



CITY OF ROCKWALL

HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Historic Preservation Advisory Board
DATE: November 21, 2019
APPLICANT: Rick Cawthon
CASE NUMBER: H2019-017; *Certificate of Appropriateness (COA)*

SUMMARY

Hold a public hearing to discuss and consider a request by Rick Cawthon for a Certificate of Appropriateness (COA) allowing exterior modifications to a *Non-Contributing Property* being a 0.323-acre tract of land identified as a portion of Block 22, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 205 N. Clark Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1959 and classified as a *Non-Contributing* property according to the 2017 Historic Resources Survey. Existing on the subject property is a single-family home that was constructed in 1980 -- *according to the Rockwall Central Appraisal District (RCAD)*. The existing home is approximately 1,146 SF, one (1) story in height, and is clad with cementitious lap siding.

PURPOSE

The applicant is requesting approval of a Certificate of Appropriateness (COA) for the purpose of expanding the existing single-family home on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located 205 N. Clark Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is W. Interurban Street, which is identified as a residential street on the City's Master Thoroughfare Plan. Beyond this, there is one (1) *Non-Contributing* and one (1) *High-Contributing* property. Following this is Williams Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this there is one (1) *High-Contributing* property, which delineates the northern boundary of the Old Town Rockwall (OTR) Historic District. These areas are zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property, there are several *Non-Contributing* properties followed by E. Kaufman Street, which is identified as a residential street on the City's Master Thoroughfare Plan. Beyond this there are three (3) *Non-Contributing* and one (1) *High-Contributing* property. These areas are zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is N. Clark Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Following this there is one (1) *Non-Contributing* and one (1) *High-Contributing* property that delineates the eastern boundary of the historic district. These areas are zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property, there are several *Non-Contributing* properties followed by the western boundary of the historic district. These areas are zoned Single-Family 7 (SF-7) District.

CHARACTERISTICS OF THE PROJECT

The applicant is proposing to add a total of 1,400 SF of living space to the rear of the home. In addition to the expansion to the rear of the home, the applicant is proposing to modify the front of the home by widening the existing front porch, replacing the existing wrought-iron posts with wood posts, and adding a front-facing gable above the porch. According to the applicant, the new roof will match the existing roofs' overhang and fascia. Additionally, the applicant is proposing to remove the existing siding and replace with a new cementitious lap siding.

CONFORMANCE TO THE HISTORIC DISTRICT GUIDELINES & CITY'S CODES

According to Subsection 6.03, *Historic Overlay (HO) District*, of Section 6, *Overlay Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), a *Non-Contributing* structure is a building, site, structure, or an object which does not add to the historical architectural qualities, historical associations, or archaeological value for which a property or district is significant. In this case, the subject property is considered to be *Non-Contributing* because the home was constructed in 1980 and was not present during a period of significance. According to Section 6.2.G, *Standards of Approval*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) the Historic Preservation Advisory Board (HPAB) must approve an application for a Certificate of Appropriateness (COA) if it determines that the application will not adversely affect the character of the adjacent historic properties, and the proposed work is consistent with the regulations contained in the Unified Development Code (UDC). Although the home is not considered to be historic and does not have to adhere to the Historic Preservation Guidelines outlined in the Unified Development Code (UDC), the home is located within 300-feet of a *High Contributing* property (*i.e. 202 N. Clark Street*). As a result, the Historic Preservation Advisory Board (HPAB) is tasked with determining if the addition is compatible with the historic district and will not adversely affect the adjacent *High Contributing* property. In this case, the proposed addition will be located mostly to the rear of the home and only small portions of the expansion will be visible from Clark Street. Additionally, the addition appears to match the design and roofline of the existing home, and if approved the proposed scope of work does not appear to impair the historical integrity of the adjacent historical property; however, approval of a Certificate of Appropriateness (COA) is a discretionary decision for the Historic Preservation Advisory Board (HPAB).

CONDITIONS OF APPROVAL

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Certificate of Appropriateness (COA), staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

10/19/2019

Rick and Paulette Cawthon

205 North Clark

Rockwall Texas 75087

Rickgcawthon@gmail.com

214-726-5559

To whom it may concern at the City of Rockwall.

We are requesting a COA to add approximately 1400 square feet to our house located at the above address. Please review the attached site plan, survey, elevation drawings, material list and photographs.

Please let me know if you have additional questions.

