



HISTORIC PRESERVATION ADVISORY BOARD APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

CASE NUMBER: H2018-02

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR HAS SIGNED BELOW.

DIRECTOR OF PLANNING: _____

DATE RECEIVED: _____

RECEIVED BY: _____

APPLICATION:

- Certificate of Appropriateness (COA)
- Local Landmark Evaluation & Designation
- Building Permit Waiver & Reduction Program
- Small Matching Grant Application

SPECIAL DISTRICTS [SELECT APPLICABLE]:

- Old Town Rockwall Historic (OTR) District
- Planned Development District 50 (PD-50)
- Southside Residential Neighborhood Overlay (SRO) District
- Downtown (DT) District

CONTRIBUTING STATUS [SELECT APPLICABLE]:

- Landmarked Property
- High Contributing Property
- Medium Contributing Property
- Low Contributing Property
- Non-Contributing Property

CURRENT LAND USE OF THE SUBJECT PROPERTY:

- Residential
- Commercial

PROPERTY INFORMATION [PLEASE PRINT]

Address **507 E. Rusk Street**

Subdivision **Griffith**

Lot **C** Block **11**

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Is the owner of the property the primary contact? Yes No

Applicant(s) is/are: Owner Tenant Non-Profit Resident

Check this box if Owner and Applicant are the same.

Other, Specify: _____

Owner(s) Name **Rodney & Fran Webb**

Applicant(s) Name _____

Address **507 E. Rusk Street**
Rockwall TX 75087

Address _____

Phone **972-824-6690 972-978-6133**

Phone _____

E-Mail **webbsite3@att.net**

E-Mail _____

SCOPE OF WORK/REASON FOR EVALUATION REQUEST [PLEASE PRINT]

Construction Type [Check One] : Exterior Alteration New Construction Addition Demolition
 Relocations Other, Specify: **repaint exterior of home**

Estimated Cost of Construction/Demolition of the Project (if Applicable): **\$ 5500.00**

PROJECT DESCRIPTION. In the space provided below or on a separate sheet of paper, describe in detail the work that will be performed on site. For *Local Landmark Evaluation & Designation* requests indicate any additional information you may have concerning the property, history, significance, present conditions, status, current or past use(s), etc. Staff recommends that photographs of the interior and exterior of the property are submitted with this application.

The home needs to be repainted and we want to keep with historic colors, so the paint color

will be Classical White from the Sherwin Williams Historic Collection. The front door is going to be

Sherwin Williams Indigo.

OWNER & APPLICANT STATEMENT [ORIGINAL SIGNATURES REQUIRED]

I acknowledge that I have read this application and that all information contained herein is true and correct to the best of my knowledge. Furthermore, I understand that it is necessary for me or a representative to be present at a public hearing for this case to be approved.

Owner's Signature

R Webb *Fran Webb*

Applicant's Signature



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # H2018-017 P&Z DATE _____ CC DATE _____ APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input type="checkbox"/> APPLICATIONS
<input type="checkbox"/> RECIEPT
<input type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPTER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____

**CITY OF ROCKWALL
HISTORIC PRESERVATION ADVISORY BOARD (HPAB) MEMO**

AGENDA DATE: 06/21/2018

APPLICANT: Rodney and Fran Webb

AGENDA ITEM: **H2018-012**; *Small Neighborhood Matching Grant for 507 E. Rusk Street*

SUMMARY:

Hold a public hearing to discuss and consider a request for a Small Neighborhood Matching Grant from Rodney and Fran Webb for a *Low-Contributing Property* zoned Single-Family 7 (SF-7) District, situated within the Historic Overlay (HOV) District, addressed as 507 E. Rusk Street, further identified as Block 79, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, and take any action necessary.

PURPOSE AND BACKGROUND:

The applicants are requesting the approval of a Small Neighborhood Matching Grant for the purpose of renovating an existing home on a *Low-Contributing Property* that is located within the Old Town Rockwall (OTC) Historic District addressed as 507 E. Rusk Street.

CHARACTERISTICS OF THE PROJECT:

The subject property is located at 507 E. Rusk Street and is recognized as a *Low-Contributing Property*, which indicates that the property is 50 years or older and significantly altered, however it is important for their historical associations. Additionally, these properties reveal useful information about the development of the City of Rockwall or its neighborhoods, buildings, or structures. The home is approximately 1,997 sq. ft., and based on the 2017 Historic Resources Survey, the main area was considered to have been constructed in the Folk Victorian style in 1890. The property is zoned Single Family (SF-7) District and is located on the northwest corner of E. Rusk Street and N. Tyler Street.

