

**CITY OF ROCKWALL  
HISTORIC PRESERVATION ADVISORY BOARD (HPAB) MEMO**

**AGENDA DATE:** 09/15/2016

**APPLICANTS:** Jerre Loftus

**AGENDA ITEM:** **H2016-006**; 302 Margaret Street – Building Permit Fee Waiver/Reduction

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**SUMMARY:**

Hold a public hearing to discuss and consider a request for a Building Permit Fee Waiver/Reduction from Jerre Loftus for a High Contributing Property located within the Old Town Rockwall (OTR) Historic District, the Historic Overlay (HO) District, and zoned Single Family 7 (SF-7) District. The subject property is located at 302 Margaret Street and is further identified as LOT NW/4 A, Block 2, Farmers & Merchants Addition, City of Rockwall, Rockwall County, Texas.

**DISCUSSION:**

The subject property is located at 302 Margaret Street and is recognized as a *High Contributing Property*, which indicates the home has highly significant architectural and/or historic characteristics. The home is approximately 1,096 sq. ft., and based on the Rockwall Central Appraisal District records, the main area was considered to have been constructed in 1905. The property is zoned Single Family (SF-7) District and is located on the southeast corner of N. Fannin Street and Margaret Street.

For a residential property to be eligible for the Building Permit Fee Waiver/Reduction Program, the property must be located within the Old Town Rockwall (OTR) Historic District or the Southside Residential Neighborhood Overlay (SRO) District and must involve a minimum investment of \$5,000 associated with the rehabilitation or restoration of a property. Properties classified as *Contributing* (i.e. *High, Medium, or Low Contributing*) shall be eligible for a full waiver of building permit fees. Based on the estimated valuation of \$75,000 for the remodel/rehabilitation, the permit fees would be approximately \$830.00. Should the Historic Preservation Advisory Board (HPAB) approve the request, the applicant would be eligible for a full waiver of permit fees.

**RECOMMENDATIONS:**

Based on the applicant's proposed scope of work and the contributing nature of the subject property, the approval of the proposed Building Permit Waiver/Reduction is a discretionary decision for the Historic Preservation Advisory Board (HPAB). If the HPAB chooses to approve the request, staff would offer the following condition of approval:

1. Any construction, building or demolition necessary to complete this request must conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

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Rockwall Historical Board

City Hall

Rockwall Texas

Jerre Loftus

302 Margaret Street

Rockwall Texas 75087

August 31, 2016 for September 15, 2016

I, Jerre Loftus, as a new home owner: am requesting an additional room and exterior siding replacement to my home for these reasons:

Due to my current age and as primary resident, the addition can provide an ample living area for me in the event of any future physical limitations.

Repositioning and relocating my kitchen into an open floor plan assures future accessibility for daily living and will improve my current mobility.

These permutations made to my home will assure me of safety and security within my own living space and accommodate for any changing needs in my future and enable me to age in place.

For the Community and as a Highly Contributing Property, the exterior siding will be replaced, beautifying and enhancing the "Historical Look" that is highly desired for Rockwall Residents Drive-By-Viewers.....and that's EVERYDAY!

Personally

I foresee the Historical District Area in Parades, displaying large photos of their homes on floats.

Rockwall residents love to see this.

In closing, I want to make my home attractive and accommodating.

Thank you,



Jerre Loftus

The details of the work that will be performed on my home are the following:

A new roof will be erected, foundation (pier and beam) will be anchored and leveled, all plumbing will be updated.

All plastic and rotten wood siding will be replaced with Hardi Board 7 ½ inch.

All new windows will be custom sized to match existing windows measurements and looks.

