	979.05 SQ. FT.
NEW LIVING (A/C)	1482.34 SQ. FT.
TOTAL LIVING (A/C)	2461.39 SQ. FT.
EXISTING FRONT PORCH	49.24 SQ. FT.
NEW FRONT PORCH	42.78 SQ. FT.
TOTAL FRONT PORCH	142.07 SQ. FT.
EXISTING GARAGE	265.13 SQ. FT.
NEW OUTDOOR LIVING	188.33 SQ. FT.
TOTAL COVERAGE	3026.92 SQ. FT.

GENERAL NOTES:

- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
- ALL PLATE LINES ARE EXISTING
- ALL NEW FINISHED CEILING HEIGHTS TO MATCH EXISTING
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY DESIGNER IF ANY DISCREPANCIES ARE FOUND
- ALL WINDOW HEADERS ARE EXISTING UNLESS NOTED
- WATER HEATER TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE BEST SUITED
- ALL EXISTING INTERIOR FINISHES TO BE REMOVED AS/IF REQUIRED & AS SELECTED WHERE APPLICABLE
- ALL NEW INTERIOR FINISHES TO BE AS SELECTED REQUIRED & AS SELECTED WHERE APPLICABLE
- FINAL DESIGN AND AMENITIES @ ALL CABINETS AS PER OWNER/BUILDER
- ALL VANITIES TO BE 36" HIGH
- TYPICAL INTERIOR STUD WALLS ARE 1/2" GYP. BD. EACH SIDE OF 2X4 WOOD STUDS AT 16" O.C.; TAPE, BED, TEXTURE, UNLESS NOTED OTHERWISE
- ALL DOORS TO BE SET (HINGE SIDE) 4" OFF NEAREST PERPENDICULAR WALL OR CENTERED IN OPENING AS SHOWN UNLESS NOTED OTHERWISE
- SEE OWNER/BUILDER FOR USE OF GAS IF AVAILABLE & WHERE APPLICABLE
- FLOORED ATTIC AREA @ NEW CONSTRUCTION, WHERE APPLICABLE, TO BE AS PER OWNER/BUILDER

RENOVATION GENERAL NOTES

- SHADED WALLS INDICATE NEW CONSTRUCTION
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERIOR & EXTERIOR FINISHES & MILLWORK NOT NOTED ON PLANS
- CONTRACTOR TO VERIFY & ADJUST (IF NEEDED) ANY DIMENSIONS @ JOBSITE
- NEW HVAC UNIT DESIGN, SIZING & ALL RELATED PARTS, SHALL BE INSTALLED BY A QUALIFIED, LICENSED MECHANICAL CONTRACTOR & SHALL CONFORM TO ALL APPLICABLE STATE & LOCAL CODES
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION OF EXISTING WALLS & RELATED STRUCTURES REQUIRED FOR NEW CONSTRUCTION & ALL WORKMANSHIP SHALL CONFORM TO ALL APPLICABLE STATE & LOCAL CODES
- CONSTRUCTION DEBRIS SHALL NOT BE ALLOWED TO COLLECT IN EXCESS @ JOB SITE
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF UNSALABLE ITEMS AS REQUIRED
- ALIGN NEW FILL WALL SURFACES WITH EXISTING WHERE APPLICABLE

INDOOR AIR QUALITY MEASURES

- ALL AIR-HANDLING EQUIPMENT & DUCTWORK WILL BE LOCATED OUTSIDE THE FIRE-RATED ENVELOPE OF THE GARAGE
- SURFACES BETWEEN CONDITIONED SPACE & AN ATTACHED GARAGE WILL BE TIGHTLY SEALED
- FOR CONDITIONED SPACES NEXT TO THE GARAGE, ALL PENETRATIONS WILL BE SEALED, ALL DOORS WILL BE WEATHERED STRIPPED & ALL CRACKS @ THE BASE OF THE WALL WILL BE SEALED
- AIR FILTERS MUST BE INSTALLED WITH A (MERV) VALUE EQUAL TO OR GREATER THAN 8
- AIR HANDLERS INSTALLED WILL BE ABLE TO MAINTAIN ADEQUATE AIR PRESSURE & AIR FLOW
- AIR FILTER WILL BE AIRTIGHT TO PREVENT BYPASS OR LEAKAGE

Adopted Construction Codes:
 2018 International Residential Code with local amendments
 2015 International Building Code with local amendments
 2015 International Plumbing Code with local amendments
 2015 International Fuel Gas Code with local amendments
 2015 International Mechanical Code with local amendments
 2015 International Energy Conservation Code with local Amendments
 2015 International Existing Building Code with local amendments
 2014 National Electrical Code with local amendments

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall not be held liable for any discrepancies and/or omissions of any kind. The contractor shall be responsible for obtaining all necessary permits and for the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor do they constitute a contract. The contractor shall be responsible to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the International Building Code and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of any member(s), and furthermore, recommends that these construction documents be reviewed by a qualified professional engineer.

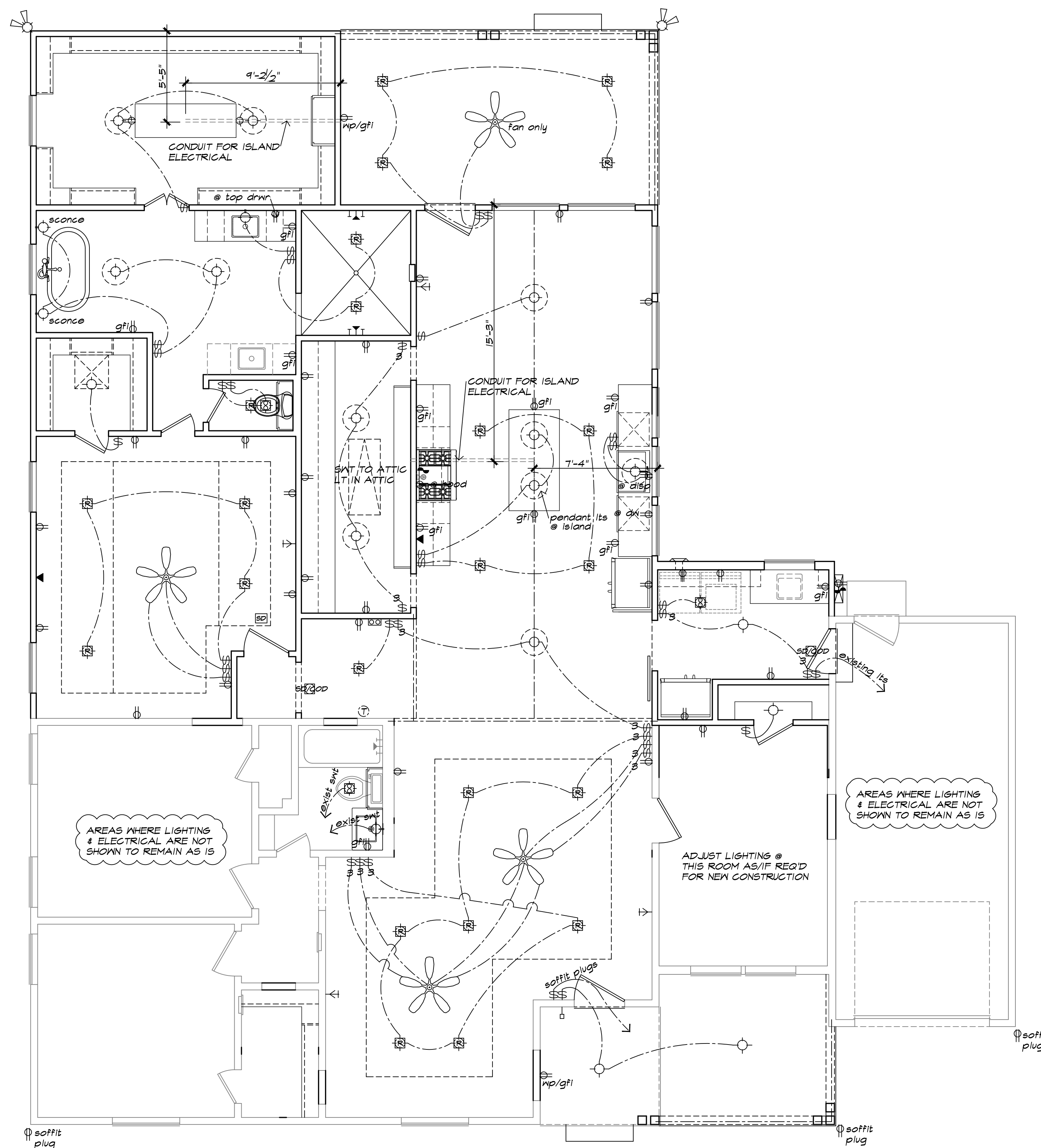
**A RENOVATION FOR
205 N. CLARK
ROCKWALL, TEXAS**

