

# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD (HPAB) CASE MEMO

**AGENDA DATE:** 12/15/2016

**APPLICANT:** Billy and Autumn Quinton

**AGENDA ITEM:** H2016-008/MIS2016-011; 102 N. Tyler Street

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### **SUMMARY:**

Hold a public hearing to discuss and consider a request by Billy and Autumn Quinton for the approval of a Certificate of Appropriateness (COA) allowing the construction of a new home on a *Low Contributing* vacant property being a 0.17-acre parcel of land identified as Lot 2, Block A, Autumn Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Historic Overlay District and the Old Town Rockwall (OTR) Historic District, addressed as 102 N. Tyler Street, and take any action necessary.

### **PURPOSE AND BACKGROUND:**

The applicant has submitted an application requesting a Certificate of Appropriateness (COA) for the purpose of allowing the construction of a new single family home within the Old Town Rockwall (OTR) Historic District. In addition, the applicant has sent a separate request for a masonry exception to allow less than 80% masonry (*i.e. brick, stone or a cementaceous material*) on the proposed new home.

The subject property is currently identified as a *Low Contributing* property. On September 9, 2016, the City Council approved a replat of Lot 120, Block F of the B. F. Boydston Addition, which was addressed as 601 E. Rusk Street and identified as a *Low Contributing Property*. This replat subdivided the property into two (2) parcels of land, with one property containing an existing 1,744 SF single-family home with a 528 SF detached garage (*i.e. Lot 1, Block A, Autumn Addition*), and the other property being a vacant tract of land (*i.e. Lot 2, Block A, Autumn Addition*). Both properties are 0.17-acres in size. The structure remaining on 601 E. Rusk Street is the reason for the *Low Contributing* designation. It is a post-war home that was constructed in 1946. The vacant tract of land that is the subject property of this case should be re-designated as a *Non-Contributing* property as it lost its historical significance when it was subdivided from the structure on 601 E. Rusk Street. Staff has added this as a condition of approval of this case; however, it will not be officially adopted until the board forwards its recommendations concerning designations to the City Council after the completion of the new survey of the district.

### **CHARACTERISTICS OF THE PROJECT:**

The applicants are proposing to construct a 2,946 SF single-family home on the subject property. According to the applicant's the proposed home will utilize an architectural style and exterior materials that are similar to homes adjacent to the subject property and throughout the district. Specifically, the house will be constructed utilizing a blend of brick and HardiBoard siding. It will be two (2) stories in height and incorporate architectural features like shaker siding under the eaves, porch and window overhangs, wooden carriage garage doors, bay windows, a front porch with spandrels across the front of the house, and a masonry chimney with cap. Staff has reviewed the proposed housing plans for conformance to the *Historic Preservation*

*Guidelines* contained in *Appendix D* of the Unified Development Code, and determined that the applicant's proposal is in substantial conformance.


With this being said, Section 3.1, *General Residential District Standards*, of Article V, *District Development Standards*, of the Unified Development Code outlines the minimum masonry (*i.e. brick, stone -- natural, cast or cultured -- glass block, tile and/or CMU*) requirement for exterior walls on structures that are 120 square feet or greater as 80%; with a maximum of 50% of this masonry requirement being permitted to be Hardy Plank®, stucco or a similar cementaceous material. Typically, these requests are taken to the Planning and Zoning Commission and City Council; however, since the applicant is requesting a Certificate of Appropriateness (COA) within the Old Town Rockwall (OTR) Historic District the Historic Preservation Advisory Board (HPAB) should make a recommendation concerning the request. In this case, the applicant is proposing HardiBoard in the following percentages: 86% on the south elevation, 76% on the east elevation, 72% on the north elevation, and 53% on the west elevation. Staff should point out that a major component of the applicant's request is to allow the structure to blend in with the materials and architectural styles of adjacent structures within the district. In past cases the board has approved COA requests for new construction utilizing HardiBoard siding in excess of the 50% when it finds that the proposed building elevations will be complimentary to existing structures. The approval of a masonry exception is a discretionary decision for the City Council.

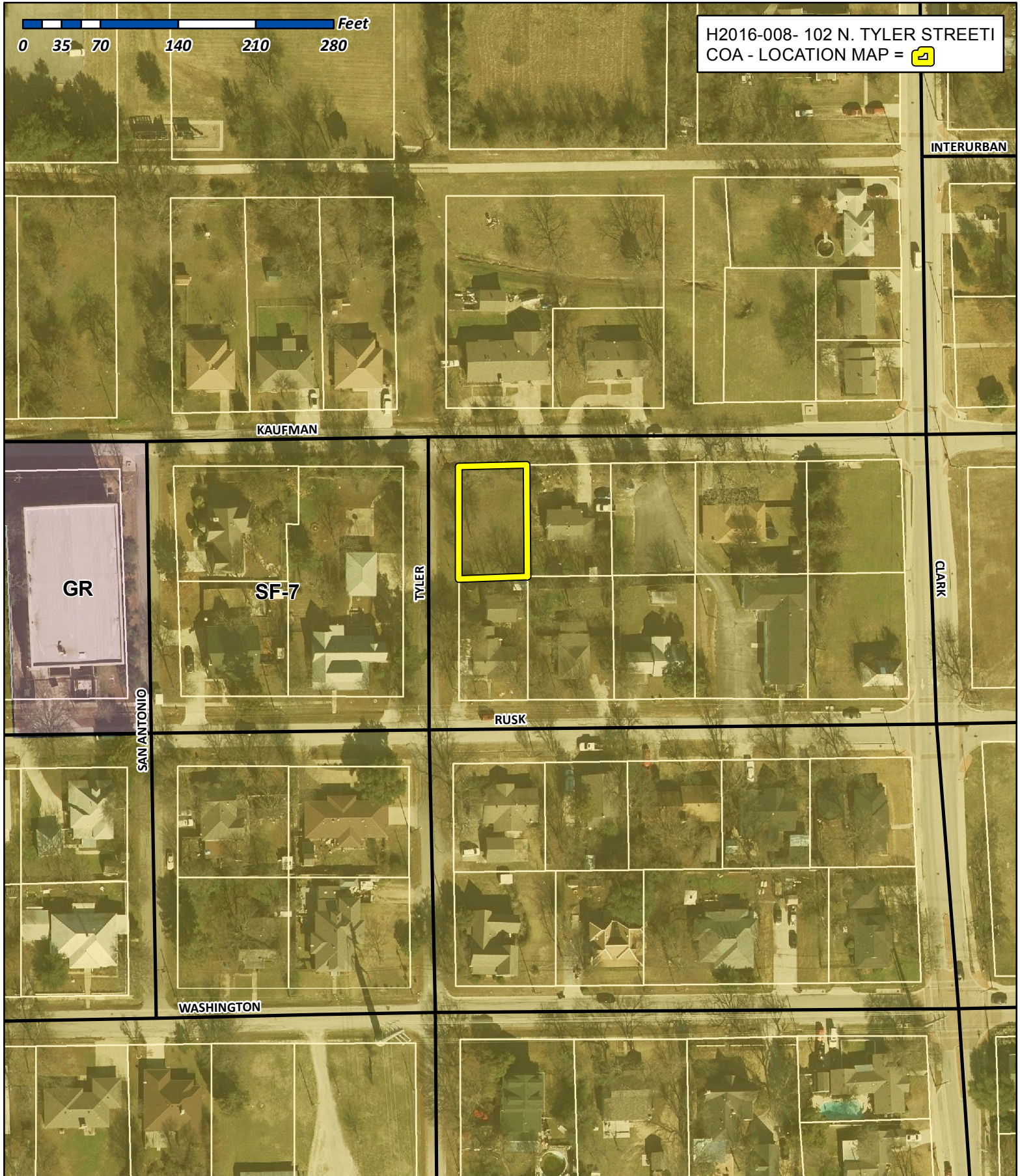
### **RECOMMENDATIONS:**

In this case, the applicant's request is in conformance with all the guidelines for new construction within the City's historic district. In addition, the proposed structure does generally incorporate similar design elements as adjacent properties and approval of the request will does not appear to impair the historical integrity of the *Low Contributing* property south of the subject property. Should the Historic Preservation Advisory Board (HPAB) approve the Certificate of Appropriateness (COA) and recommend approval of the applicant's masonry exception to the Planning and Zoning Commission and City Council, staff would recommend the following conditions of approval:

- 1) The designation of the subject property shall be changed from a *Low Contributing* property to a *Non-Contributing* property to reflect the change of conditions that resulted from the subdivision of the property approved by *Case No. P2016-038*.
- 2) Any construction or building necessary to complete this *Certificate of Appropriateness (COA)* request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

0 35 70 140 210 280 Feet

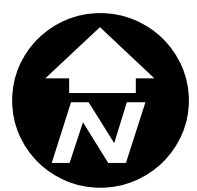
H2016-008- 102 N. TYLER STREET  
COA - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



TRACT 1 & 2  
MARTHA MYERS  
V. 1199, P. 1  
R.P.R.R.C.T.