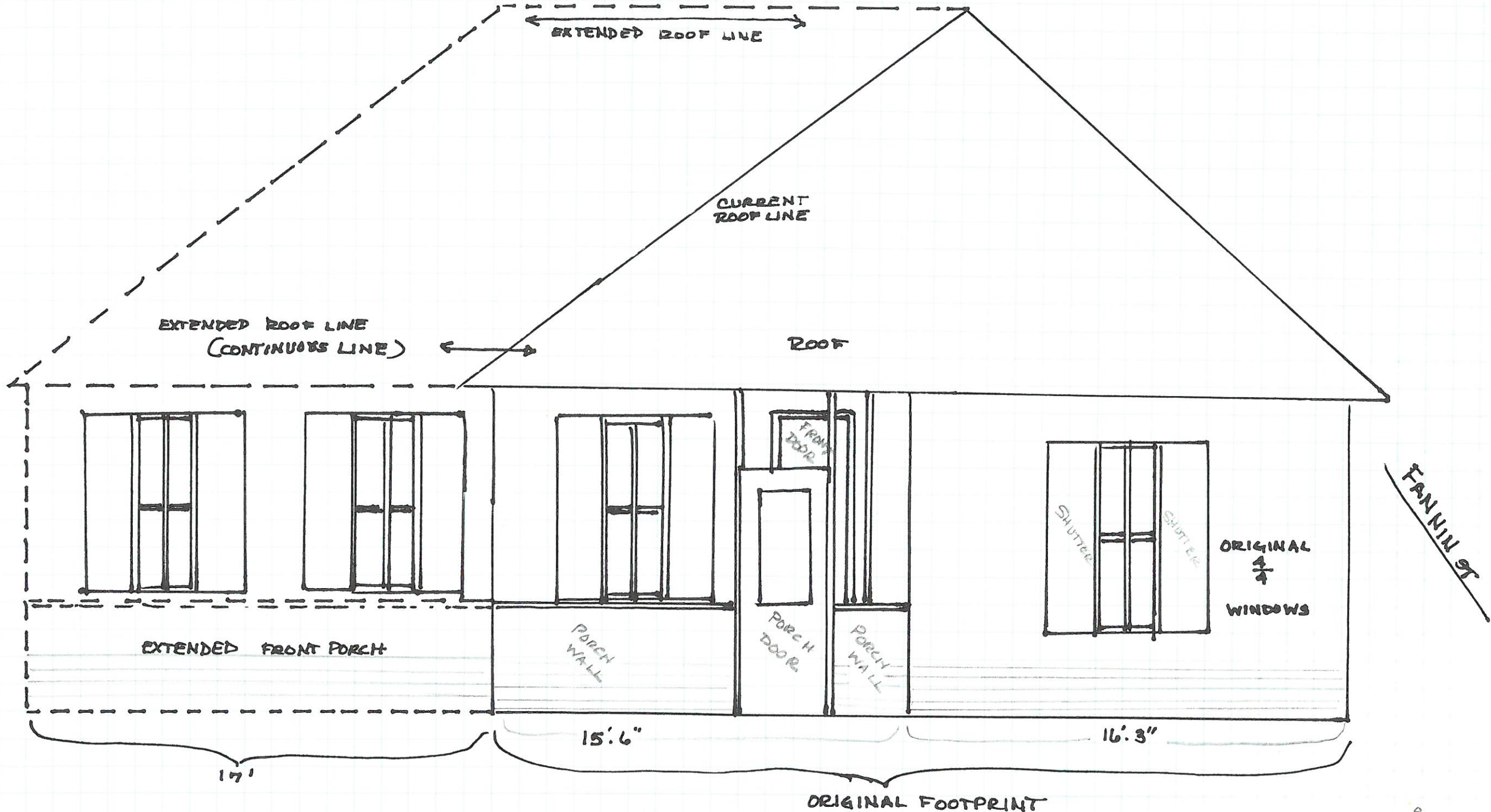
The color of the siding will be painted white with black shutters.

Any and all wood that is salvageable will be incorporated with new addition.

Thank you,



Jerre Loftus

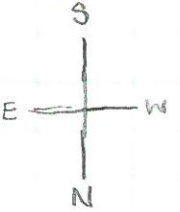


WOULD ADD TWO  $\frac{1}{4}$  WINDOWS TO FRONT, KEEPING THE HISTORICAL INTEGRITY OF THE HOME INTACT.