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REVISED DATE
10/17/2019

SHEET
A1

DESIGN NUMBER
C 2431



LIGHTING & ELECTRICAL PLAN

SCALE 1/4"=1'-0"

NOTE:
FINAL SELECTION & PLACEMENT OF ALL INTERIOR & EXTERIOR LIGHTING & ELECTRICAL AS PER OWNER

LIGHTING & ELECTRICAL LEGEND

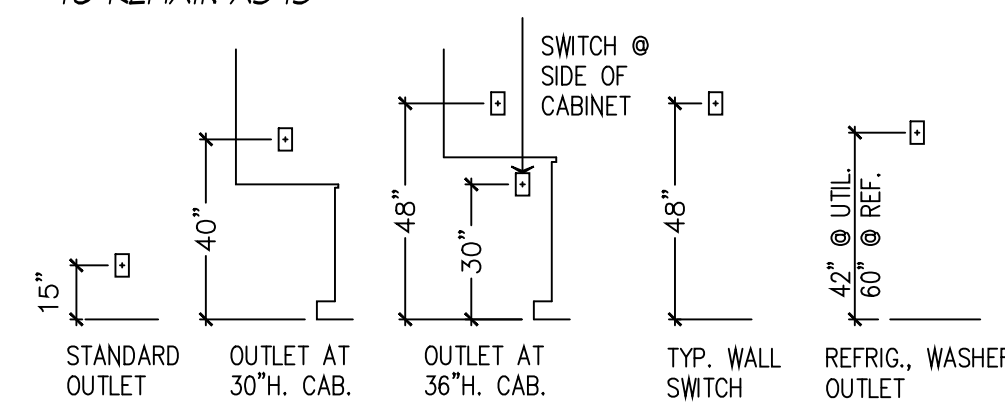
- ▽ LANDLINE - OPTIONAL
- ⊕ SWITCH
- ⊗ 6"Ø RECESSED LIGHT UNLESS NOTED
- ⊙ SURFACE MOUNT LIGHT
- ⊖ RECESSED EXHAUST FAN
- ⊛ SURFACE MOUNTED WALL LIGHT
- ⊕ HANGING LIGHT
- ⇄ DUPLEX RECEPTACLE
- ⊖ 220 RECEPTACLE
- ⊖⊖ DUPLEX WEATHER PROOFED GROUND GROUND FAULT INTERRUPTER
- ⊖⊖⊖ DUPLEX GROUND FAULT INTERRUPTER
- ⊖⊖ TV OUTLET (CAT 5e)
- ⊖ SMOKE DETECTOR
- ⊖⊖ DOUBLE FLOOD LIGHT ASSEMBLY ON MOTION SENSOR
- ⊖⊖⊖ CEILING FAN W/LIGHT KIT UNLESS NOTED
- ⊖⊖⊖ SMOKE/CARBON MONOXIDE DETECTOR
- ⊖ THERMOSTAT
- ⊖⊖ PUSH BUTTON TO CHIME
- ⊖⊖⊖ CHIME

ELECTRICAL NOTES

(where applicable)

THIS ELECTRICAL LAYOUT IS SCHEMATIC ONLY. VERIFY ALL ELECTRICAL REQUIREMENTS, INCLUDING ENGINEERING AND CODE, SMOKE DETECTORS, EXTERIOR POOL, COAX, DEDICATED LINES, INTERCOM/SECURITY, TV/MUSIC, ACCENT, LOW VOLTAGE, MASTER CONTROLS, COMPUTER INTERFACING, AND ALL SELECTIONS OF TYPE, SIZE, AND STYLE OF FIXTURES.

NOTE:
 * RELOCATE, REMOVE &/OR REMARK ALL EXISTING LIGHTING & ELECTRICAL AS REQUIRED FOR DEMOLITION & NEW CONSTRUCTION
 * ALL LIGHTING & ELECTRICAL NOT SHOWN IS EXISTING & TO REMAIN AS IS



ELECTRICAL OUTLET LOCATIONS

(where applicable)

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall make adjustments at any discrepancies and/or omissions. The contractor shall be responsible for the accuracy of the construction documents. The contractor shall be responsible for the accuracy of the construction documents. The contractor shall be responsible for the accuracy of the construction documents.

A RENOVATION FOR 205 N. CLARK ROCKWALL, TEXAS

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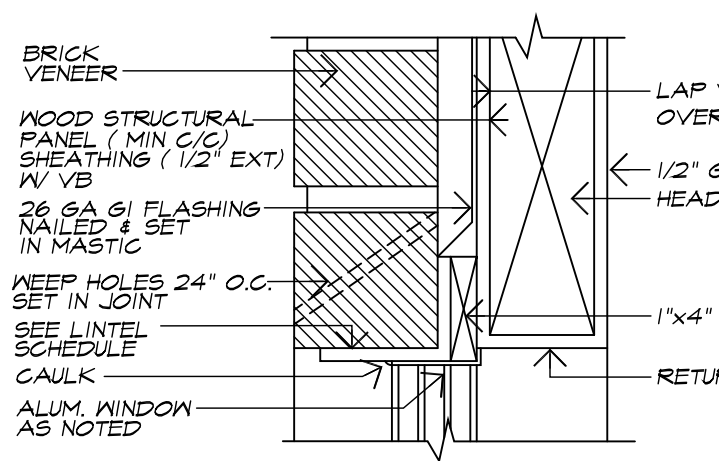
REVISED DATE

SHEET
AB

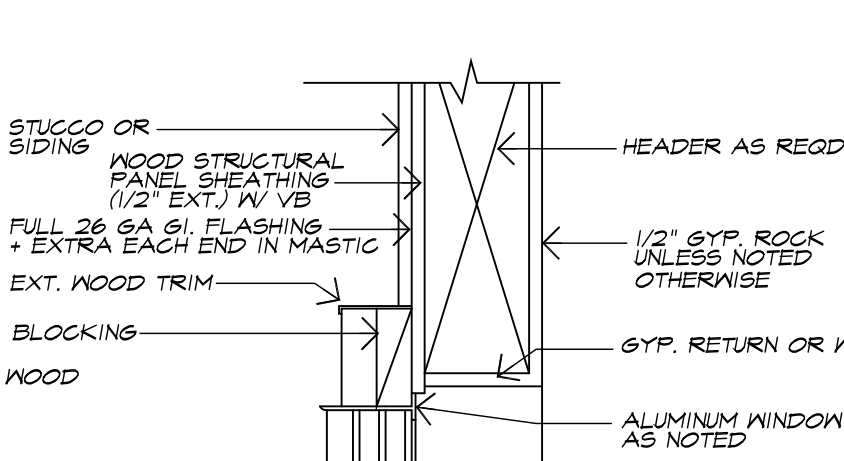
DESIGN NUMBER
C 2431

GENERAL CONSTRUCTION DETAILS & NOTATIONS

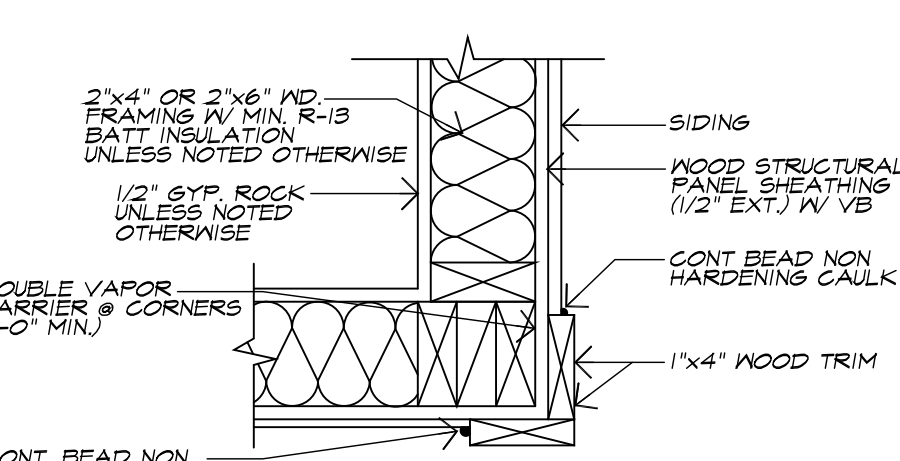
(WHERE APPLICABLE)