BASIS OF BEARINGS  
N 0° 42' 37" W 200.00'

N. TYLER STREET

50' R.O.W.

N 0° 42' 37" W 200.25'

10' B.L.

BLOCK A

S 88° 54' 27" E 75.31'

LOT 1  
0.17 ACRES  
7517 SF

JERRY TORRES  
BRENDA HOBACK  
V. 5163, P. 280  
O.P.R.R.C.T.

N 88° 59' 31" W 75.00'

E. RUSK STREET

50' R.O.W.

S 88° 48' 52" E 75.63'

E. KAUFMAN STREET

50' R.O.W.

1/2" CIRS

1/2" PIPE FND  
SPC  
N 7027968.11  
E 2595611.65

CARMAN GALVAN  
V. 1907, P. 137  
R.P.R.R.C.T.

100.13'

LOT 2  
0.17 ACRES  
7548 SF

100.00'

20' B.L.

100.12'

100.00'

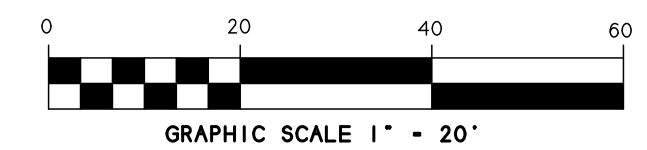
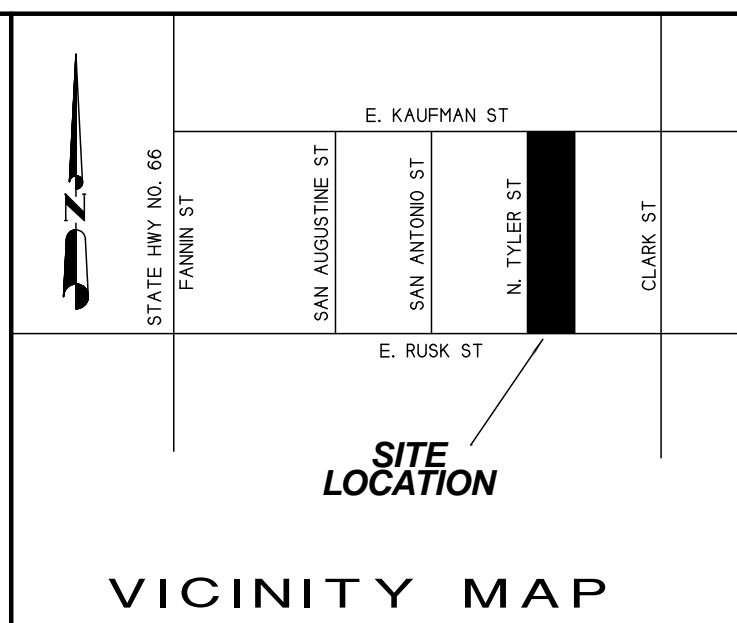
1/2" CIRS  
SPC  
N 7027769.45  
E 2595538.52

1/2" CIRS

POINT OF BEGINNING

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."



FINAL PLAT  
**AUTUMN ADDITION**

0.35 ACRES OR 15065 S.F.  
( 2 LOTS )

B.F. BOYDSTUN SURVEY, A-14  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

SYMBOL LEGEND	
TELEVISION	GAS
CABLE RIDER	PHONE
ELEC	ELEC
ELECTRIC	SUBSURFACE
FENCE	EASEMENT LINE
PROPERTY LINE	AIR COND.
PROPANE TANK	PROPANE TANK

OWNER:  
BILLY AND AUTUMN QUINTON  
601 E. RUSK STREET  
ROCKWALL, TEXAS 75087

**H.D. Fetty Land Surveyor, LLC**

Firm Registration no. 101509-00  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE AUGUST 11, 2016  
SCALE 1" = 20' FILE # 20160253RP  
CLIENT QUINTON

OWNER'S CERTIFICATE  
(Public Dedication)

STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS BILLY AND AUTUMN QUINTON, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being a part of a tract of land as described in a Warranty deed from Martha Bess Snow to Joe T. Lofland, dated March 18, 1946 and being recorded in Volume 41, Page 93 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "RPLS 5034" set for corner at the intersection of the east right-of-way line of N. Tyler Street, a 50 foot right-of-way, and the north right-of-way line of E. Rusk Street, a 50 foot right-of-way, at the southwest corner of said Lofland tract of land;

THENCE N. 00 deg. 42 min. 37 sec. W. along the east right-of-way line of N. Tyler Street, a distance of 200.25 feet to a 1/2" iron rod with yellow plastic cap stamped "RPLS 5034" set in the south right-of-way of E. KAUFMAN STREET, a 50 foot right-of-way, for corner;

THENCE S. 88 deg. 48 min. 52 sec. E. along the south right-of-way of E. KAUFMAN STREET a distance of 75.63 feet to a 1/2" iron pipe found for corner at the northeast corner of said Lofland tract;

THENCE S. 00 deg. 31 min. 57 sec. E. along the east line of said Lofland tract, a distance of 200.00 feet to a 1/2" iron rod with yellow plastic cap stamped "RPLS 5034" set for corner in the north right-of-way line of E. Rusk Street;

THENCE S. 88 deg. 59 min. 31 sec. W. a distance of 75.00 feet to the POINT OF BEGINNING and containing 15,065 square feet or 0.35 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as AUTUMN ADDITION, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

BILLY QUINTON \_\_\_\_\_

AUTUMN QUINTON \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared BILLY QUINTON known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Notary Public in and for the State of Texas

My Commission Expires: \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared AUTUMN QUINTON known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Notary Public in and for the State of Texas

My Commission Expires: \_\_\_\_\_

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III  
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission \_\_\_\_\_ Date \_\_\_\_\_

APPROVED

I hereby certify that the above and foregoing plat of AUTUMN ADDITION, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Mayor, City of Rockwall \_\_\_\_\_

City Secretary City of Rockwall \_\_\_\_\_

City Engineer \_\_\_\_\_

Date \_\_\_\_\_

FINAL PLAT  
**AUTUMN ADDITION**

0.35 ACRES OR 15065 S.F.  
( 2 LOTS )

B.F. BOYDSTUN SURVEY, A-14  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

SYMBOL LEGEND			
TV	GAS	TEL	PH
TELEVISION	POLE	PHONE	POLE
CABLE REEF	ELEC	HYDRANT	HYDRANT
▲	ED	LP	1/2" IRON ROD FOUND
ELEC	ELEC	WATER	1" CORNER
ELECTRIC	BOX	WATER	WATER
METER	SUBSURFACE	METER	WATER
JUNCTION BOX	WATER	WATER	WATER
—	ESSENTIAL LINE	—	AVC
FENCE	PROPERTY LINE	—	PREPARE
			PLAT