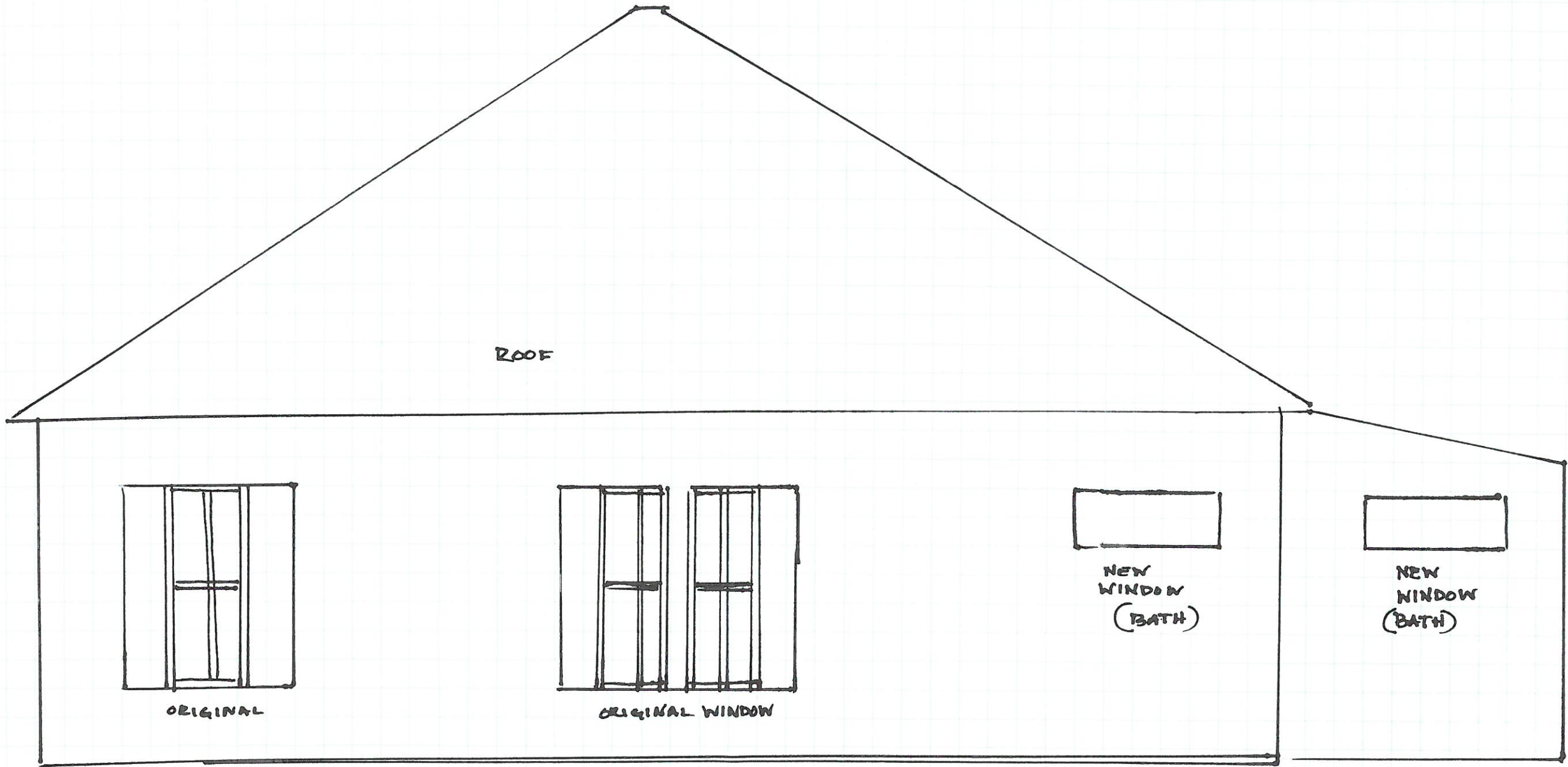
SIDING IS A MIXTURE OF ORIGINAL WOOD, SOME PLACES HAVE VINYL SIDING, SOME - UNSURE WOULD REPLACE WITH HARDIEBOARD SIDING FOR A MORE UNIFORM, COHESIVE LOOK