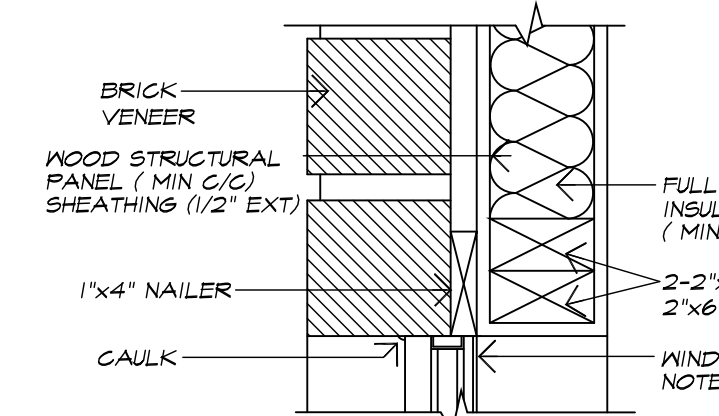
WINDOW HEAD - BRICK



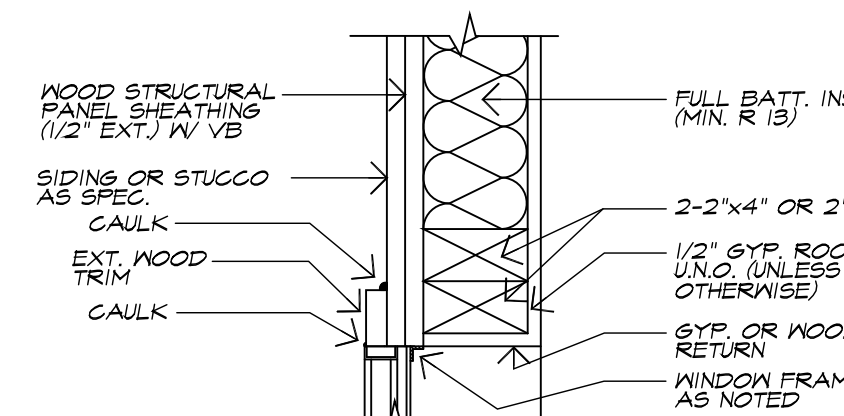
WINDOW HEAD - FRAME (STUCCO)



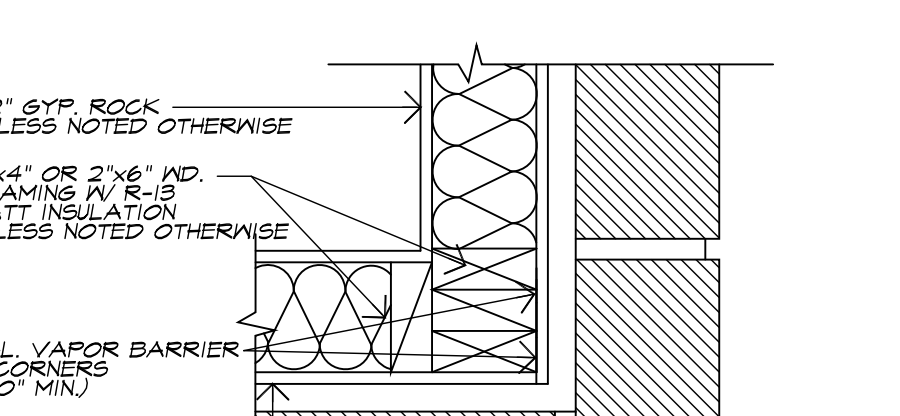
TYP. OUTSIDE CORNER - FRAME



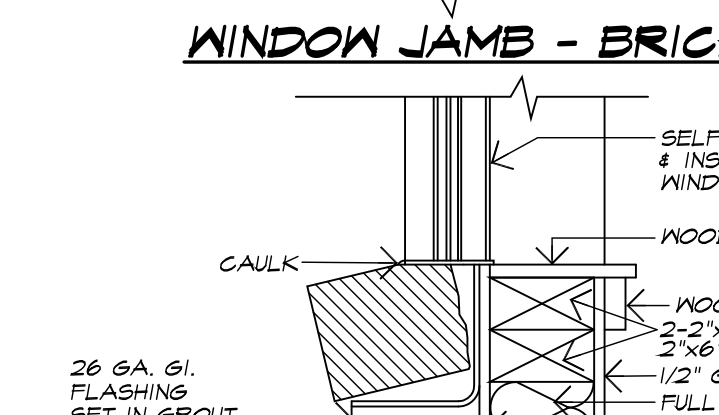
WINDOW JAMB - BRICK



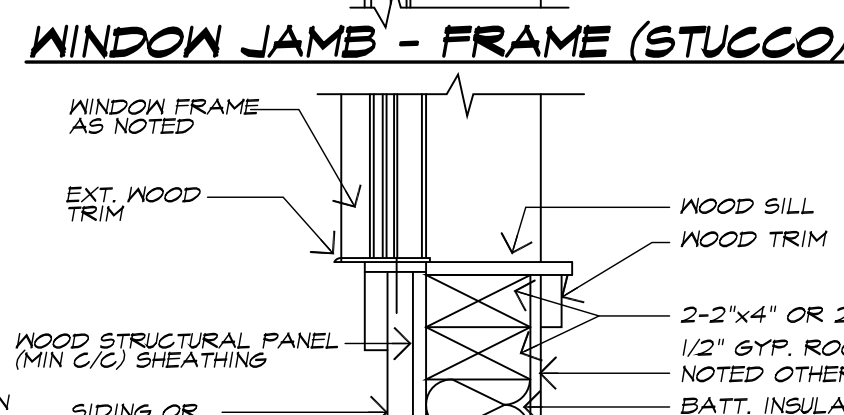
WINDOW JAMB - FRAME (STUCCO)