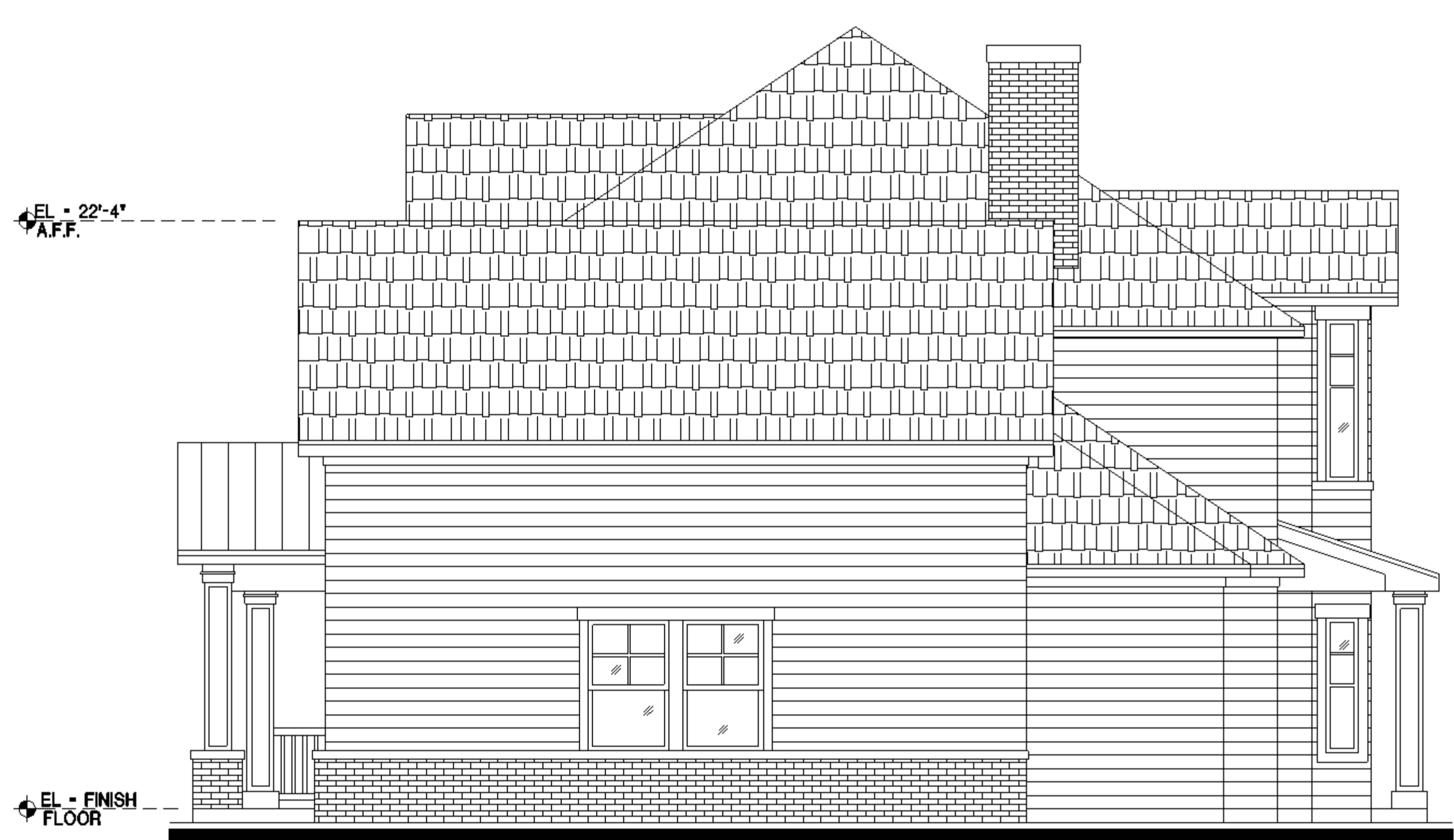
OWNER:  
BILLY AND AUTUMN QUINTON  
601 E. RUSK STREET  
ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE AUGUST 11, 2016  
SCALE 1" = 20' FILE # 20160253RP  
CLIENT QUINTON



MATERIAL RATIO:  
86% TRIM AND SIDING  
13% MASONRY  
9% GLASS

**04 SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"



MATERIAL RATIO:  
76% TRIM AND SIDING  
24% GLASS

**03 EAST ELEVATION**  
SCALE: 1/4"=1'-0"



MATERIAL RATIO:  
72% TRIM AND SIDING  
7% MASONRY  
21% GLASS

**02 NORTH ELEVATION**  
SCALE: 1/4"=1'-0"



MATERIAL RATIO:  
53% TRIM AND SIDING  
22% MASONRY  
15% GLASS  
10% GARAGE DOOR

**01 WEST ELEVATION**  
SCALE: 1/4"=1'-0"

ISSUE LOG

DATE	DESCRIPTION	ISSUE

REVISION LOG

DATE	DESCRIPTION	REV. NO.

ISSUED FOR:

- PRELIMINARY - NOT FOR CONSTRUCTION
- BIDDING / PERMIT
- REVISION / ADDENDUM
- FOR CONSTRUCTION

**S<sup>2</sup>P<sup>2</sup>**  
DESIGNS

ARCH. PROJ. #: 16709	SCALE: R-F, DRAWING
-------------------------	------------------------

SHEET NO.

**A5.1**

ELEVATIONS

**GENERAL NOTES:**

1. COMPLY WITH ALL STATE AND LOCAL BUILDING CODES, ORDINANCES REGULATIONS CONCERNING AND PERTAINING TO CONSTRUCTION.
2. CONNECT ALL WATER, GAS, ELECTRIC, ETC., TO EXISTING UTILITIES IN ACCORDANCE WITH LOCAL CITY BUILDING CODES.
3. PROVIDE TERMITE PROTECTION OVER COMPACTED OR GRANULAR FILL CODE.
4. ALL FOOTINGS ARE TO EXTEND 12" BELOW GRADE MINIMUM PER LOCAL CODE.
5. PROVIDE VENTILATION EQUAL TO 1 SQ. FT. PER 150 SQ. FT. OF ATTIC OR PER LOCAL CODES.
6. 1/2" DRYWALL THROUGHOUT, 3/4" TYPE "X" AT GARAGE CEILING AT WALLS COMMON TO LIVING AREAS AND ENCLOSED SPACES OR PER PLANS.
7. GYPSUM WALLBOARD INSTALLED AS A BACKING IN SHOWERS, TUB AREAS, LAUNDRY SPACES AND OTHER WET AREAS TO TYPE W.R. IDENTIFIED AND REFERRED TO AS "GREEN BOARD" OR EQUIVALENT.
8. STUCCO EXTERIOR TO BE ICBO APPROVED STUCCO SYSTEM CEMENTITIOUS FINISH OR APPROVED EQUAL.
9. ALL EXTERIOR AND INTERIOR GLASS GLAZING TO COMPLY WITH LOCAL CODES.

**FRAMING AND LUMBER NOTES:**

1. ALL SAW LUMBER SHALL BEAR STAMP OF WWPA OR APPROVED TESTING AGENCY.
2. ROOF JOIST, FLOOR JOIST, LEDGERS AND PLATES TO BE DOUGLAS FIR #2 OR BETTER.
3. ALL STUDS TO DOUGLAS FIR STUD GRADE OR APPROVED EQUIVALENT.
4. ROOF PLYWOOD SHEATHING TO 5/8" STANDARD 5-PLY WITH EXTERIOR GLUE WITH STAMP OF APPROVED TESTING AGENCY OR AS NOTED ON TYPICAL WALL SHEET.
5. FRAMING CONNECTIONS OR BE SIMPSON OR EQUIVALENT.
6. ALL BEARING STUD WALLS TO BE 2X6 AT 16" O.C. UNLESS NOTED OTHERWISE.
7. ALL BEARING PARTITIONS SHALL HAVE DOUBLE TOP PLATES.
8. ALL INTERIOR HEADERS TO BE (2)2X 2'S UNLESS NOTED OTHERWISE.
9. ALL EXTERIOR HEADERS TO BE (3)2X12'S UNLESS NOTED OTHERWISE.
10. CUTTING, NOTCHING, AND DRILLING OF WOOD MEMBERS SHALL COMPLY TO THE UNIFORM BUILDING CODE AND LOCAL AND STATE BUILDING CODES.
11. ALL CONVENTIONAL FRAMING SHALL COMPLY TO ALL LOCAL CODES.
12. ROOF TRUSSES TO BE MANUFACTURED BY AN APPROVED FABRICATOR.
13. ALL LUMBER SHALL BE #1-#2 SOUTHERN PINE, DOUGLAS FIR, OR FEMLOCK.
14. ALL EXTERIOR DOORS SHALL BE 1 1/2" THICK SOLID CORE 1 1/2" BUTTS OR META. INSULATION AS SHOWN ON DRAWINGS.

