



HISTORIC PRESERVATION ADVISORY BOARD APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

CASE NUMBER: H2018-015

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR HAS SIGNED BELOW.

DIRECTOR OF PLANNING: _____

DATE RECEIVED: _____

RECEIVED BY: _____

APPLICATION:

- Certificate of Appropriateness (COA)
- Local Landmark Evaluation & Designation
- Building Permit Waiver & Reduction Program
- Small Matching Grant Application

SPECIAL DISTRICTS [SELECT APPLICABLE]:

- Old Town Rockwall Historic (OTR) District
- Planned Development District 50 (PD-50)
- Southside Residential Neighborhood Overlay (SRO) District
- Downtown (DT) District

CONTRIBUTING STATUS [SELECT APPLICABLE]:

- Landmarked Property
- High Contributing Property
- Medium Contributing Property
- Low Contributing Property
- Non-Contributing Property

CURRENT LAND USE OF THE SUBJECT PROPERTY:

- Residential
- Commercial

PROPERTY INFORMATION [PLEASE PRINT]

Address 202 S. Clark, Rockwall TX. 75087

Subdivision Old Town

Lot

Block

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Is the owner of the property the primary contact? Yes No

Applicant(s) is/are: Owner Tenant Non-Profit Resident

Check this box if Owner and Applicant are the same.

Other, Specify: _____

Owner(s) Name Lisa A. Rich

Applicant(s) Name

Address 202 S. Clark

Address

Phone 972-854-1483

Phone

E-Mail rlr1ch1@sbcglobal.net

E-Mail

SCOPE OF WORK/REASON FOR EVALUATION REQUEST [PLEASE PRINT]

Construction Type [Check One]: Exterior Alteration New Construction Addition Demolition
 Relocations Other, Specify: _____

Estimated Cost of Construction/Demolition of the Project (if Applicable): \$

PROJECT DESCRIPTION. In the space provided below or on a separate sheet of paper, describe in detail the work that will be performed on site. For *Local Landmark Evaluation & Designation* requests indicate any additional information you may have concerning the property, history, significance, present conditions, status, current or past use(s), etc. Staff recommends that photographs of the interior and exterior of the property are submitted with this application.

Add covered porch to N/E corner of house.

OWNER & APPLICANT STATEMENT [ORIGINAL SIGNATURES REQUIRED]

I acknowledge that I have read this application and that all information contained herein is true and correct to the best of my knowledge. Furthermore, I understand that it is necessary for me or a representative to be present at a public hearing for this case to be approved.

Owner's Signature

Applicant's Signature



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # H2018-015 P&Z DATE _____ CC DATE _____ APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE 9/20/18 PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input type="checkbox"/> RECIEPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____

CITY OF ROCKWALL
HISTORIC PRESERVATION ADVISORY BOARD (HPAB) MEMO

AGENDA DATE: 09/20/2018

APPLICANT: Lisa Rich

AGENDA ITEM: H2018-015; COA for 202 S. Clark St.

SUMMARY:

Hold a public hearing to discuss and consider a request by Lisa Rich for a Certificate of Appropriateness (COA) for modifications to a *Non-Contributing Property* being a 0.2070-acre parcel of land located in the Old Town Rockwall (OTR) Historic District and the Historic Overlay (HO) District, identified as Lot 1, Dawson Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 202 S. Clark Street, and take any action necessary.

PURPOSE AND BACKGROUND:

The applicant is requesting the approval of Certificate of Appropriateness (COA) in conjunction with a Building Permit Waiver/Reduction [Case No. H2018-016] for the purpose of expanding the front porch on an existing single-family home. According to the 2017 Historic Resources Survey of Rockwall, the home was constructed in 1950 and is considered to be a Bungalow with Craftsman stylistic influences. The home is located on a *Non-Contributing Property*, situated within the Old Town Rockwall (OTR) District and the Historic Overlay (HO) District, and is addressed as 202 S. Clark Street.

There is currently an existing small covered porch on the front of the home and the applicant is proposing to increase the size of the porch by ~110 SF to extend it to the end of the home. According to the applicant, the materials will match the existing porch and the intent is to blend seamlessly with the existing porch and to be compatible with the existing home and neighboring homes. The subject property is recognized as a *Non-Contributing Property*, which indicates that the "...building, site, structure, or object does not add to the historical architectural qualities or historical associations or archaeological value for which a property or district is significant because it was not present during the period of significance..." or "...due to alterations, disturbances, additions, or other changes so that it no longer possesses historical integrity reflecting its character at that time, is incapable of yielding important information about that period, or it does not independently meet the National Register criteria.." In this case, several alterations (e.g. windows and doors replaced, exterior wall materials replaced and an ~45 SF front porch added) were made to the home in 1990, according to the Rockwall County Appraisal District (RCAD). Additionally, a rear addition, side addition and a swimming pool were added in 2006, which attributes to the non-contributing status of the subject property.

STAFF ANALYSIS:

Although the subject property is non-contributing and is not required to conform to the Section III, *Building Standards*, of Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC), the Historic Preservation Advisory Board (HPAB) is tasked with determining if the expansion of the porch is compatible with the historic district. In this case, the applicant is proposing to match the design and roofline of the existing porch and the expanded porch appears to be compatible with the neighboring homes. Staff should note, there are several homes of similar style located across the street and just south of the subject property, however, these homes are not located within the historic district. Considering the applicant's


scope of work and the subject property's non-contributing status, this request is compatible with the historic district and approval of this request does not appear to negatively impact the historical integrity of the subject property or neighboring properties. With that being said, approval of a Certification of Appropriateness (COA) is a discretionary decision for the Historic Preservation Advisory Board (HPAB).