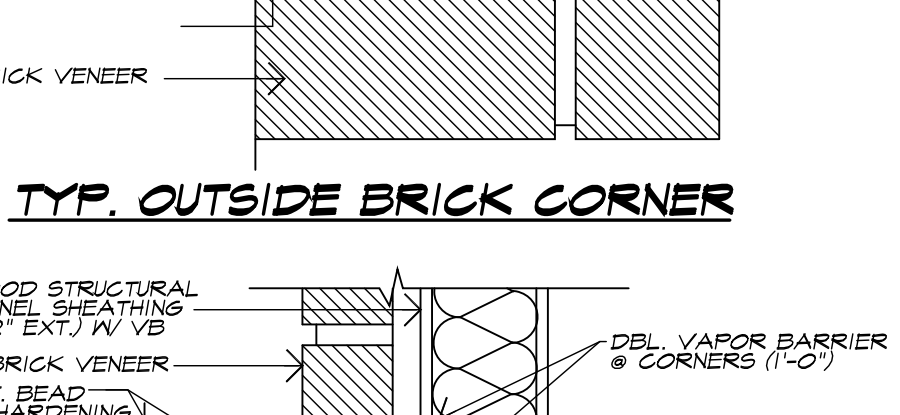
TYP. OUTSIDE BRICK CORNER



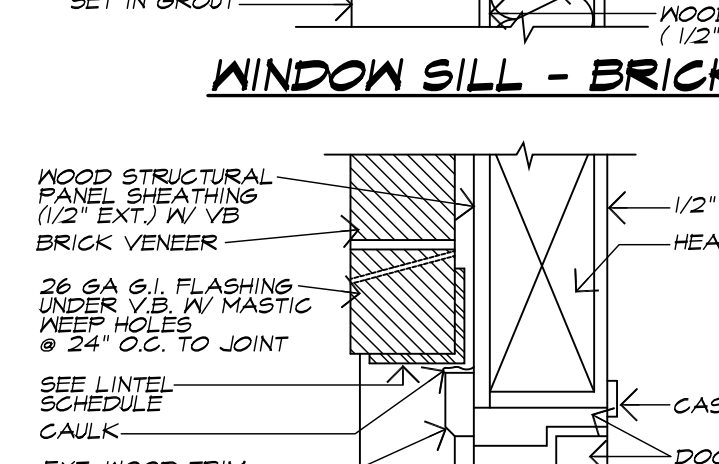
WINDOW SILL - BRICK



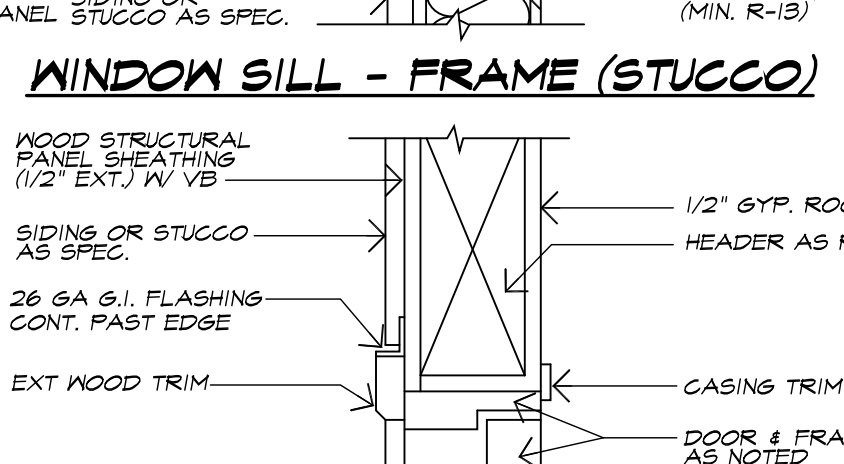
WINDOW SILL - FRAME (STUCCO)



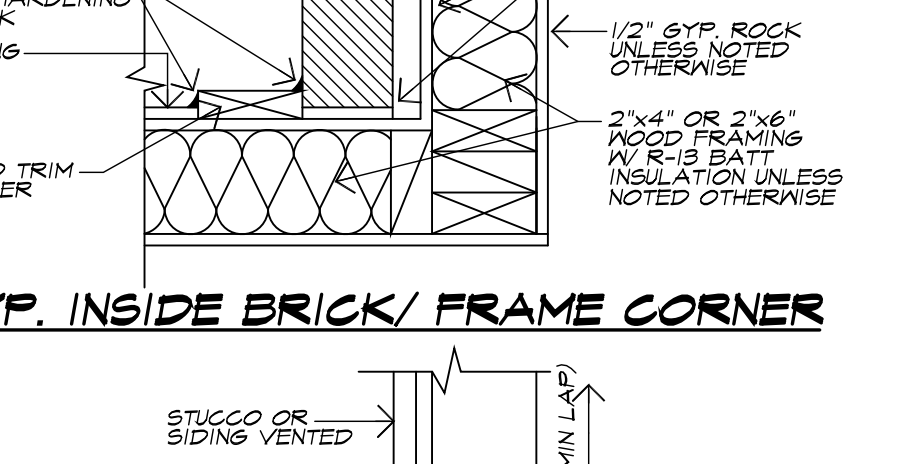
TYP. INSIDE BRICK/FRAME CORNER



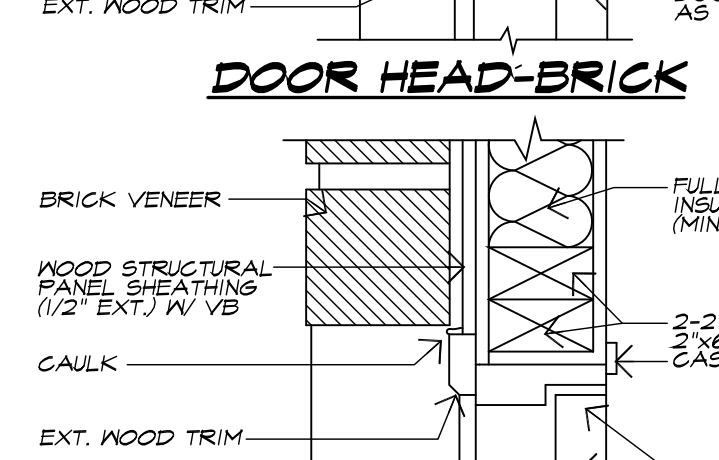
DOOR HEAD - BRICK



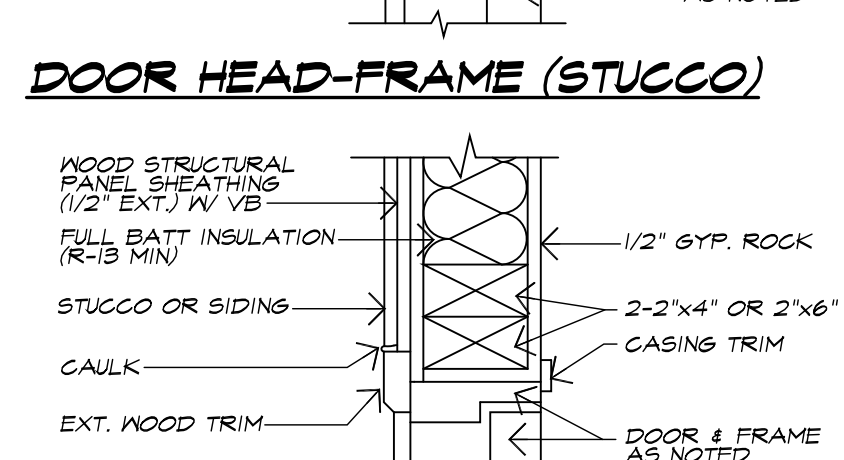
DOOR HEAD - FRAME (STUCCO)



