

**CITY OF ROCKWALL
HISTORIC PRESERVATION ADVISORY BOARD (HPAB) MEMO**

AGENDA DATE: 09/15/2016

APPLICANTS: Jerre Loftus

AGENDA ITEM: H2016-005; 302 Margaret Street - COA

SUMMARY:

Hold a public hearing to discuss and consider a request for a Certificate of Appropriateness (COA) from Jerre Loftus to allow for the renovation and expansion of a High Contributing Property located within the Old Town Rockwall (OTR) Historic District, the Historic Overlay (HO) District, and zoned Single Family 7 (SF-7) District. The subject property is located at 302 Margaret Street and is further identified as LOT NW/4 A, Block 2, Farmers & Merchants Addition, City of Rockwall, Rockwall County, Texas.

DISCUSSION:

The subject property is located at 302 Margaret Street, and is recognized as a *High Contributing Property*, which indicates the home has highly significant architectural and/or historic characteristics. The home is approximately 1,096 sq. ft., and based on the Rockwall Central Appraisal District records, the main area was considered to have been constructed in 1905. The property is zoned Single Family (SF-7) District and is located on the southeast corner of N. Fannin Street and Margaret Street.

The applicant is requesting a Certificate of Appropriateness (COA) to allow for the renovation and expansion of the existing home. The applicant is proposing the following renovations: 1) replace exterior siding, 2) add 391 sq. ft. to the house for an additional room. As part of the renovation and expansion, the applicant is proposing to extend the current roofline and replace all vinyl and rotting wood siding with 7 ½-inch Hardie Board siding. Additionally, all new windows will be custom sized to match the existing windows. The color of the siding will be painted white and the shutters will be black.

According to Article V, Section 6.2, B. *Contributing Structure*, of the Unified Development Code (UDC), a *contributing structure* is a building, site, structure, or object which adds to the historical architectural qualities, historical associations, or archaeological value for which a property or district is significant because:

1. It was present during the period of significance and possesses historical integrity reflecting its character at that time or is capable of yielding important information about the period; or,
2. It independently meets the National Register criteria. The level by which a property is "contributing" (high-, medium-, and low-contributing property) was originally determined by a historical survey of the properties within the Old Town Rockwall (OTR) District implemented by the Planning and Zoning Department through the spring and summer of 2000.

Additionally, Article V of Section 6.2, G. *Standards of Approval*, of the Unified Development Code (UDC) states that the Historic Preservation Advisory Board (HPAB) must approve the application for a certificate of appropriateness if it determines that the application will not adversely affect the character of the site; and the proposed work is consistent with the regulations contained in the Unified Development Code (UDC).

According to Section IIIC. *Building Facades and Materials* of Appendix D, *Historic Preservation Guidelines* of the Unified Development Code (UDC):

- *All exterior wood and masonry materials and their use should be compatible to the style and period of the building or structure.*
- *The existing building facade materials on a building should be respected and not be changed or concealed by the introduction of a different material.*
- *When the existing facade materials are not the original type, then materials may be replaced with, or returned to the original type.*
- *Materials, structural and decorative elements and the manner in which they are used, applied or joined together should be typical of the style and period of the existing structure. New additions, alterations and new construction should be visually compatible with neighboring historic buildings or structures.*
- *The overall relationship of the size, width, height and number of doors and windows on the exterior building facades should be typical of the style and period of the structure. These elements should be proportionally balanced, sized and located in a manner typical of the style and period of the structure and compatible with neighboring historic buildings or structures.*

According to Section IIID. *Roofs* of Appendix D, *Historic Preservation Guidelines* of the Unified Development Code (UDC):

- *Roof shape, form and design should be typical of or consistent with the style and period of the architecture of buildings within the Historic District.*
- *The accepted roof overhang for a new structure should be typical of a structure of similar style and period. Replacement, addition or alteration to an existing roof should have the same overhang as the existing roof.*
- *The eaves or soffit heights of a structure should be consistent with the heights of neighboring contributing structures or with those in the closest block face with buildings of a similar period and style and the same number of stories.*
- *Roof materials/colors should be visually compatible and compliment the style and period of the structure. Where historically typical materials are no longer available, compatible alternatives will be allowed.*
- *The degree and direction of roof slope and pitch should be consistent with the style and period of the historic structure.*

According to Subsection 3(a) of Section 6.2, F. *Certificate of Appropriateness for Alteration or New Construction*, of Article V, of the Unified Development Code (UDC), the board may enable the historic preservation officer to issue a certificate of appropriateness for work performed on an applicable property in accordance with the Historic Preservation Guidelines as indicated in staff's memo.