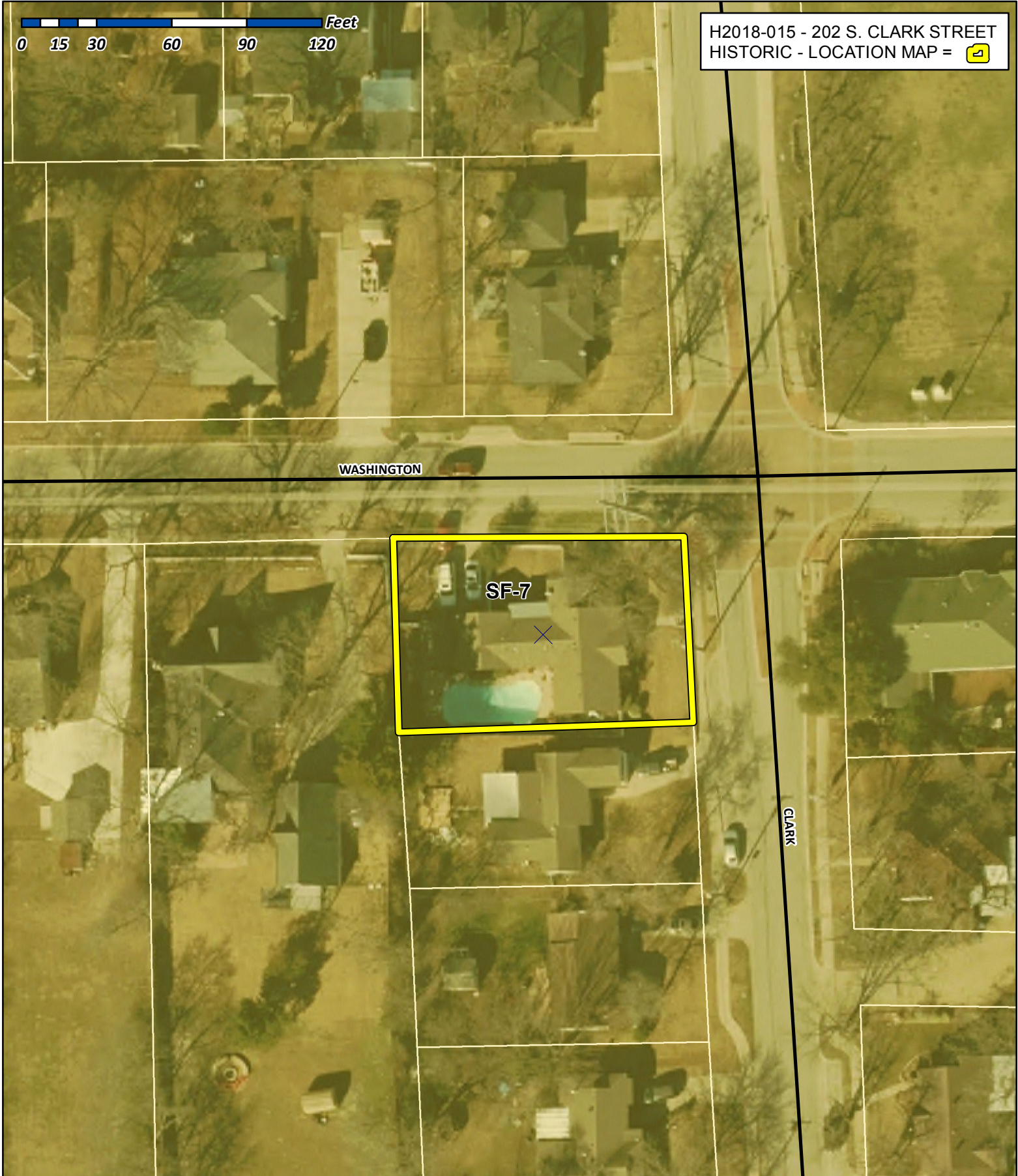
RECOMMENDATIONS:

Should the Historic Preservation Advisory Board (HPAB) approve the Certificate of Appropriateness (COA), staff would recommend the following conditions of approval:

1. The expansion of the front porch shall match the materials and design of the existing porch.
2. Any construction or building necessary to complete this Certificate of Appropriateness (COA) request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

0 15 30 60 90 120 Feet

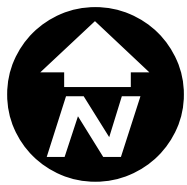
H2018-015 - 202 S. CLARK STREET
HISTORIC - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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Lisa A. Rich -
202 S. Clark
Rockwall, TX. 75087
972-854-1483

I am adding a small front patio
to the existing front patio on the N/E
corner of the house.

Using the same materials as the existing
house. Size: 10x11 w/ a
covered patio.

L.A.R.

Google Maps 202 S Clark St



Image capture: Dec 2016 © 2018 Google

Rockwall, Texas



Street View - Dec 2016

Small front patio
 roofed - to existing
 (10X11) house.