FRONT

MARGARET ST



FANNIN ST



MARGARET ST

ROOF

ORIGINAL

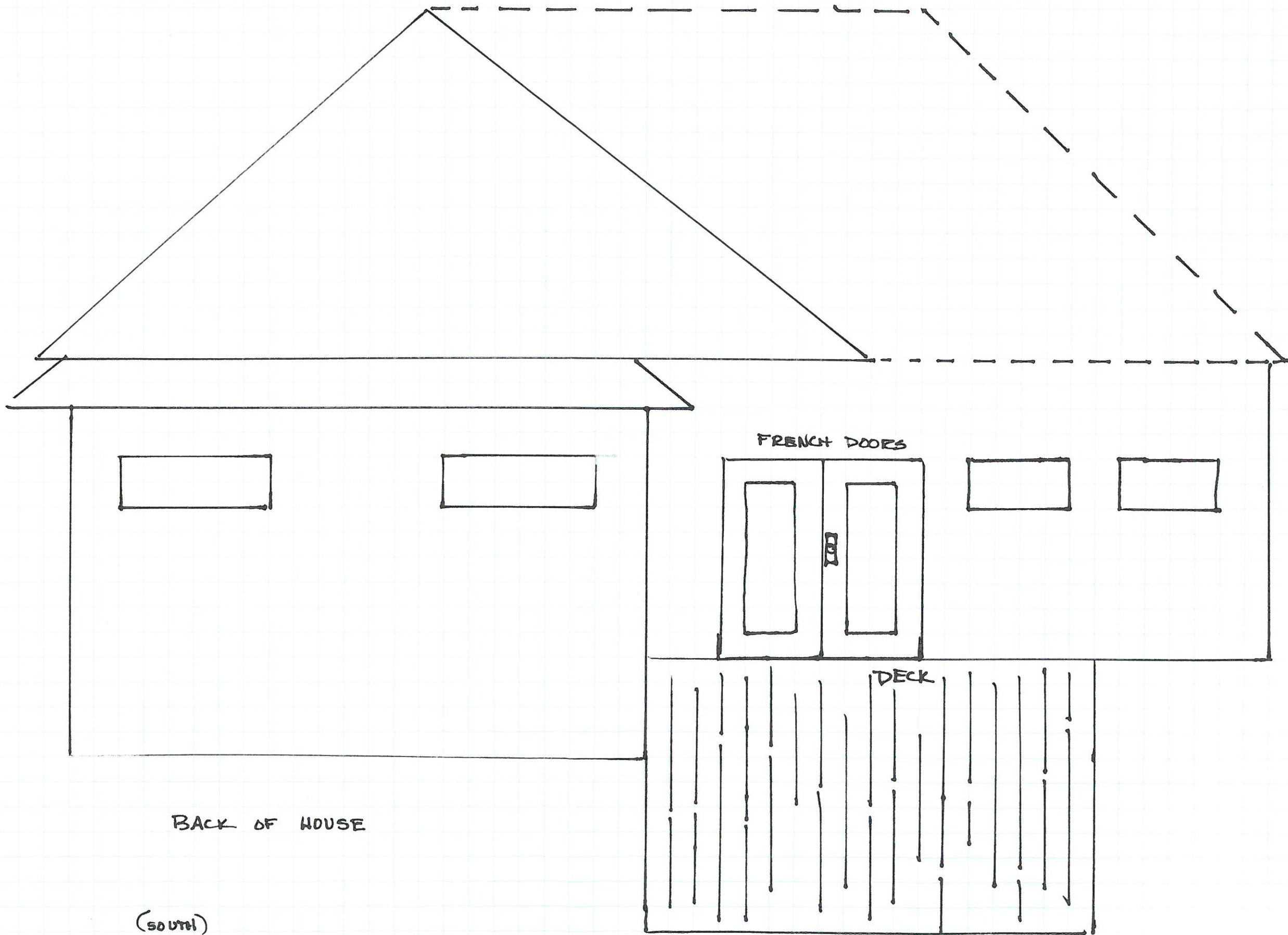
ORIGINAL WINDOW

NEW WINDOW (BATH)

NEW WINDOW (BATH)