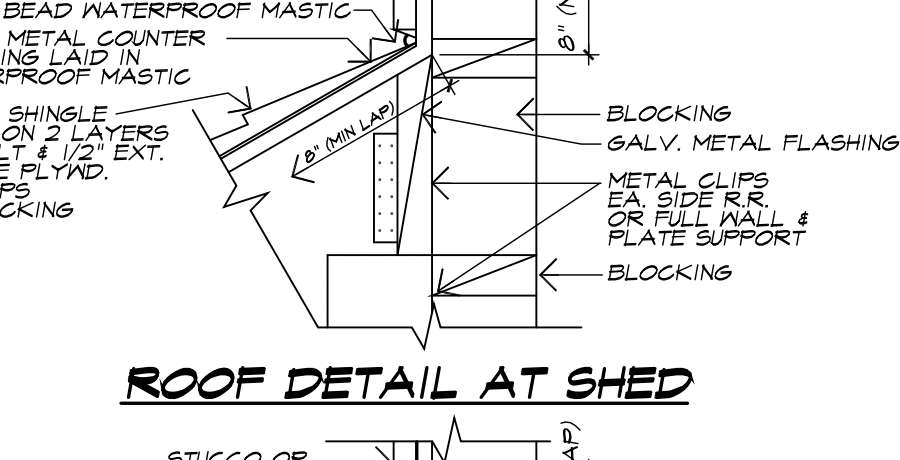
ROOF DETAIL AT SHED



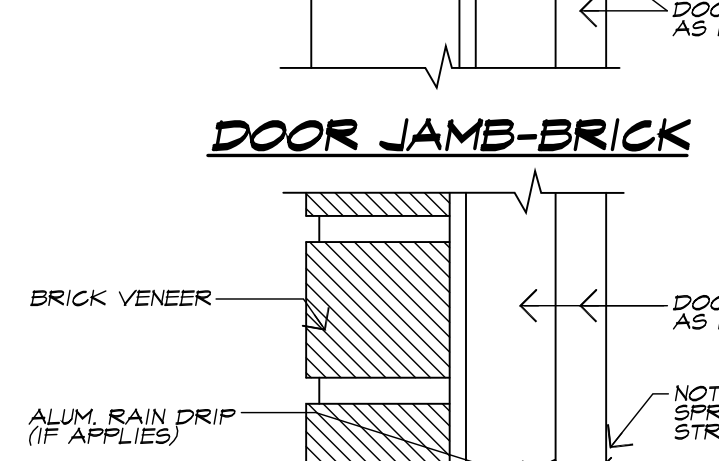
DOOR JAMB - BRICK



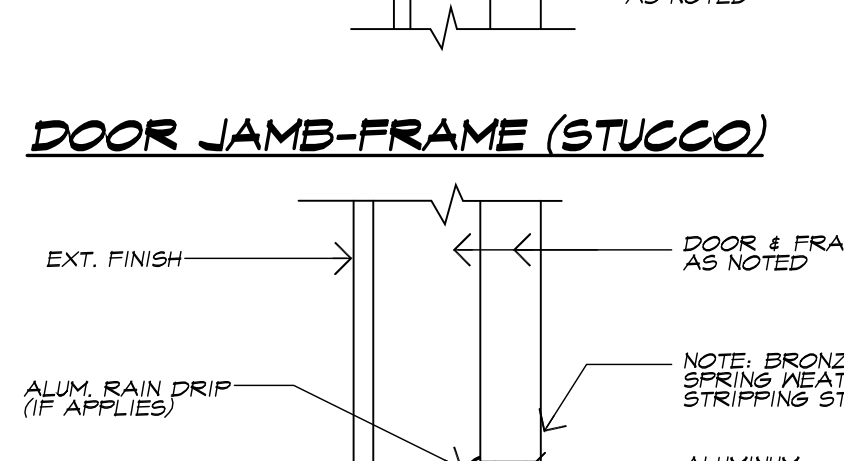
DOOR JAMB - FRAME (STUCCO)



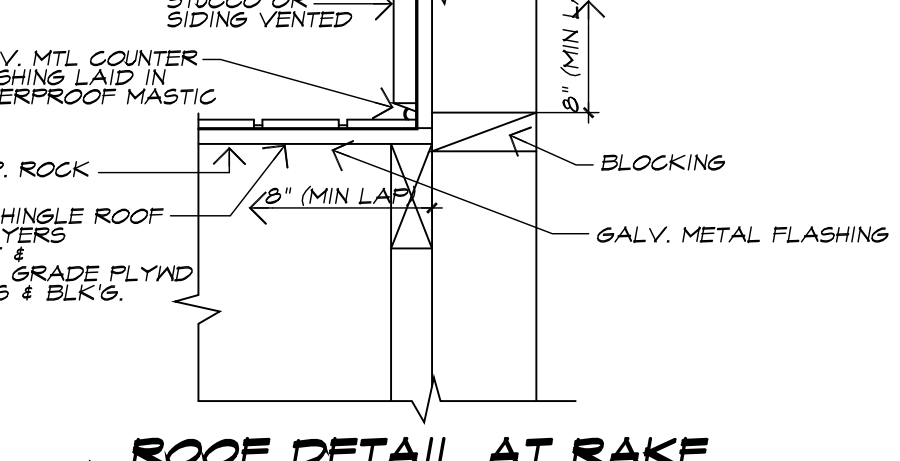
ROOF DETAIL AT RAKE



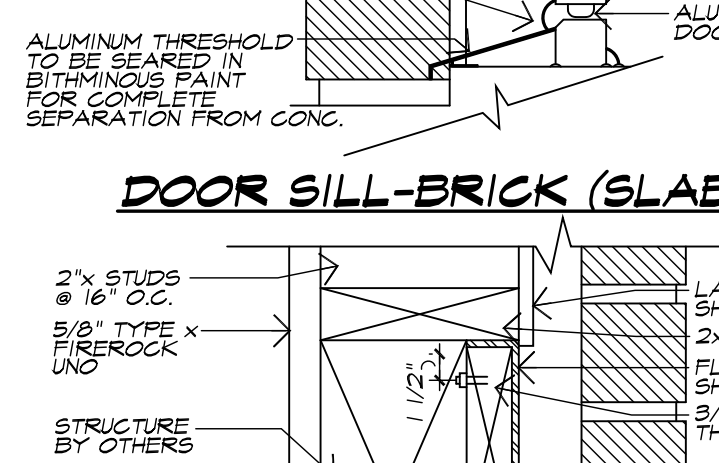
DOOR SILL - BRICK (SLAB)



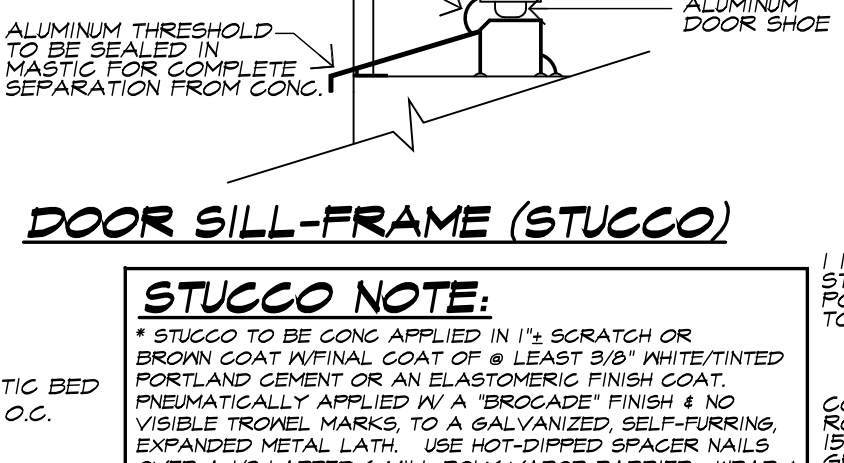
DOOR SILL - FRAME (STUCCO)