ALL HEADERS SHALL BE (3) 2X12 EXTERIOR & INTERIOR BEARING WALLS UNLESS NOTED OTHERWISE  
 MIN-1 JACK STUD EA. SIDE OF OPG. TO 8" WIDE  
 MIN-2 JACK STUD EA. SIDE OF OPG. TO 8" WIDE  
 MIN-3 JACK STUD EA. SIDE OF OPG. TO 12" WIDE  
 ALL HEADERS (ANY SIZE) SHALL BE 1/2" PLYWOOD FILLERS @ 6" & NAILED W/ 16D NAILS

**FOUNDATION NOTES:**

1. GENERAL CONTRACTOR SHALL CHECK WITH THE ARCHITECTURAL, MECHANICAL & ELECTRICAL DRAWINGS FOR OPENINGS, SLEEVES, ANCHORS, HANGERS, SLAB DEPRESSIONS AND OTHER ITEMS RELATED TO CONCRETE WORK AND SHALL ASSUME FULL RESPONSIBILITY FROM THE PROPER LOCATIONS BEFORE POURING CONCRETE.
2. ALL CONCRETE SHALL BE #4 MIX.
3. ALL CONCRETE SHALL BE VIBRATED, CONCRETE CAST AGAINST SOIL OR EXPOSED TO WEATHER SHALL HAVE AN AIR ENTRAINMENT.
4. ALL FOOTINGS & FOUNDATION WALLS SHALL BE CAST IN PLACE CONCRETE.
5. FOOTINGS SHALL BE 12" THICK MINIMUM.
6. BOTTOM OF ALL FOOTINGS SHALL BE 5'-0" BELOW GRADE MIN.
7. PROVIDE 3-M REBAR TOP AND BOTTOM IN ALL FOUNDATION WALLS.

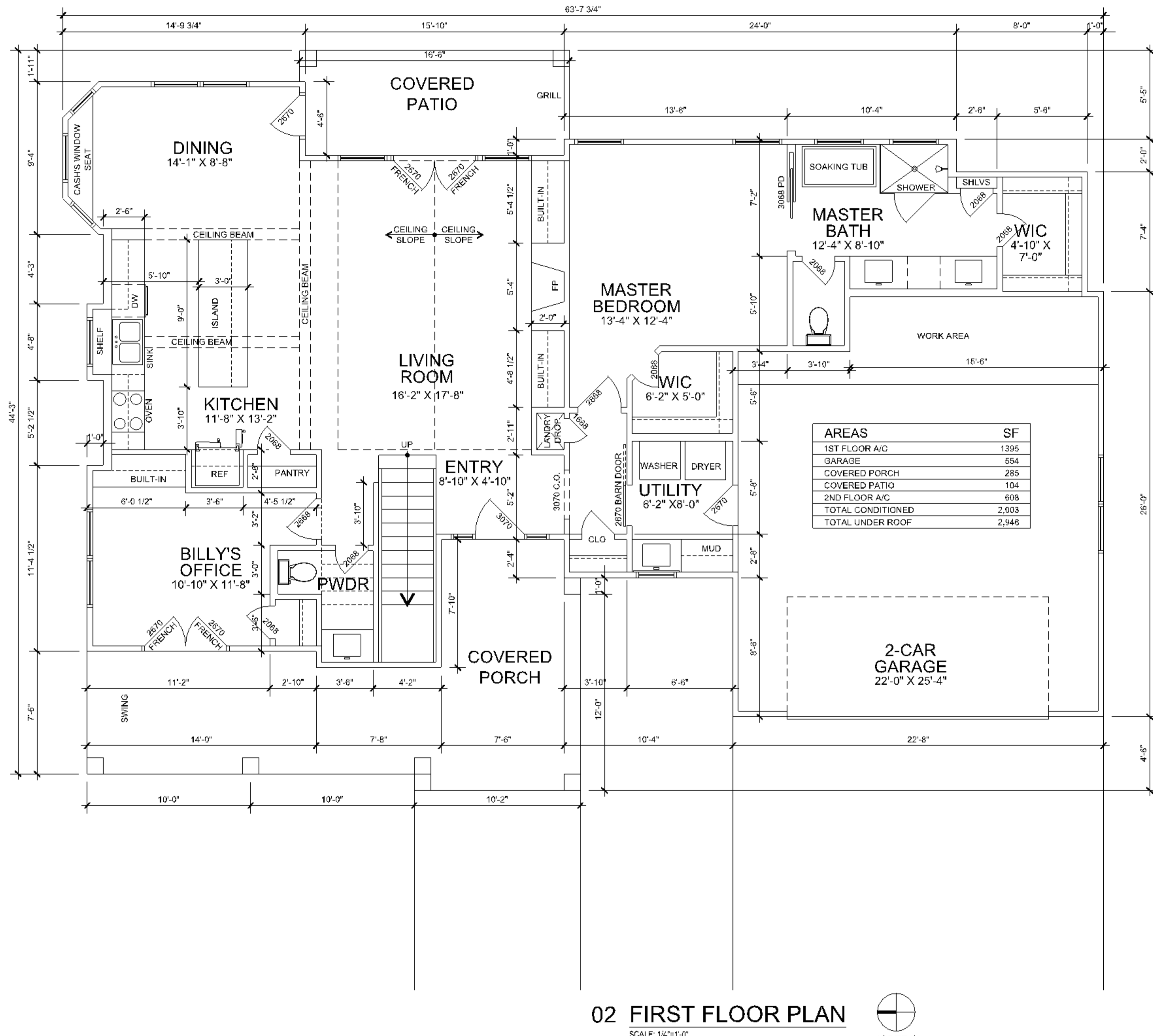
8. THE TOP OF FOUNDATION WALLS FOR FRAME CONSTRUCTION SHALL BE AT LEAST 8" ABOVE 14" FOR BRICK VENEER.
9. PROVIDE 1" DIA. STEEL ANCHOR BOLTS X 1'-0" LONG AT 6'-0" O.C. AND 1'-0" MAX FROM EACH CORNER, BOTH DIRECTIONS.
10. PROVIDE THICKEN SLAB WHERE INDICATED ON FOUNDATION PLANS UNDER BEARING POINTS.
11. ISOLATION JOINT MATERIAL BETWEEN FOUNDATION WALLS AND ALL SLABS INCLUDING PATIO, PORCH AND SIDEWALKS.
12. CONTROL JOINTS WHERE INDICATED ON THE FOUNDATION PLANS.
13. SLOPE CONCRETE SLAB TO FLOOR DRAINS WITHIN 5'-0" OF DRAIN. CONCRETE PROTECTION FROM REINFORCING BARS SHALL BE AS FOLLOWS:  
 FOOTINGS- 1" CLEAR BOTTOM AND SIDES  
 WALLS- 1" CLEAR 10" OR 3/4" CLEAR SEE TYP. WALL DETAIL.
14. PROVIDE FOR SLABS-ON-GRADE ONE (1) LAYER OF VAPOR BARRIER PLACED ON APPROVED SUBGRADE "MOIST STOP" OR EQUAL, PLACE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

15. BASEMENTS WITH HABITABLE SPACE AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING MIN. OPENING SHALL HAVE A NET CLEAR OPENING OF 5.7 SQ. FT. UNDOUBLED SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER USABLE WITH THE WINDOW IN THE FULLY OPENED POSITION. WINDOW WELLS TO BE 9 SQ. FT. WITH A MIN. PROJECTION OF 30".
16. WINDOW WELLS COVERS ARE REQUIRED / BARS, RILLS, SCREENS OR SIMILAR DEVICES ARE REQUIRED TO BE PLACED OVER ALL WINDOW WELLS WEATHER RESCUE ESCAPE OR OTHERWISE THEY SHALL BE CAPABLE OF SUPPORTING A FULL GROWN ADULT - MIN CAPACITY 250 LBS.
17. CRAWLSPACES MUST HAVE A MINIMUM 3'-0" CLEAR FROM THE UNDERSIDE OF FLOOR JOIST TO THE TOP OF THE CRAWLSPACE FLOOR. (THE CRAWLSPACE FLOOR SHALL BE 3" OF GRAVEL OVER A 6 MIL VAPOR BARRIER OR A 2" CONCRETE SLAB OVER A 6 MIL VAPOR BARRIER. THE MINIMUM SIZE ACCESS PANEL TO A CRAWLSPACE TO BE 30"x30".