(WEST)

FANNIN ST



(WEST)

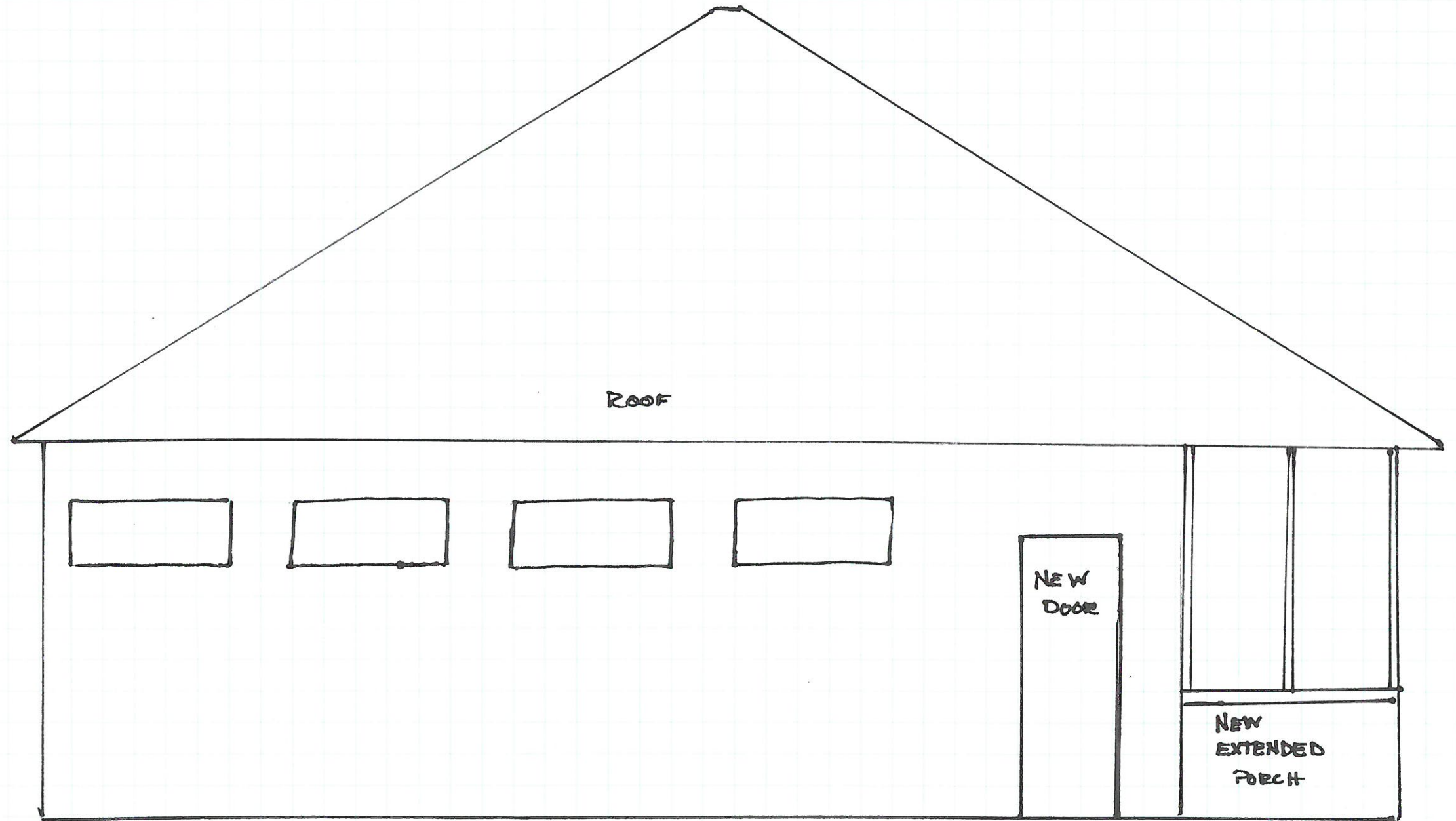
FANNIN

FRENCH DOORS

DECK

BACK OF HOUSE

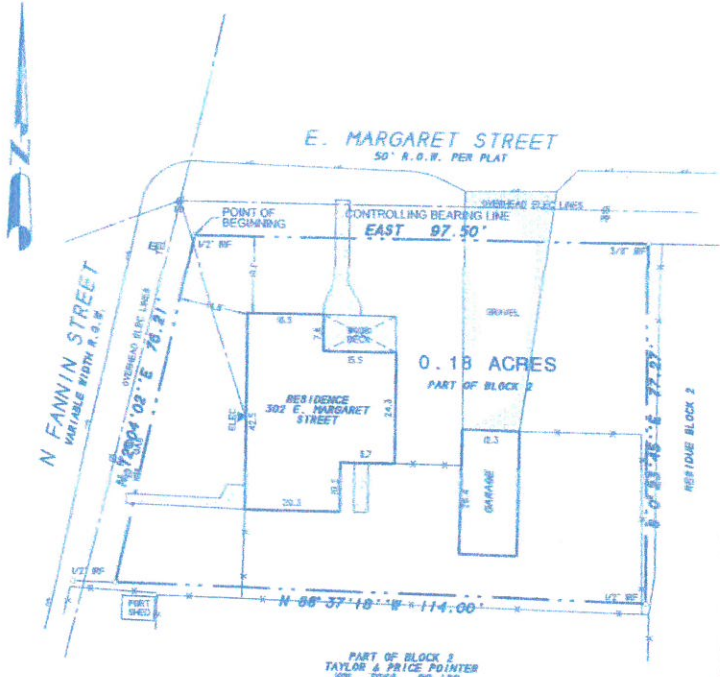
(SOUTH)



EAST SIDE  
FACING



PLAT OF SURVEY



DESCRIPTION

BEING part of Block 2 of FARMERS AND MERCHANTS NATIONAL BANK ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Volume R, Page 313, of the Deed Records of Rockwall County, Texas, and being all of a tract of land as described in a Warranty deed from Mike Sheiman to Billy Peoples, dated December 2, 1997 and being recorded in Volume 1306, Page 257 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the intersection of the south right-of-way line of E. Margaret Street with the east right-of-way line of N. Fannin Street, at the northwest corner of said Block 2;

THENCE EAST along the south line of E. Margaret Street, a distance of 97.50 feet to a 3/8" iron rod found for corner;

THENCE S. 00 deg. 23 min. 45 sec. E. a distance of 77.27 feet to a 1/2" iron rod found for corner;

THENCE N. 88 deg. 37 min. 18 sec. W. a distance of 114.00 feet to a 1/2" iron rod found for corner in the east line of N. Fannin Street;