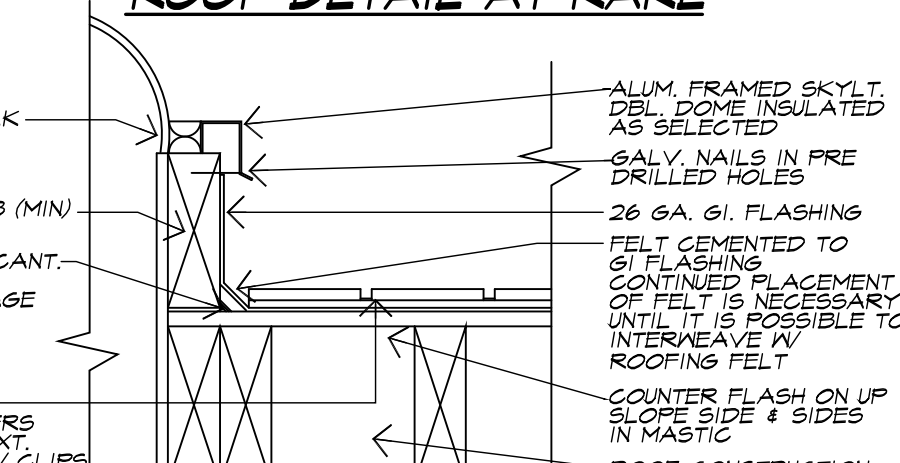
SKYLIGHT DETAIL



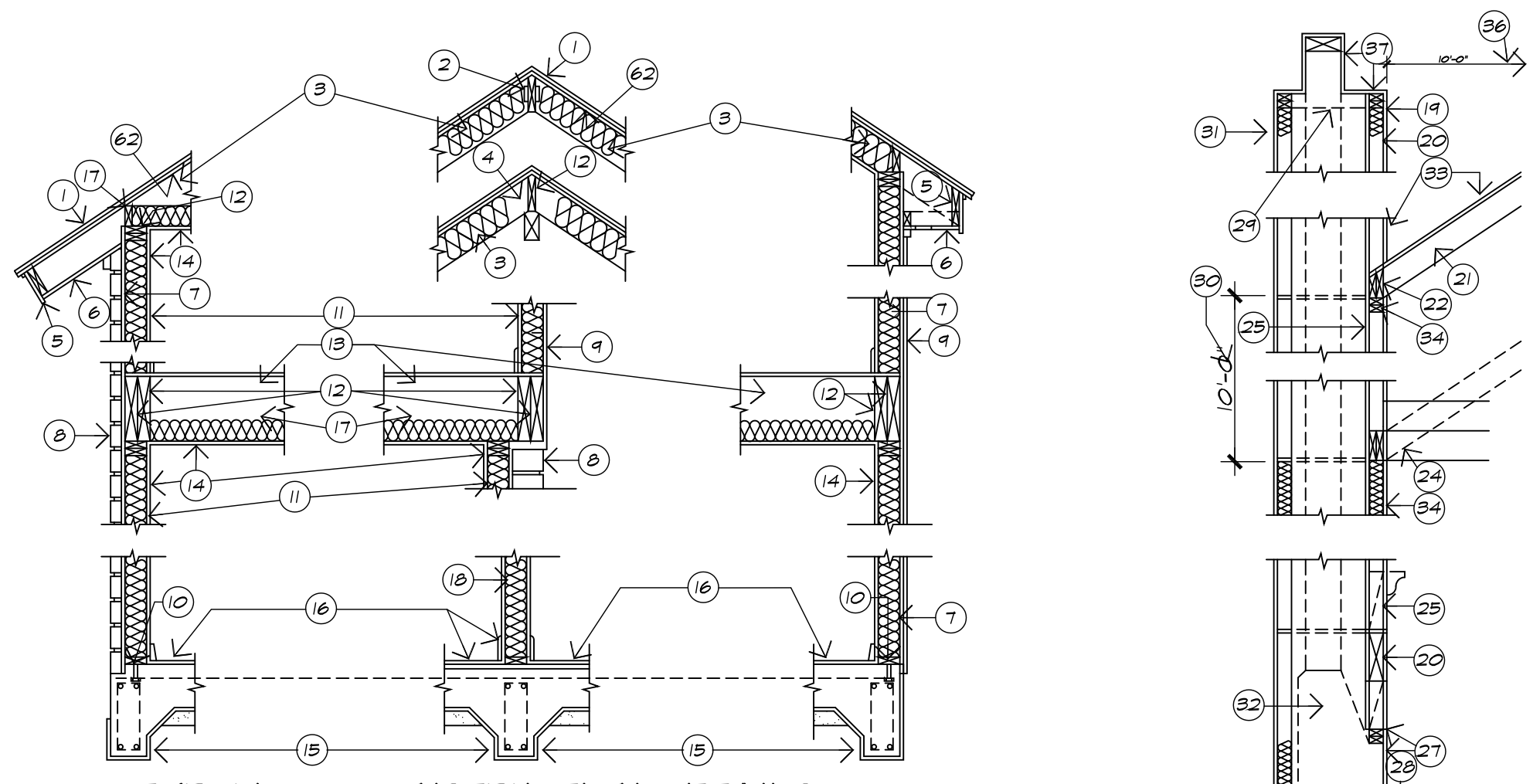
TYP. GAR. DOOR HEADER/ LINTEL W/ BRICK (16'-0")



STUCCO NOTE

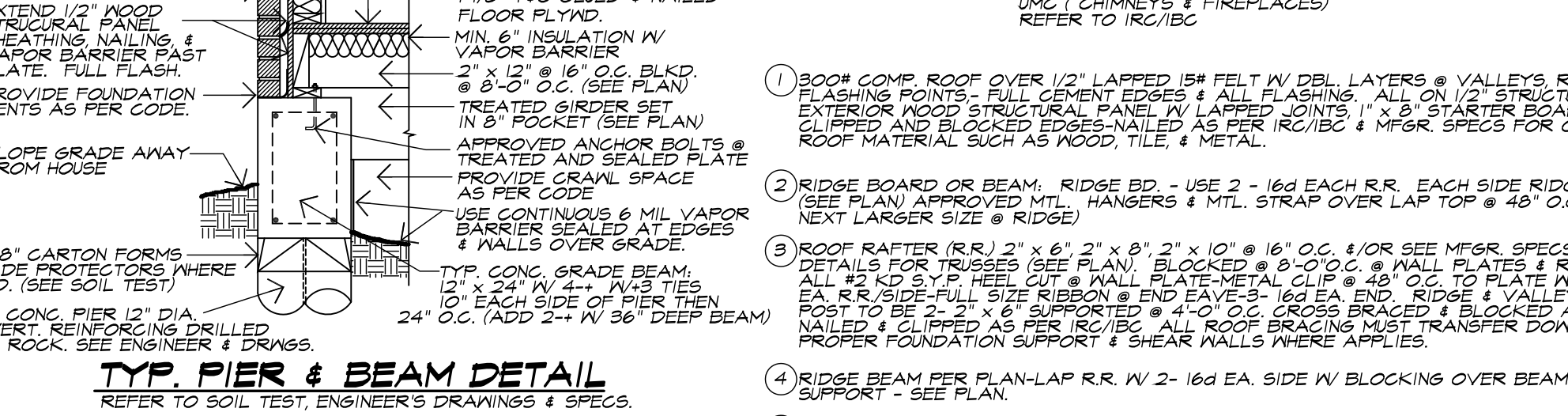


FLUSH BEAM HEADER BEAM



TYP. WOOD CONSTRUCTION DETAILS

PREFAB FIREPLACE DETAILS



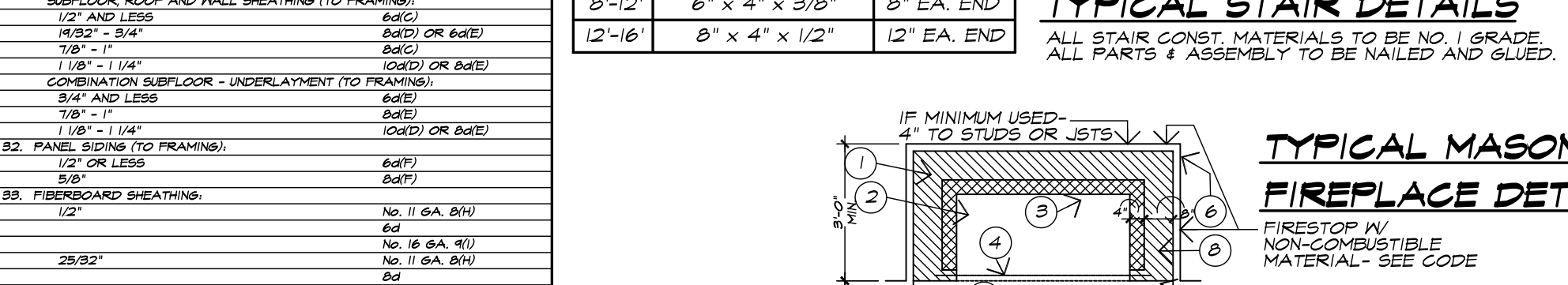
TYP. PIER & BEAM DETAIL

IMPORTANT NOTE!!!
 THESE BASIC DETAILS AND NOTES ARE BASED ON THE CURRENT IRC/IBC PARTICULARLY WOOD CONSTRUCTION CHAPTERS 23 AND 23.02. THE COMPLETE IRC/IBC LATEST EDITION IS TO BE HAD AS PART OF THESE PLANS AND MUST BE VERY FAMILIAR & COMPLY WITH ALL ASPECTS OF THE IRC/IBC AND OTHER APPLICABLE CODES, ORDINANCES AND REQUIREMENTS. THE OWNER & ARCHITECT SHARE THE PROJECT. LIFE SAFETY PROTECTION SHALL TAKE PRECEDENCE OVER ALL CONSIDERATIONS & MAINTAINING SAFETY PROGRESS ON THE PROJECT. IT IS RECOMMENDED THAT A STRUCTURAL ENGINEER (TECH) BE OBTAINED FOR ALL FINAL DESIGN & SPECIFICATIONS. THE OWNER & ARCHITECT SHALL LISTED ON ALL INSURANCE COVERSAGES FOR THE PROJECT. THE CONTRACTOR SHALL MAINTAIN A HIGH LEVEL OF WORKMANSHIP THROUGHOUT THE PROJECT AND SHALL NOT VIOLATE ANY CODE OR ORDINANCE REQUIREMENT. FOR ANY PROJECT BUILDING STANDARDS REGARDLESS OF ANY APPROVALS TO THE CONTRARY EVEN BY OFFICIALS OR PERSONS IN AUTHORITY ON THE PROJECT.