Sincerely,

Rick and Paulette



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0 10 20 40 60 80 Feet

H2019-017 - 205 N. CLARK STREET
HISTORICAL - LOCATION MAP = 



INTERURBAN

CLARK

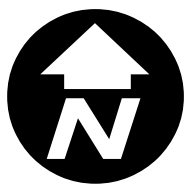
SF-7



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



10/19/2019

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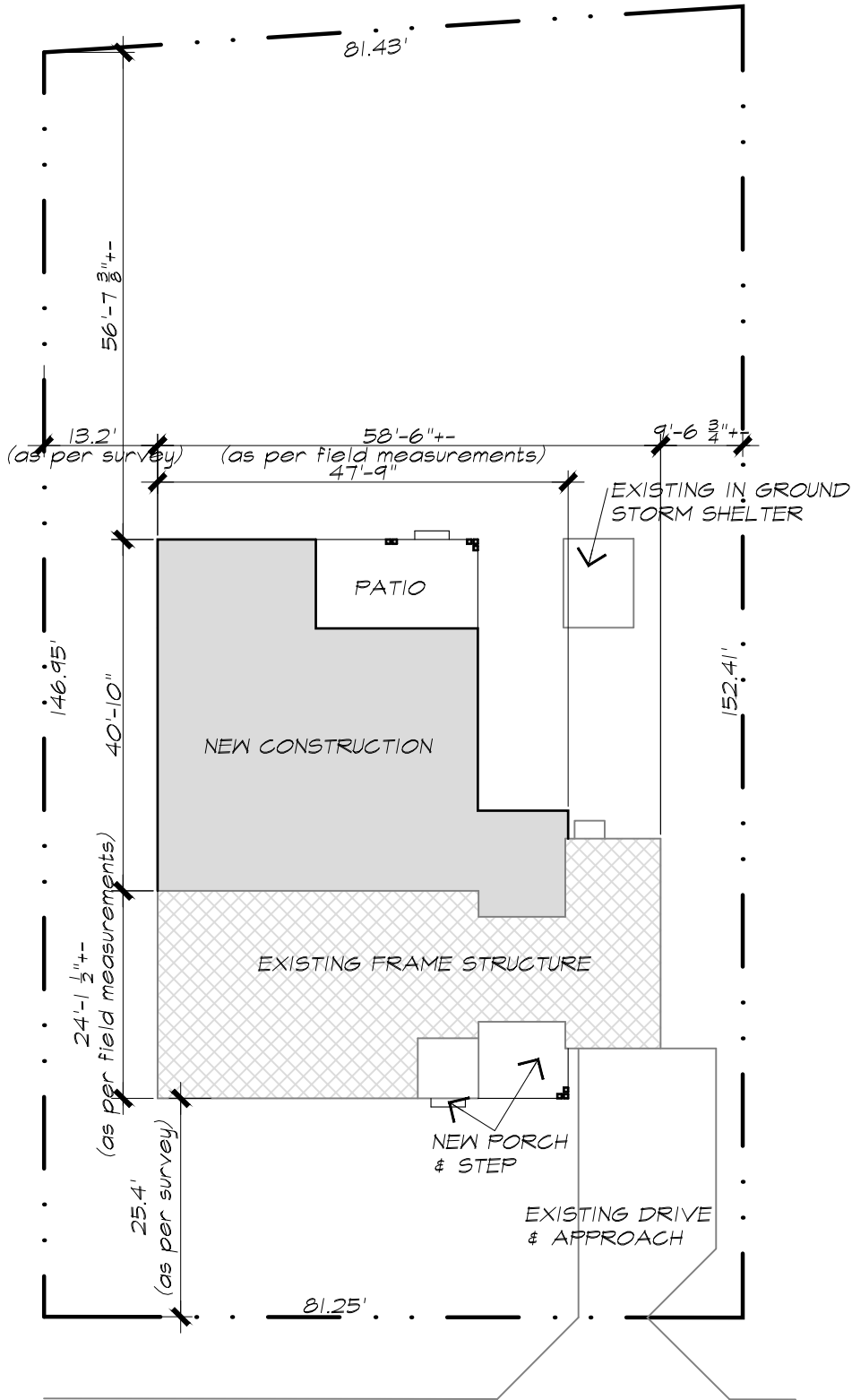
To whom it may concern at the City of Rockwall.