The applicants are requesting approval of a Small Neighborhood Matching Grant for the purpose of renovating an existing home. According to the applicants, the purpose of the renovation is to paint the exterior of the home as well as the front door. According to the applicants, the home will be painted white and the front door will be painted indigo. Additionally, the applicants state that with the exception of painting the home, they intend to maintain the appearance of the home. The Historic Preservation Advisory Board (HPAB) recently approved a Small Neighborhood Matching Grant [*H2018-010*] and a Building Permit Fee Waiver [*H2018-011*] for the subject property for the purpose of replacing the existing aluminum windows with wood windows that are more compatible with the architecture of the time period in which the home was originally constructed. Staff should note, paint does not require a building permit and therefore does not require a Certificate of Appropriateness (COA).

The Small Neighborhood Matching Grants Program is an incentive to encourage small improvements or beautification projects for residential properties within the City's historic districts. This program provides matching funds of up to 50% of the total cost. For a residential property to be eligible for the Small Matching Grant Program, the property must be located


within the Old Town Rockwall (OTR) Historic District or the Southside Residential Neighborhood Overlay (SRO) District and must involve improvements to the outside of the property that are visible to the street (*i.e. landscaping, painting, replacement of windows, etc*). Based upon the applicant's scope of work, painting the exterior of the home would be eligible for the Small Neighborhood Matching Grant. Properties classified as *Low-Contributing* shall be eligible for a total grant amount of up to \$1,000.00. Based on the estimated valuation of \$5,500 for the remodel/rehabilitation, the applicant is eligible for a total grant amount of \$1,000.00. The Historic Preservation Advisory Board (HPAB) approved a small matching grant of \$1,000 for 302 Margaret Street [H2018-007] on April 19, 2018 and \$1,000 for the subject property [H2018-010] on May 17, 2018 which leaves \$3,000 for Small Neighborhood Matching Grant funds to be allocated in FY2018. Should this request be approved, the Small Neighborhood Matching Grant funds would be reduced to \$3,000.00.

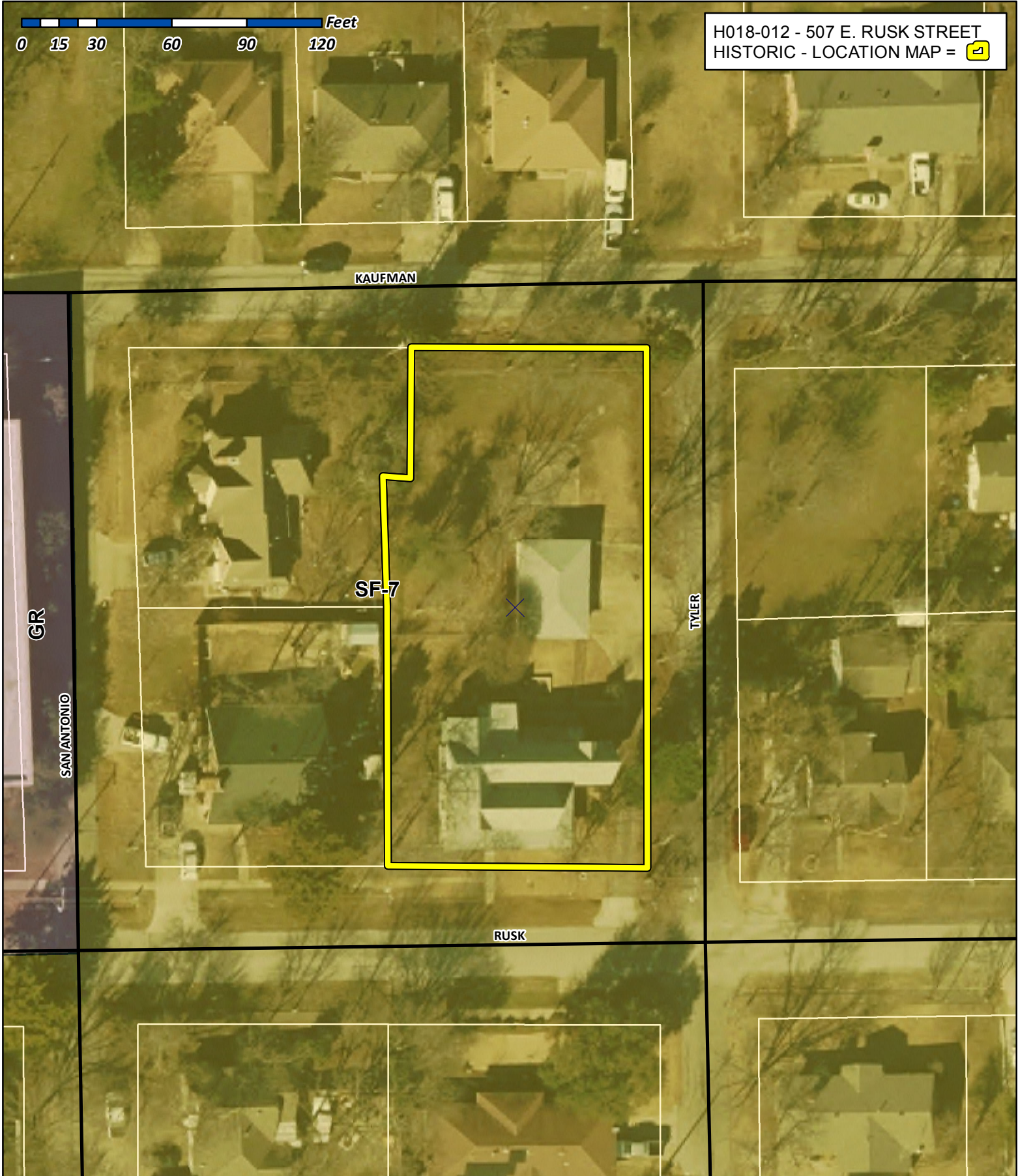
RECOMMENDATIONS:

Based on the applicant's proposed scope of work and the contributing nature of the subject property, the applicant is eligible for a building permit waiver, however, of this request is a discretionary decision for the Historic Preservation Advisory Board (HPAB). If the HPAB chooses to approve the request, staff would offer the following condition of approval:

- 1) Any construction, building or demolition necessary to complete this request must conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

0 15 30 60 90 120 Feet

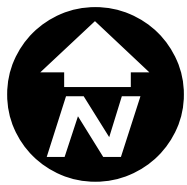
H018-012 - 507 E. RUSK STREET
HISTORIC - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



507 E. Rusk Street
Rockwall TX 75087
May 30, 2018

Historic Preservation Board Advisory Committee
City of Rockwall--Planning and Zoning Department
385 S. Goliad Street
Rockwall TX 75087

To Whom It May Concern:

SUBJECT: REQUEST FOR GRANT MONEY

My husband, Rodney, and I are planning to repaint our home at 507 E. Rusk. The total cost will be \$5,500.00 and we would like to request money from the Small Matching Grants Program to help offset this cost. The property is considered low contributing to the historic district, and we would like to maintain its appearance for the neighborhood. We are planning on painting the home Sherwin Williams-Classical White and the front door Sherwin Williams-Indigo.

Thank you for your consideration. We are proud to live in the Historic Downtown Rockwall Area and want the homes to be improved with each home's history in mind. Do not hesitate to contact me at webbsite3@att.net or (972) 978-6133 with any questions. I have included the completed Historic Preservation Advisory Board Application and a copy of the bid.

Sincerely,

A handwritten signature in cursive script that reads "Fran Webb". The signature is written in black ink and is positioned above the printed name.

Fran Webb

Jose Lopez Painting
613 E. Linda Dr.
Garland TX 75041
214 527-7362

Rodney and Fran Webb
613 Rusk St.
Rockwall, TX. 75087

Proposal and Contract

We propose to furnish all labor and materials to complete the described work at the address listed. All monies are due and payable at the completion of all work.

Clean all exterior surfaces
Caulk all open cracks, crevices, and joints
Sand and prep all surfaces to maintain historical elements
Restore the historical windows that are to remain
Prep and paint all exterior siding and trim to historical color palette
Colors to be chosen prior to start of work

Total bid \$5,500.00

I agree to the listed terms



Jose Lopez date



Homeowner 5-18-18
date



June 26, 2018

ATTN: FRAN WEBB
RODNEY & FRAN WEBB
507 E RUSK STREET,
ROCKWALL, TX 75087

RE: HISTORIC (H2018-012), Small Neighborhood Grant

To Whom It May Concern:

On 06/21/2018, the Historical Preservation Advisory Board (HPAB) voted to approve Case No. H2018-012 with the following conditions of approval:

HISTORIC PRESERVATION ADVISORY BOARD:

On June 21, 2018, the Historic Preservation Advisory Board's (HPAB) motion to approve a small neighborhood matching grant in the amount of \$1000.00 passed by a vote of 7 to 0.

Please feel free to contact me if you have any additional questions concerning this request. Our office hours are 8:00 a.m. to 5:00 p.m., Monday through Friday, and our phone number is (972) 771-7745. Additionally, our offices are located on the first floor of the City Hall, which is located 385 S. Goliad Street, Rockwall, Texas 75087.

Sincerely,

Korey Brooks, AICP
Planner
Planning & Zoning Department
City of Rockwall