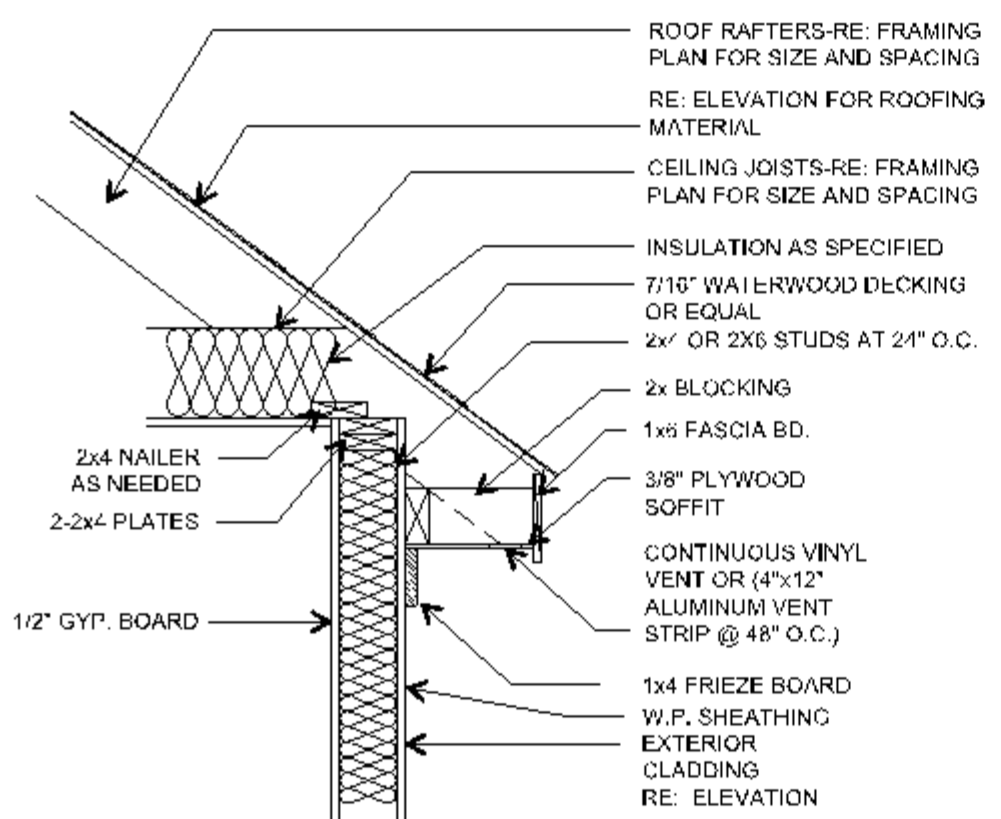
**CONCRETE NOTES:**

1. ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE'S BUILDING CODE REQUIREMENTS (ACI 318) AND HOT WEATHER CONCRETING REQUIREMENTS (ACI 305).
2. MATERIALS SPECIFICATIONS:  
 CEMENT - ASTM C150 TYPE I.  
 AGGREGATE - ASTM C33.  
 WATER - CLEAN, POTABLE.  
 REINFORCING STEEL - ASTM A615 GRADE 60.  
 WELDED WIRE FABRIC - ASTM A185.  
 STRUCTURAL STEEL PLATES - ASTM A36.  
 ANCHOR BOLTS - ASTM A36 OR A307.  
 CONCRETE SHALL BE READY MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C34.
3. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS U.N.O.
4. THE MAXIMUM WATER TO CONCRETE RATIO BY WEIGHT IS 0.58. NO WATER SHALL BE ADDED ON-SITE.

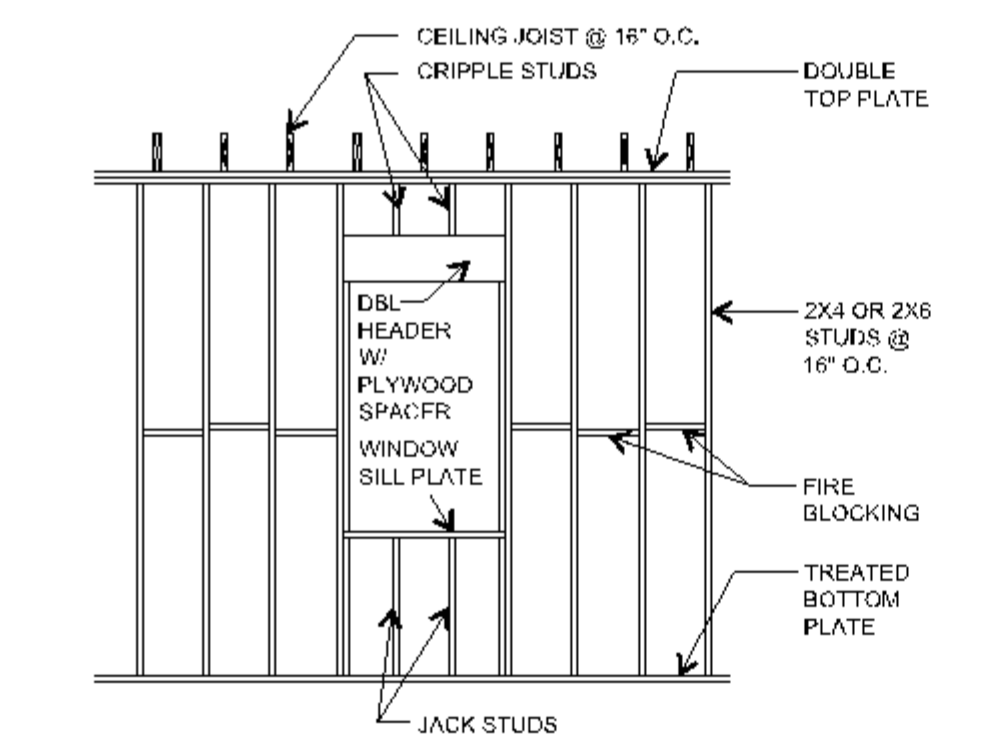
5. CONCRETE STRENGTH TESTS ARE RECOMMENDED BUT NOT REQUIRED WHEN EVIDENCE OF SATISFACTORY STRENGTH IS SUBMITTED AND APPROVED PER THE BUILDING CODE.
6. CONCRETE COVER OF REINFORCING STEEL SPECS. (U.N.O.):  
 A. FOOTINGS: 3" BOTTOM AND SIDES, 2" TOP.  
 B. BEAMS: 1 1/2" BOTTOM, SIDES AND TOP TO STIRRUPS.  
 C. COLUMNS: 1 1/2" ALL SIDES TO TIES.  
 D. SLAB ON GRADE: 3" BOTTOM, 1" TOP.  
 E. OTHERS CONDITIONS AS DICTATED BY ACI.
7. ALL CONTINUOUS VERTICAL AND HORIZONTAL STEEL IN FOOTINGS, BEAMS AND COLUMNS SHALL BE PRE BENT AND SPLICED A MINIMUM OF 48 BAR DIAMETERS. LONGITUDINAL BARS IN FOOTING, WALLS, BEAMS AND SLABS ARE CONTINUOUS U.N.O.
8. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS U.N.O.
9. DOWEL ALL WALLS AND COLUMNS TO FOOTING WITH BAR SIZE AND SPACING VERTICAL REINFORCING U.N.O. PROVIDE 8" HOOK BEND IN VERTICAL STEEL INTO FOOTING AND THE BEAM.



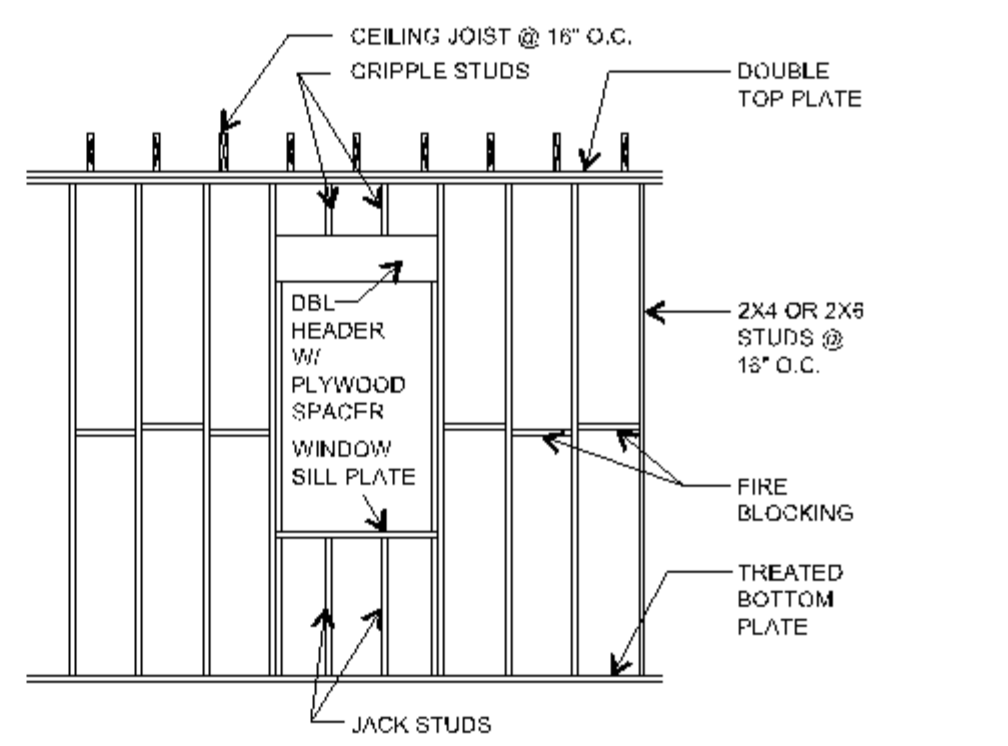
AREAS	SF
1ST FLOOR A/C	1395
GARAGE	554
COVERED PORCH	285
COVERED PATIO	104
2ND FLOOR A/C	608
TOTAL CONDITIONED	2,003
TOTAL UNDER ROOF	2,946