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Sincerely,

Rick and Paulette



205 N. CLARK ST.

LOT AREA = 12,161.73 SF
 LOT COVERAGE = 24.8%

PLAN # C 2431
 DATE: 10/17/2019

SITE PLAN

SCALE: 1" = 20'-0"

M. Rouse Designs

2307 HIGH RIDGE
 SACHSE, TEXAS 75048
 (214) 801-9944
 mrousedesigns.com

"WHERE DESIGN EXCELLENCE BEGINS"

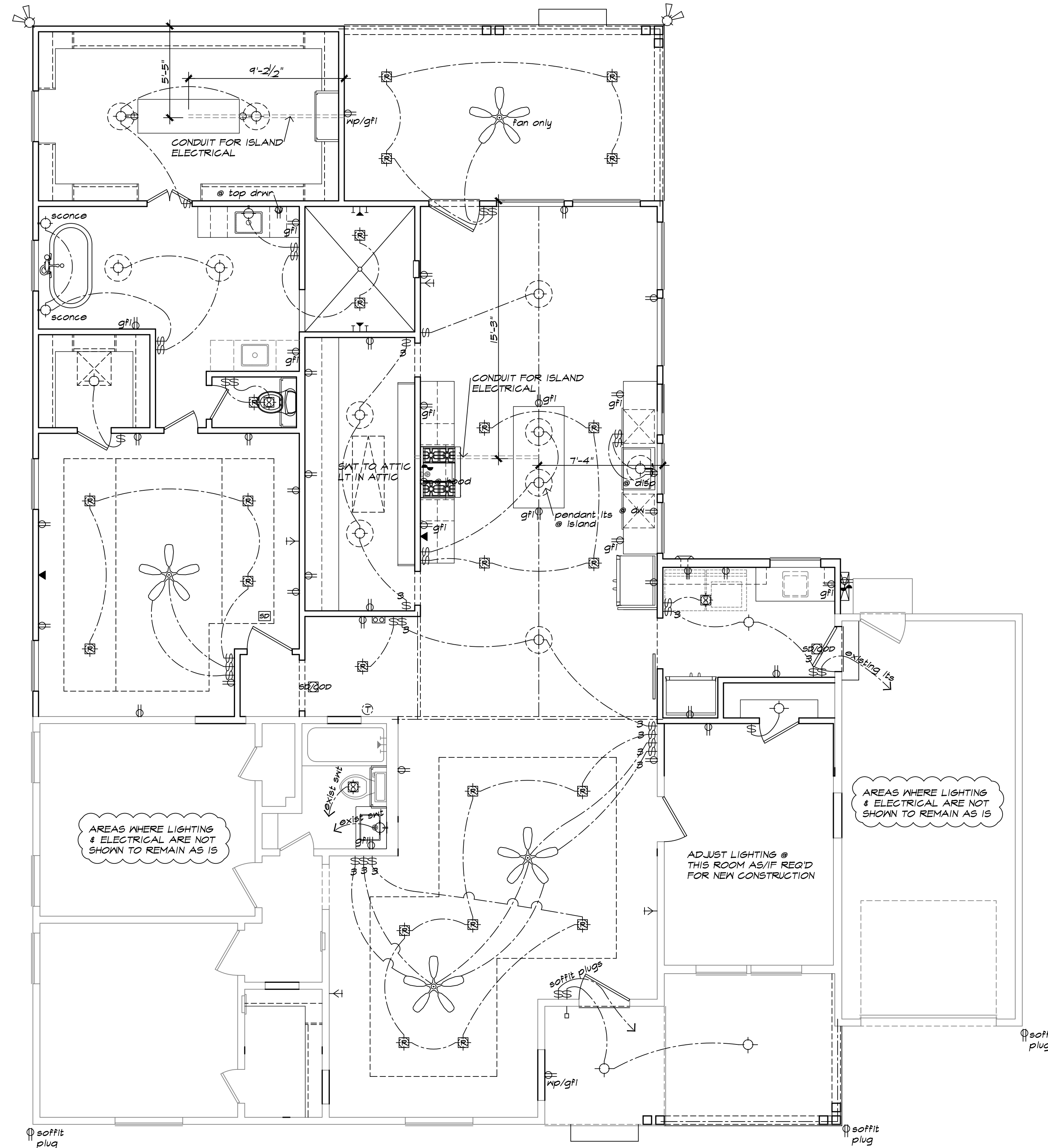
COPYRIGHT 2019 - M. Rouse Designs - ALL RIGHTS RESERVED

PART OF BLOCK 22

THE FARMERS AND MERCHANTS NATION BANK ADDITION

ROCKWALL, TEXAS

PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.