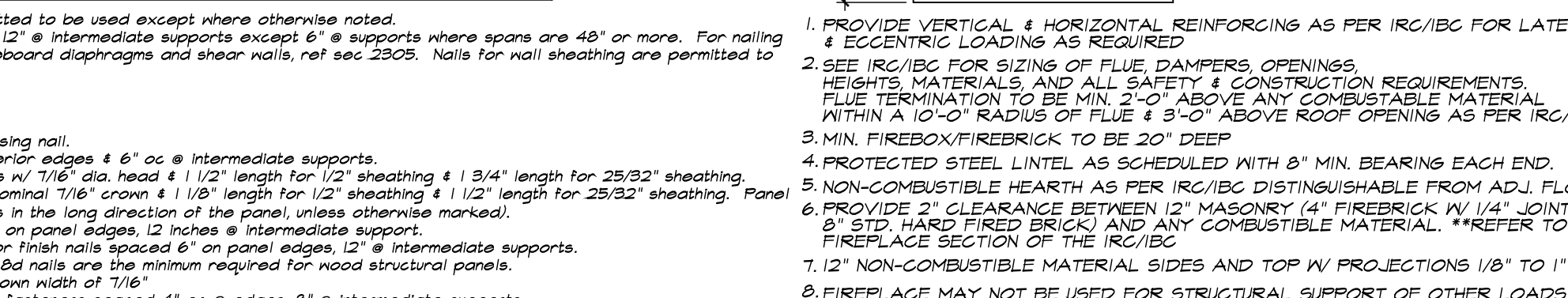
*** IBC TABLE 2304.9.1 ***

CONNECTION	NAILING(S)
1. JOIST TO SILL OR GIRDER TENDON	3-8d
2. BRAGING TO JOIST TENDON	2-8d
3. 1" x 6" SUBFLOOR OR LESS TO EACH JOIST FACE NAIL	2-8d
4. RIDER THAN 1" x 6" SUBFLOOR TO EACH JOIST FACE NAIL	2-8d
5. 2" SUBFLOOR TO JOIST OR GIRDER END AND FACE NAIL	2-8d
6. SILE PLATE TO JOIST OR GIRDER END AND FACE NAIL	2-8d @ 6" O.C.
7. TOP PLATE TO STUD END NAIL	2-8d
8. STUD TO SOLE PLATE	2-8d
9. DOUBLE STUDS FACE NAIL	2-8d @ 24" O.C.
10. DOUBLE STUDS END NAIL	2-8d @ 24" O.C.
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE TENDON	3-8d
12. JOIST TO TOP PLATE TENDON	2-8d @ 6" O.C.
13. TOP PLATES LAPS AND INTERSECTIONS FACE NAIL	2-8d @ 6" O.C.
14. CONTINUOUS HEADER TWO PIECES	2-8d @ 6" O.C.
15. CEILING JOIST TO PLATE TENDON	3-8d
16. CONTINUOUS HEADER TO STUD TENDON	4-8d
17. GIRDERS JOIST LAPS OVER PARTITIONS FACE NAIL	3-8d
18. GIRDERS JOIST TO FRAMING RAFTERS FACE NAIL	3-8d
19. RAFTERS TO PLATE TENDON	3-8d
20. 1" BRACE TO EACH STUD AND PLATE FACE NAIL	2-8d
21. 1" x 6" SUBFLOOR OR LESS TO EACH BEARING FACE NAIL	2-8d
22. RIDER THAN 1" x 6" SUBFLOOR TO EACH BEARING FACE NAIL	3-8d
23. BUILT-UP GIRDER STUDS	2-8d AT 24" O.C.
24. BUILT-UP GIRDER AND BEAMS	2-8d AT 24" O.C. AT TOP AND BOTTOM AND SHAKENING 2-20d AT ENDS AND AT EACH JOIST
25. 2" PLANKS	2-8d AT EACH BEARING
26. COLLAR TIE TO RAFTER FACE	3-8d
27. LENSER STUD FACE NAIL	2-8d
28. ROOF RAFTER TO 2x4 RIDGE BEAM TENDON	2-8d
29. JOISTS TO BAND JOISTS FACE NAIL	3-8d
30. JOISTS TO FRAMING RAFTERS FACE NAIL	3-8d
31. WOOD STRUCTURAL PANEL AND PARTIABLE BOARD: 3" (2" AND LESS) 3-8d (3-8d OR 6d)	
32. PANEL SHEATHING (FRAMING): 1/2" OR LESS 6d (3-8d OR 6d)	
33. FIBERBOARD SHEATHING: 1/2" OR LESS 6d (3-8d OR 6d)	
34. INTERIOR PANELING: 1/2" OR LESS 6d (3-8d OR 6d)	

SPAN	SIZE	BEARING
0'-5"	3 1/2" x 3 1/2" x 1/4"	8" EA. END
5'-8"	5" x 3 1/2" x 5/16"	8" EA. END
8'-12"	6" x 4" x 3/8"	8" EA. END
12'-16"	8" x 4" x 1/2"	12" EA. END