05 TYP. SOFFIT DETAIL  
SCALE: 1/4\"/>

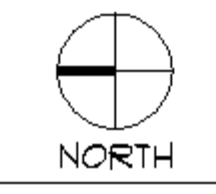


04 TYP. WINDOW FRAMING DIAGRAM  
SCALE: 1/4\"/>



03 TYP. DOOR FRAMING DIAGRAM  
SCALE: 1/4\"/>

02 FIRST FLOOR PLAN  
SCALE: 1/4\"/>



**ISSUE LOG**

DATE	DESCRIPTION

**REVISION LOG**

DATE	DESCRIPTION	REV. NO.

**ISSUED FOR:**

- PRELIMINARY - NOT FOR CONSTRUCTION
- BIDDING / PERMIT
- REVISION / ADDENDUM
- FOR CONSTRUCTION



ARCH. PROJ. # 16709      SCALE: H-F, DRAWING

SHEET NO.

**A3.1**

OPTION 1

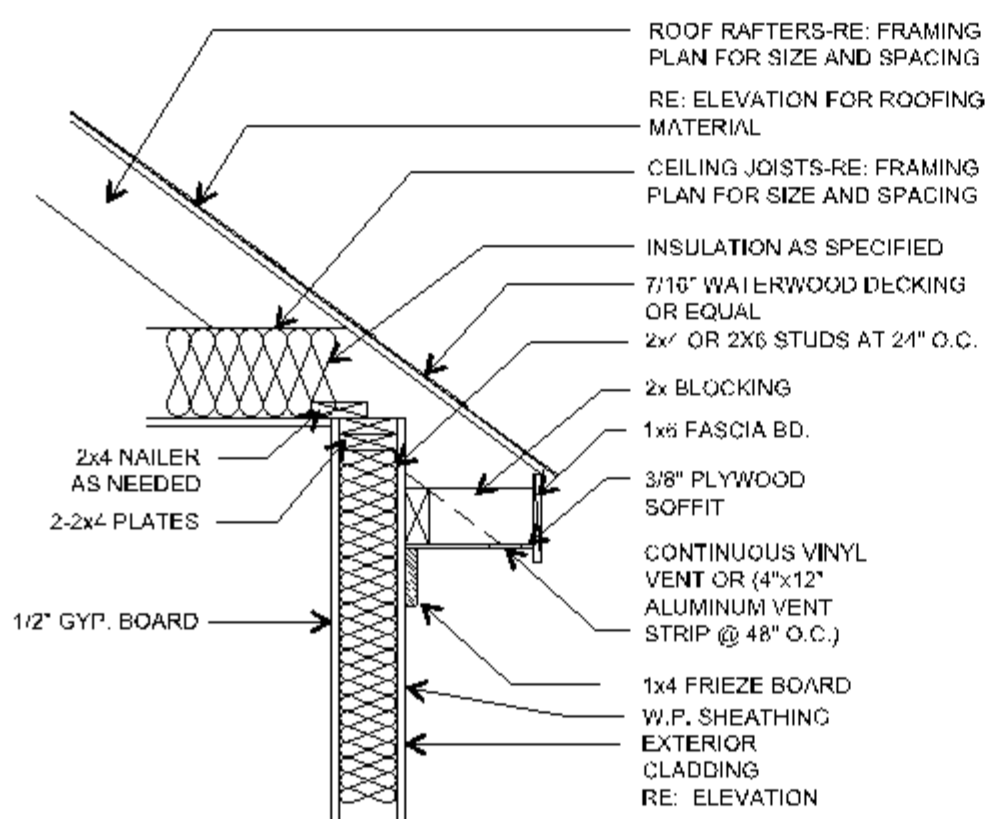
- GENERAL NOTES:**
- 1.) COMPLY WITH ALL STATE AND LOCAL BUILDING CODES, ORDINANCES REGULATIONS CONCERNING AND PERTAINING TO CONSTRUCTION
  - 2.) CONNECT ALL WATER, GAS, ELECTRIC, ETC., TO EXISTING UTILITIES IN ACCORDANCE WITH LOCAL CITY BUILDING CODES.
  - 3.) PROVIDE TERMITE PROTECTION OVER COMPACTED OR GRANULAR FILL CODE.
  - 4.) ALL FOOTINGS ARE TO EXTEND 12" BELOW GRADE MINIMUM PER LOCAL CODE.
  - 5.) PROVIDE VENTILATION EQUAL TO 1 SQ. FT. PER 150 SQ. FT. OF ATTIC OR PER LOCAL CODES.
  - 6.) 1/2" DRYWALL THROUGHOUT, 3/4" TYPE "X" AT GARAGE CEILING AT WALLS COMMON TO LIVING AREAS AND ENCLOSED SPACES OR PER PLANS.
  - 7.) GYPSUM WALLBOARD INSTALLED AS A BACKING IN SHOWERS, TUB AREAS, LAUNDRY SPACES AND OTHER WET AREAS TO TYPE W.R. IDENTIFIED AND REFERRED TO AS "GREEN BOARD" OR EQUIVALENT.
  - 8.) STUCCO EXTERIOR TO BE ICBO APPROVED STUCCO SYSTEM CEMENTITIOUS FINISH OR APPROVED EQUAL.
  - 9.) ALL EXTERIOR AND INTERIOR GLASS GLAZING TO COMPLY WITH LOCAL CODES.

- FRAMING AND LUMBER NOTES:**
- 1.) ALL SAW LUMBER SHALL BEAR STAMP OF WWPA OR APPROVED TESTING AGENCY
  - 2.) ROOF JOIST, FLOOR JOIST, LEDGERS AND PLATES TO BE DOUGLAS FIR #2 OR BETTER
  - 3.) ALL STUDS TO DOUGLAS FIR STUD GRADE OR APPROVED EQUIVALENT
  - 4.) ROOF PLYWOOD SHEATHING TO 5/8" STANDARD 5-PLY WITH EXTERIOR GLUE WITH STAMP OF APPROVED TESTING AGENCY OR AS NOTED ON TYPICAL WALL SHEET
  - 5.) FRAMING CONNECTIONS OR BE SIMPSON OR EQUIVALENT
  - 6.) ALL BEARING STUD WALLS TO BE 2X6 AT 16" O.C. UNLESS NOTED OTHERWISE.
  - 7.) ALL BEARING PARTITIONS SHALL HAVE DOUBLE TOP PLATES
  - 8.) ALL INTERIOR HEADERS TO BE (2)2X2'S UNLESS NOTED OTHERWISE
  - 9.) ALL EXTERIOR HEADERS TO BE (3)2X12'S UNLESS NOTED OTHERWISE
  - 10.) CUTTING, NOTCHING, AND DRILLING OF WOOD MEMBERS SHALL COMPLY TO THE UNIFORM BUILDING CODE AND LOCAL AND STATE BUILDING CODES
  - 11.) ALL CONVENTIONAL FRAMING SHALL COMPLY TO ALL LOCAL CODES
  - 12.) ROOF TRUSSES TO BE MANUFACTURED BY AN APPROVED FABRICATOR
  - 13.) ALL LUMBER SHALL BE #1-#2 K DRIED SOUTHERN PINE, DOUGLAS FIR, OR FEMLOCK
  - 14.) ALL EXTERIOR DOORS SHALL BE 1 1/2" THICK SOLID CORE 1 1/2" FR. BUTTS OR META. INSULATION AS SHOWN ON DRAWINGS