LIGHTING & ELECTRICAL PLAN

SCALE 1/4"=1'-0"
 NOTE:
 FINAL SELECTION & PLACEMENT OF ALL INTERIOR &
 EXTERIOR LIGHTING & ELECTRICAL AS PER OWNER

LIGHTING & ELECTRICAL LEGEND

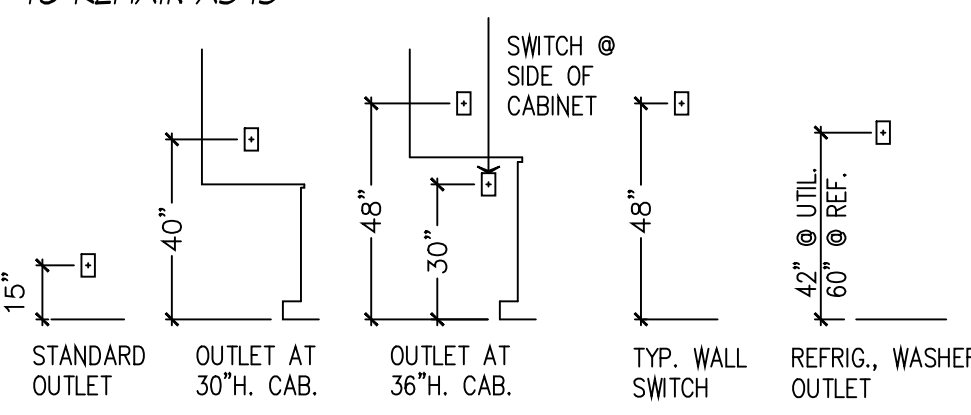
—	LANDLINE - OPTIONAL
⊕	SWITCH
⊕	6"Ø RECESSED LIGHT UNLESS NOTED
⊕	SURFACE MOUNT LIGHT
⊕	RECESSED EXHAUST FAN
⊕	SURFACE MOUNTED WALL LIGHT
⊕	HANGING LIGHT
⊕	DUPLEX RECEPTACLE
⊕	220 RECEPTACLE
⊕	DUPLEX WEATHER PROOFED GROUND GROUND FAULT INTERRUPTER
⊕	DUPLEX GROUND FAULT INTERRUPTER
⊕	TV OUTLET (CAT 5e)
⊕	SMOKE DETECTOR
⊕	DOUBLE FLOOD LIGHT ASSEMBLY ON MOTION SENSOR
⊕	CEILING FAN W/LIGHT KIT UNLESS NOTED
⊕	SMOKE/CARBON MONOXIDE DETECTOR
⊕	THERMOSTAT
⊕	PUSH BUTTON TO CHIME
⊕	CHIME

NOTE
 ALL FIXTURES NOTED IN THIS LEGEND MAY BE MULTIPLE & ARE TO BE AS PER BUILDER

ELECTRICAL NOTES
 (where applicable)

THIS ELECTRICAL LAYOUT IS SCHEMATIC ONLY! VERIFY ALL ELECTRICAL REQUIREMENTS, INCLUDING ENGINEERING AND CODE, SMOKE DETECTORS, EXTERIOR POOL, COAX, DEDICATED LINES, INTERCOM/SECURITY, TV/MUSIC, ACCENT, LOW VOLTAGE, MASTER CONTROLS, COMPUTER INTERFACING, AND ALL SELECTIONS OF TYPE, SIZE, AND STYLE OF FIXTURES.

- NOTE:
- * RELOCATE, REMOVE &/OR REMARK ALL EXISTING LIGHTING & ELECTRICAL AS REQUIRED FOR DEMOLITION & NEW CONSTRUCTION
 - * ALL LIGHTING & ELECTRICAL NOT SHOWN IS EXISTING & TO REMAIN AS IS



ELECTRICAL OUTLET LOCATIONS
 (where applicable)

**A RENOVATION FOR
 205 N. CLARK
 ROCKWALL, TEXAS**

M Rouse Designs
 2307 HIGHRIDGE
 SACHSE, TEXAS 75048
 (214) 801-9944
 mrouse designs.com
 MROUSE DESIGN IS AN EQUAL OPPORTUNITY FIRM
 COPYRIGHT 2019 - Mrouse Designs - ALL RIGHTS RESERVED

REVISED DATE

SHEET
 AB

DESIGN NUMBER
 C 2431

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall make adjustments to any discrepancies and/or omissions. The contractor shall be responsible for the accuracy of the construction documents and shall be held liable for any errors or omissions. The contractor shall be responsible for the accuracy of the construction documents and shall be held liable for any errors or omissions. The contractor shall be responsible for the accuracy of the construction documents and shall be held liable for any errors or omissions.