While the applicant is proposing to use 7 ½-inch Hardie Board siding which will change the architectural appearance of the home, the applicant is generally maintaining the historic look of the façade of the home. This type of Hardie Board siding has previously been approved by the Historic Preservation Advisory Board (HPAB) for other properties. Additionally, the applicant is proposing to match the existing architectural style on the proposed addition, which will be visually compatible with the adjacent historic properties. Although the current roofline will be extended, this will not negatively impact the historic significance of the home or the neighboring properties.

RECOMMENDATIONS:

Based on the applicant's proposed scope of work and the applicant's intent, the proposed renovation/expansion does not appear to impair the historic integrity of the adjacent properties, therefore, staff supports the applicant's request for Certificate of Appropriateness (COA) pending conformance with the following conditions of approval.

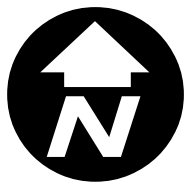
1. Any construction, building or demolition necessary to complete this request must conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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Rockwall Historical Board

City Hall

Rockwall Texas

Jerre Loftus

302 Margaret Street

Rockwall Texas 75087

August 31, 2016 for September 15, 2016

I, Jerre Loftus, as a new home owner: am requesting an additional room and exterior siding replacement to my home for these reasons:

Due to my current age and as primary resident, the addition can provide an ample living area for me in the event of any future physical limitations.

Repositioning and relocating my kitchen into an open floor plan assures future accessibility for daily living and will improve my current mobility.

These permutations made to my home will assure me of safety and security within my own living space and accommodate for any changing needs in my future and enable me to age in place.

For the Community and as a Highly Contributing Property, the exterior siding will be replaced, beautifying and enhancing the "Historical Look" that is highly desired for Rockwall Residents Drive-By-Viewers.....and that's EVERYDAY!

Personally

I foresee the Historical District Area in Parades, displaying large photos of their homes on floats.

Rockwall residents love to see this.

In closing, I want to make my home attractive and accommodating.

Thank you,



Jerre Loftus

The details of the work that will be performed on my home are the following:

A new roof will be erected, foundation (pier and beam) will be anchored and leveled, all plumbing will be updated.

All plastic and rotten wood siding will be replaced with Hardi Board 7 ½ inch.

All new windows will be custom sized to match existing windows measurements and looks.