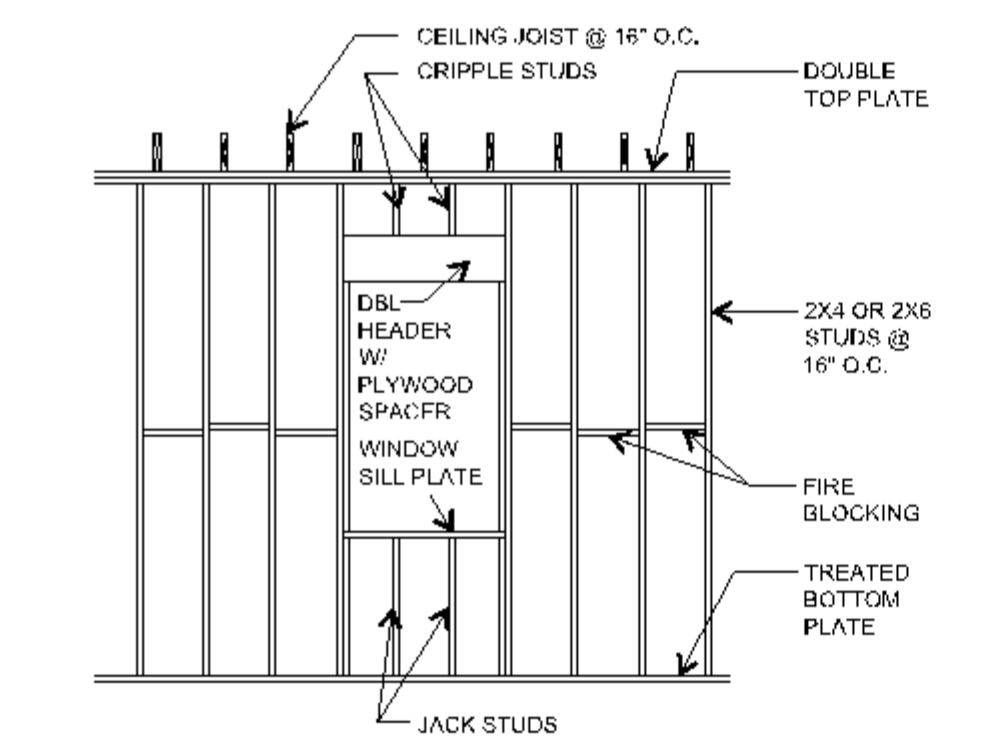
ALL HEADERS SHALL BE (3) 2X12 EXTERIOR & INTERIOR BEARING WALLS UNLESS NOTED OTHERWISE  
 MIN-1 JACK STUD EA. SIDE OF OPG. TO 8' WIDE  
 MIN-2 JACK STUD EA. SIDE OF OPG. TO 8' WIDE  
 MIN-3 JACK STUD EA. SIDE OF OPG. TO 12' WIDE  
 ALL HEADERS (ANY SIZE) SHALL BE 1/2" PLYWOOD FILLERS @ 16" & NAILED W/ 16D NAILS

- FOUNDATION NOTES:**
1. GENERAL CONTRACTOR SHALL CHECK WITH THE ARCHITECTURAL, MECHANICAL & ELECTRICAL DRAWINGS FOR OPENINGS, SLEEVES, ANCHORS, HANGERS, SLAB DEPRESSIONS AND OTHER ITEMS RELATED TO CONCRETE WORK AND SHALL ASSUME FULL RESPONSIBILITY FROM THE PROPER LOCATIONS BEFORE POURING CONCRETE.
  2. ALL CONCRETE SHALL BE #4 MIX.
  3. ALL CONCRETE SHALL BE VIBRATED. CONCRETE CAST AGAINST SOIL OR EXPOSED TO WEATHER SHALL HAVE AN AIR ENTRAINMENT.
  4. ALL FOOTINGS & FOUNDATION WALLS SHALL BE CAST IN PLACE CONCRETE
  5. FOOTINGS SHALL BE 12" THICK MINIMUM
  6. BOTTOM OF ALL FOOTINGS SHALL BE 5'-0" BELOW GRADE MIN.
  1. PROVIDE 2-#4 REBAR TOP AND BOTTOM IN ALL FOUNDATION WALLS
  8. THE TOP OF FOUNDATION WALLS FOR FRAME CONSTRUCTION SHALL BE AT LEAST 8" ABOVE 14" FOR BRICK VENEER
  9. PROVIDE 1" DIA. STL. ANCHOR BOLTS X 1'-0" LONG AT 6'-0" O.C. AND 1'-0" MAX FROM EACH CORNER, BOTH DIRECTIONS.
  10. PROVIDE THICKEN SLAB WHERE INDICATED ON FOUNDATION PLANS UNDER BEARING POINTS. ISOLATION JOINT MATERIAL BETWEEN FOUNDATION WALLS AND ALL SLABS INCLUDING PATIO, PORCH AND SIDEWALKS. CONTROL JOINTS WHERE INDICATED ON THE FOUNDATION PLANS.
  11. SLOPE CONCRETE SLAB TO FLOOR DRAINS WITHIN 5'-0" OF DRAIN.
  12. CONCRETE PROTECTION FROM REINFORCING BARS SHALL BE AS FOLLOWS: FOOTINGS- 2" CLEAR BOTTOM AND SIDES WALLS- 1" CLEAR 10" OR 3/4" CLEAR SEE TYP. WALL DETAIL.
  13. PROVIDE FOR SLAB-ON-GRADE ONE (1) LAYER OF VAPOR BARRIER PLACED ON APPROVED SUBGRADE MOST SLOPE OR EQUAL, PLACE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
  14. BASEMENTS WITH HABITABLE SPACE AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING MIN. OPENING SHALL HAVE A NET CLEAR OPENING OF 5.7 SQ. FT. UNDOUBLED SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER USABLE WITH THE WINDOW IN THE FULLY OPENED POSITION. WINDOW WELLS TO BE 9 SQ. FT. WITH A MIN. PROJECTION OF 3"
  15. WINDOW WELLS COVERS ARE REQUIRED (BARS, RILLS, SCREENS OR SIMILAR DEVICES ARE REQUIRED TO BE PLACED OVER ALL WINDOW WELLS. WEATHER RESCUE ESCAPE OR OTHERWISE THEY SHALL BE CAPABLE OF SUPPORTING A FULL GROWN ADULT - MIN. CAPACITY 250 LBS.
  16. CRAWLSPACES MUST HAVE A MINIMUM 3'-0" CLEAR FROM THE UNDERSIDES OF WOOD FLOOR JOISTS TO THE TOP OF THE CRAWLSPACE FLOOR. THE CRAWLSPACE FLOOR SHALL BE 3" OF GRAVEL OVER A 6 MIL VAPOR BARRIER OR A 2" CONCRETE SLAB OVER A 6 MIL VAPOR BARRIER. THE MINIMUM SIZE ACCESS PANEL TO A CRAWLSPACE TO BE 30"X30"