THENCE N. 12 deg. 04 min. 02 sec. E. along the east right-of-way line of N. Fannin Street, a distance of 76.21 feet to the POINT OF BEGINNING and containing 0.18 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 45367C0030 L, dated Sept. 26, 2006, this property lies in Zone X. This property does not appear to be within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034"

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for RANGER TITLE COMPANY, CHICAGO TITLE INSURANCE COMPANY, PRICE A. POINTER and TAYLOR A. POINTER at 302 E. MARGARET STREET, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 30th day of July, 2014.

*[Signature]*  
Harold D. Fetty III, P.L.S. No. 5034



STANDARD	
DATE	JULY 30, 2014
SCALE	1" = 30'
CLIENT	PRICE A. POINTER
PROJECT	302 E. MARGARET STREET
DATE	JULY 30, 2014
SCALE	1" = 30'
CLIENT	PRICE A. POINTER
PROJECT	302 E. MARGARET STREET

H.D. Fetty Land Surveyor, LLC  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY ACCEPTED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

\_\_\_\_\_ DATE: \_\_\_\_\_



302 Margaret Street



302 Margaret Street



302 Margaret Street



503 N. Fannin Street

SAME MATERIALS ON NEIGHBORS HOME TO BE USED ON MINE  
COMPOSITION ROOF + 7/2" HARDI



405 N. Fannin Street



501 Kernodle Street



501 Kernodle Street





501 Kernodle Street



301 Margaret Street







501 Kernodle Street



601 N. Fannin Street