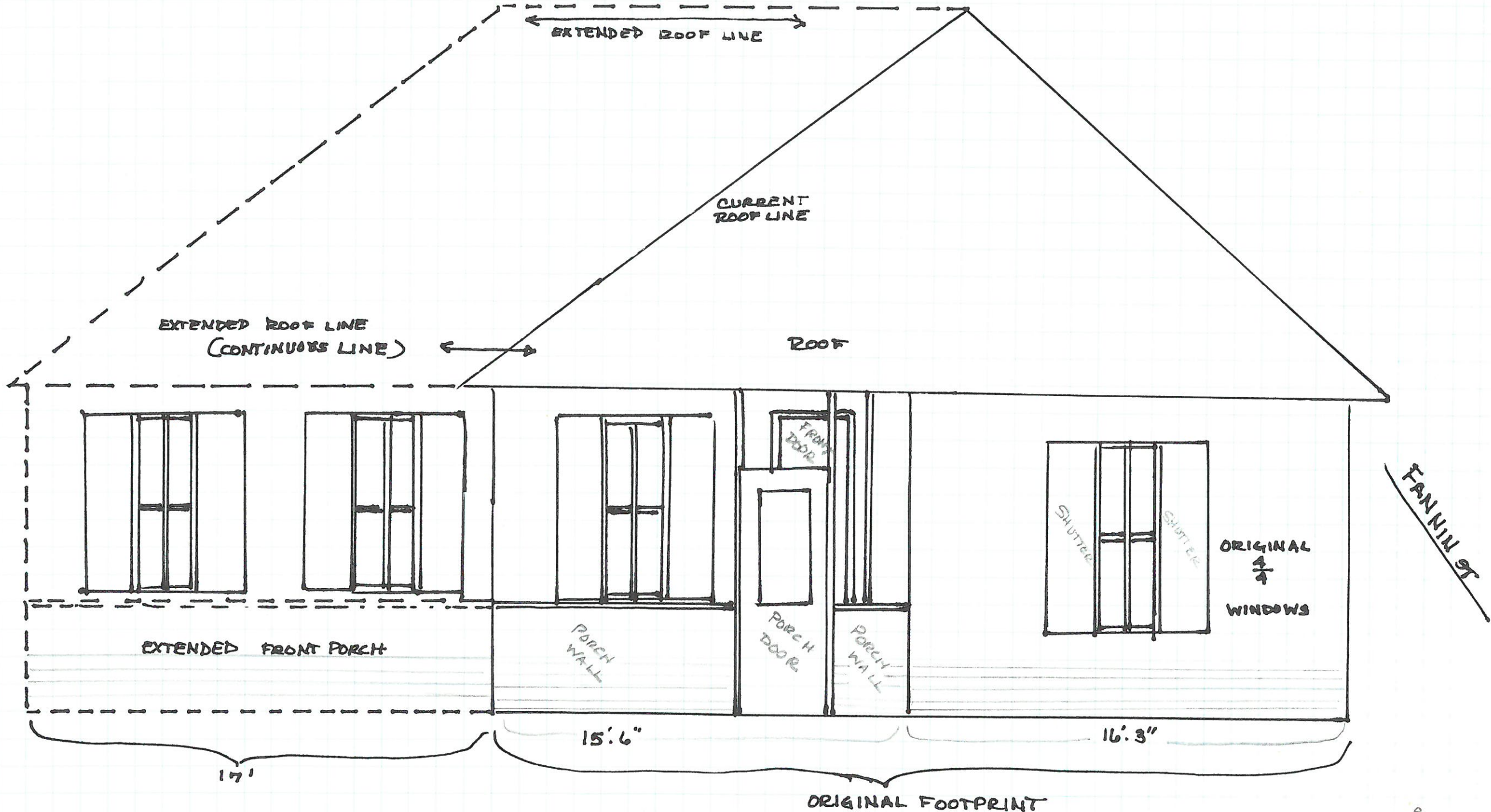
The color of the siding will be painted white with black shutters.

Any and all wood that is salvageable will be incorporated with new addition.