TYPICAL STAIR DETAILS



TYPICAL MASONRY FIREPLACE DETAIL

- 12" x 4" UP TO 10'-0" & 2" x 6" UP TO 12'-0" STUD WALLS @ 16" O.C. BLOCKED @ MID-SPAN 1/4" OR 48" O.C. - SHEAR WALL BLOCKING CLOSER (SEE IRC/IBC) METAL CLIPS & BEAMS, VALLEYS, RIDGES FLOOR DIAPHRAGM & ALL SHEAR TRANSFER POINTS THRU TO CODE ANCHORED FLAT SLAB FOUNDATION. PLUS FILL & SEAL ALL HOLES & OPENINGS IN WALL FULL INSULATION EXT. (MIN R-13)
- 2" x 12" FLOOR JOISTS (#2 KD 5 Y.P. MIN.) @ 16" O.C. BLOCKED ENDS (AS SHOWN) 3'-0" O.C. OVER BEAMS, WALLS & UNDER FLOOR PARTITIONS PERPENDICULAR - USE DEL. JOISTS (4 SEE PLAN) UNDER PARALLEL PARTITIONS - FLOOR FULL 1/2" TONSUE & 600V WOOD STRUCTURAL PANEL GUESS & NAILED (AS PER IRC/IBC) BLOCKED @ CUT EDGES & DEL. JOISTS @ BOUNDARY OF REQUIRED SHEAR DIAPHRAGM INCLUDING MTL. CLIPS @ TOP & BOTTOM PLATES FOR SHEAR TRANSFER (SEE IRC/IBC) FOR NOTCHING & DRILLING LIMITS USE 1/2" INSULATION OR FULLY FACED INNER USE 5/8" X-TYPE FIRE ROCK @ CEILING OF GARAGE WITH IRC/IBC FIRE/AND/OR SEE TRUSS LAYOUT PLAN AS PER MFR/ENGS.
- 1/2" GYP. ROCK (SEE IRC/IBC FOR X-TYPE 1/4" OR 5/8" PER REQUIREMENTS)
- FOUNDATION SHOWN IS TYPICAL ONLY 1/4" 10" x 24" CONC. BEAMS W/ #4 @ 3' O.C. & 1/2" POLY VAPOR BARRIER 6" GRANULAR FILL ON PROPOSED COMPACTED BASE W/ ALL GRADE FROM FINISHED & SLOPE TO BE MAINTAINED. CONT. MAX. BEAM SPACING OF 12'-0" CENTER TO CENTER (SEE ENGINEERING PLAN FOR ALL DESIGN & DETAILS)
- FINISH FLOOR & BASE
- FIRE BLOCK & DRAFTSTOP ALL AREAS VERTICAL AND HORIZONTAL 10'-0" O.C. W/ 1/2" WOOD STRUCTURAL PANEL OR GYP. ROCK SECURELY ATTACHED (SEE IRC/IBC)
- INTERIOR WALL 2" x 4" OR 2" x 6" @ 16" O.C. W/ ANCHORED PLATE & 2" x 8" PLATE ABOVE TOP DOUBLE FLUTE BETWEEN JOISTS OR TRUSSES W/ METAL CLIPS & NAILED FOR SHEAR WALL SEE IRC/IBC FOR DIAPHRAGM SPECS, ANCHORS, & SHEAR TRANSFER DETAILS.
- EXTERIOR FINISH AS SELECTED.
- ROOF CONSTRUCTION
- SOLID BLOCKING
- X-ROCK FULL HEIGHT (NOTE: SOME OFFICIALS REQUIRE COMPLETELY ENCLOSED FLUE CHASE W/ X-ROCK & SOMETIMES 2 LAYERS 5/8")
- 2ND FLOOR ON ROOF
- SOLID BLOCKING FOR MANTEL SUPPORT.
- HEADER
- FIRE RESISTANT MATERIAL AROUND OPENING 360°
- NON-COMBUSTIBLE HEARTH THICKNESS AS PER IRC/IBC
- REDWOOD FASCIA - 1" x 8", 1" x 10", 1" x 12" (SEE PLAN) W/ TRIM & 26 GA. S.I. DRIP
- 1/2" A/C EXT. WOOD STRUCTURAL PANEL SOFFIT W/ BLOCKED & BEVELED EDGES & JOINTS - GALV. MTL. VENTS AS PER CODE WOOD TRIM (1" x 2" OR 1" x 4") & FREEZE.
- 1/2" WOOD STRUCTURAL EXTERIOR (MIN. C/C) WOOD STRUCTURAL PANEL SHEATHING W/ DOUBLE LAPPED FELT VAPOR BARRIER OR EQUAL NAILED AS PER IRC/IBC 10" O.C. (MIN. 1/4" @ ALL EDGES) 1/2" O.C. SOLVE SHEAR WRT. STUDS 16" O.C. AND MIN. 3" @ DIAPHRAGM BOUNDARY NAILING MIN. 3/8" FROM EDGE. USE #10 GALV. BOX OR KING. ALL CONCRETE TO BE BLOCKED @ 3'-0" O.C. MAX. ALL NAILING TO BE FULLY NAILING TO TOP & BOTTOM - SEAL ALL HOLES, TEARS, & REQUIRED PENETRATIONS.
- BRICK VENEER W/ WALL TIES @ 16" O.C. HORIZ. & EA. 5TH COURSE VERT. PLUS EXTRA @ SPECIAL AREAS. OMIT VERT. JOINTS @ BED COURSE UNDER VAPOR BARRIER 12" MIN. SILL REINFORCING ARCHES, CORNERS, CANTILEVERS, TAIL COLLARS. SEE LINTEL SCHEDULE FOR SIZES, TYPES, & BEARINGS.
- NOTE: ALL FIRE AND SAFETY REQUIREMENTS ARE TO BE STRICTLY ENCLOSED FULLY ENCLOSED FLUE CHASE AREA & AS PER IRC/IBC AND ADHERE TO ALL CONST. REQUIREMENTS REGARDLESS OF ANY APPROVALS TO THE CONTRARY.
- PREFAB METAL W/ DOUBLE OR TRIPLE LINED SAFETY FLUES. 2" CLEARANCE EVERYWHERE. REFER TO IRC/IBC FOR STIFFENING AND SHEAR EFFECTS & NAILING.
- NOTE: SIMILAR 2" x 6" S4S HANDRAIL ON WALL TO HAVE 1/2" GRIP x 1/2" CLEARANCE (MIN.) & 3/8" @ 16" O.C. IN STUDS, TOP @ 34" TO 36" FROM NOSING-SEE IRC/IBC (MAX. 4" CLEARANCE)
- 2" x 6" S4S NOSED/SHAPED OAK RAIL
- 1/4" x 1" STEEL TOP PLATE W/ 3/8" x 1/2" WOOD SCREWS @ 6" O.C.
- 1/4" x 2" STEEL TUBE @ 4'-0" O.C. W/ 3/4" ROD PICKETS @ 5' O.C. ALL NEEDED (MAX. 4" CLEAR SPACE).
- 1/4" x 2" 1/2" METAL PLATE W/ WOOD TRIM STAGGERED 1/2" FROM STUDS. 3/8" x 4" LONG EACH SIDE OF POSTS & 4" O.C.
- TYPICAL FLOOR
- FINISH AS PER OWNER (NON-SLIP)
- RAILING SIMILAR TO ABOVE
- 2" x 12" TREADS
- 3/4" RISERS
- CONT. 2" x 6" ANCHORED KICK PLATE
- TYP. 2" x WALL SUPPORT W/ DEL. TOP PLATE TOP OF STAIR & MID FLIGHT.
- 5/8" TYPE X-FIREROCK
- 3-2" x 12" CARRIAGES SOLID FIRE BLOCKED TOP & BOTTOM NAIL @ MID FLIGHT & @ ADJACENT WALLS ALONG SLOPE OF STAIR
- METAL CLIP & NAILING
- ALL STAIR CONST. MATERIALS TO BE NO. 1 GRADE ALL PARTS & ASSEMBLY TO BE NAILED & GUESS SEE IRC/IBC
- FINISHED WOOD OR GYP/SM. ROCK
- MAXIMUM HEIGHT 7.5' (SEE PLAN).
- RADIANT BARRIER INSTALLATION - TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE SHINY SIDE OF THE SHEET FACES OUT, THE SHEET IS FACTORY PERFORATED, IT IS NOT INSTALLED ON THE ATTIC FLOOR OR WHERE THE SHINY SIDE MAY BECOME COVERED WITH DUST & IS NOT SANDWICHED BETWEEN MATERIALS SUCH AS INSULATION & ROOF SHINGLES. IF APPLIED TO ROOF SHEATHING, THE RADIANT BARRIER MUST FACE DOWN INTO THE ATTIC & MAY NOT BE COVERED. RADIANT BARRIERS ARE NOT TO BE USED IN PLACE OF INSULATION. REFLECTIVE PAINT IS NOT CONSIDERED A RADIANT BARRIER.

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall notify the ARCHITECT OF ANY DISCREPANCIES AND/OR OMISSIONS AS SHOWN ON THESE CONSTRUCTION DOCUMENTS. THESE CONSTRUCTION DOCUMENTS ARE INTENDED FOR GENERAL CONSTRUCTION PURPOSES ONLY AND ARE NOT EXHAUSTIVELY DETAILED NOR SHALL THEY BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT AND IT SHALL BE HIS/HER RESPONSIBILITY TO SELECT, VERIFY, RESOLVE, AND INSTALL ALL EQUIPMENT AND MATERIALS AND TO CONTROL THE QUALITY THEREOF. ALL WORK PERFORMED ON THIS PROJECT SHALL MEET OR EXCEED THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE STATE AND LOCAL CODES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE STABILITY OF THE PROJECT. THE ARCHITECT'S DESIGN SHALL BE REVIEWED BY A QUALIFIED PROFESSIONAL ENGINEER.

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