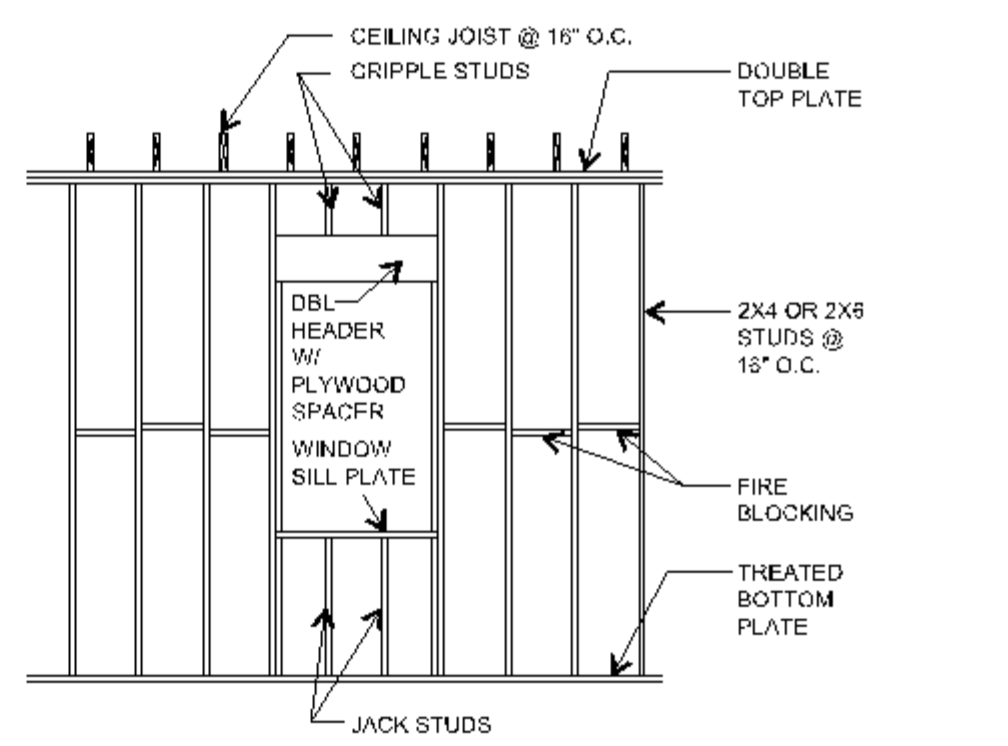
- CONCRETE NOTES:**
1. ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE'S BUILDING CODE REQUIREMENTS (ACI 318) AND HOT WEATHER CONCRETING REQUIREMENTS (ACI 305).
  2. MATERIALS SPECIFICATIONS: CEMENT - ASTM C150 TYPE I. AGGREGATE - ASTM C33. WATER - CLEAN, POTABLE. REINFORCING STEEL - ASTM A615 GRADE 60. WELDED WIRE FABRIC - ASTM A185. STRUCTURAL STEEL PLATES - ASTM A36. ANCHOR BOLTS - ASTM A36 OR A307. CONCRETE SHALL BE READY MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C34.
  3. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS U.N.O.
  4. THE MAXIMUM WATER TO CONCRETE RATIO BY WEIGHT IS 0.58. NO WATER SHALL BE ADDED ON-SITE.
  5. CONCRETE STRENGTH TESTS ARE RECOMMENDED BUT NOT REQUIRED WHEN EVIDENCE OF SATISFACTORY STRENGTH IS SUBMITTED AND APPROVED PER THE BUILDING CODE.
  6. CONCRETE COVER OF REINFORCING STEEL SPECS. (U.N.O.): A. FOOTINGS: 3" BOTTOM AND SIDES, 2" TOP B. BEAMS: 1 1/2" BOTTOM, SIDES AND TOP TO STIRRUPS C. COLUMNS: 1 1/2" ALL SIDES TO TIES D. SLAB ON GRADE: 3" BOTTOM, 1" TOP E. OTHERS CONDITIONS AS DICTATED BY ACI.
  7. ALL CONTINUOUS VERTICAL AND HORIZONTAL STEEL IN FOOTINGS, BEAMS AND COLUMNS SHALL BE PRE BENT AND SPLICED A MINIMUM OF 48 BAR DIAMETERS. LONGITUDINAL BARS IN FOOTING, WALLS, BEAMS AND SLABS ARE CONTINUOUS U.N.O.
  8. DOWEL ALL WALLS AND COLUMNS TO FOOTING WITH BAR SIZE AND SPACING VERTICAL REINFORCING U.N.O. PROVIDE 8" HOOK BEND IN VERTICAL STEEL INTO FOOTING AND THE BEAM.



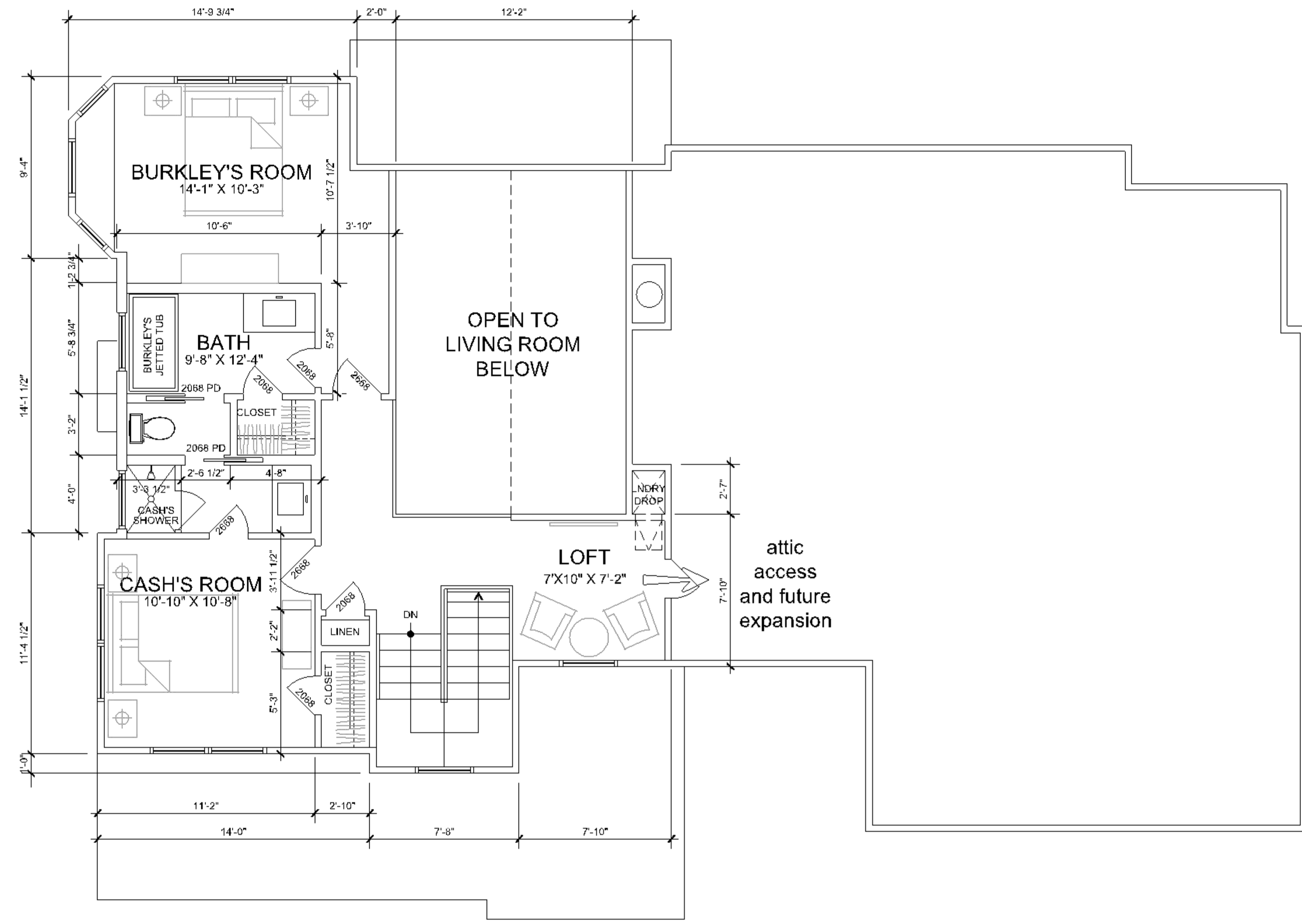
05 TYP. SOFFIT DETAIL  
SCALE: 1/4"=1'-0"



04 TYP. WINDOW FRAMING DIAGRAM  
SCALE: 1/4"=1'-0"



03 TYP. DOOR FRAMING DIAGRAM  
SCALE: 1/4"=1'-0"



01 SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"

QUINTON  
RESIDENCE  
ROCKWALL, TX

**ISSUE LOG**

DATE ISSUED	DESCRIPTION

**REVISION LOG**

DATE OF ISSUE	DESCRIPTION	REV. NO.

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**S<sup>2</sup>P<sup>2</sup> DESIGNS**

ARCH. PROJ. #: 16709      SCALE: H-F, DRAWING

SHEET NO.

**A3.2**

OPTION 1



**Autumn Addition**  
**Lot 2**  
(address has been requested)





Adjacent Property: 601 E. Rusk Street (Medium Contributing)



Adjacent Property: 507 E. Rusk Street (Low Contributing)



Adjacent Property: 603 E. Rusk Street (Medium Contributing)



Adjacent Property: 604 E. Rusk Street (High Contributing)