Thank you,



Jerre Loftus

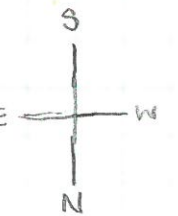


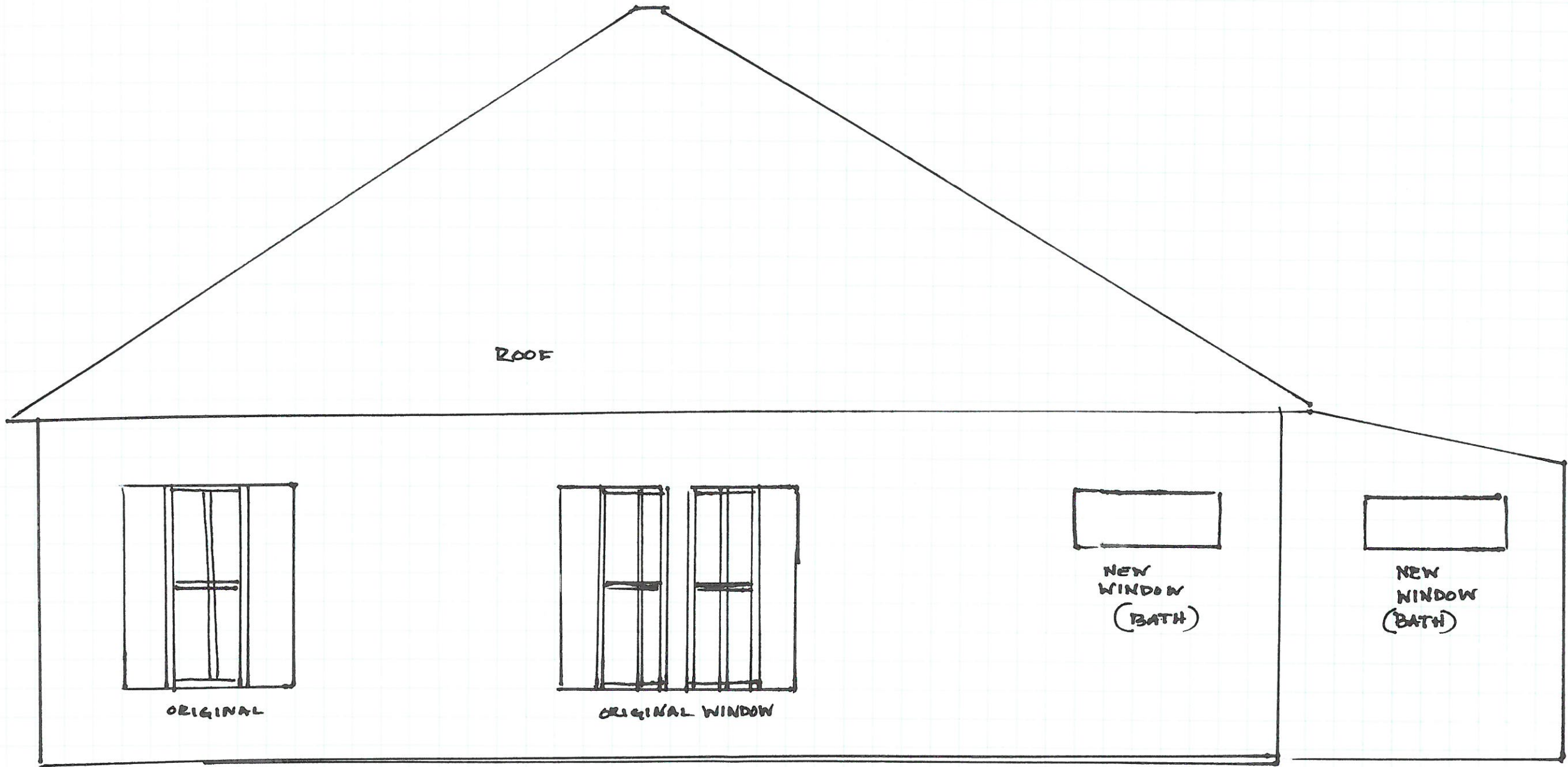
WOULD ADD TWO $\frac{1}{4}$ WINDOWS TO FRONT, KEEPING THE HISTORICAL INTEGRITY OF THE HOME INTACT.

SIDING IS A MIXTURE OF ORIGINAL WOOD, SOME PLACES HAVE VINYL SIDING, SOME - UNSURE WOULD REPLACE WITH HARDIEBOARD SIDING FOR A MORE UNIFORM, COHESIVE LOOK

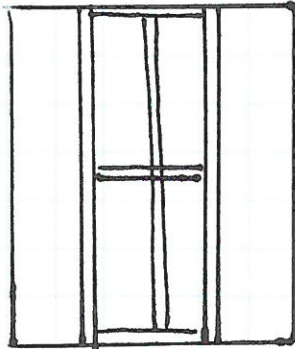
FRONT

MARGARET ST

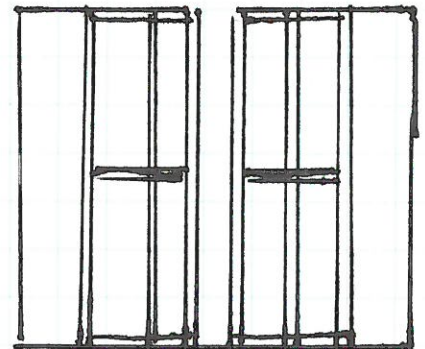




ROOF



ORIGINAL



ORIGINAL WINDOW



NEW WINDOW (BATH)

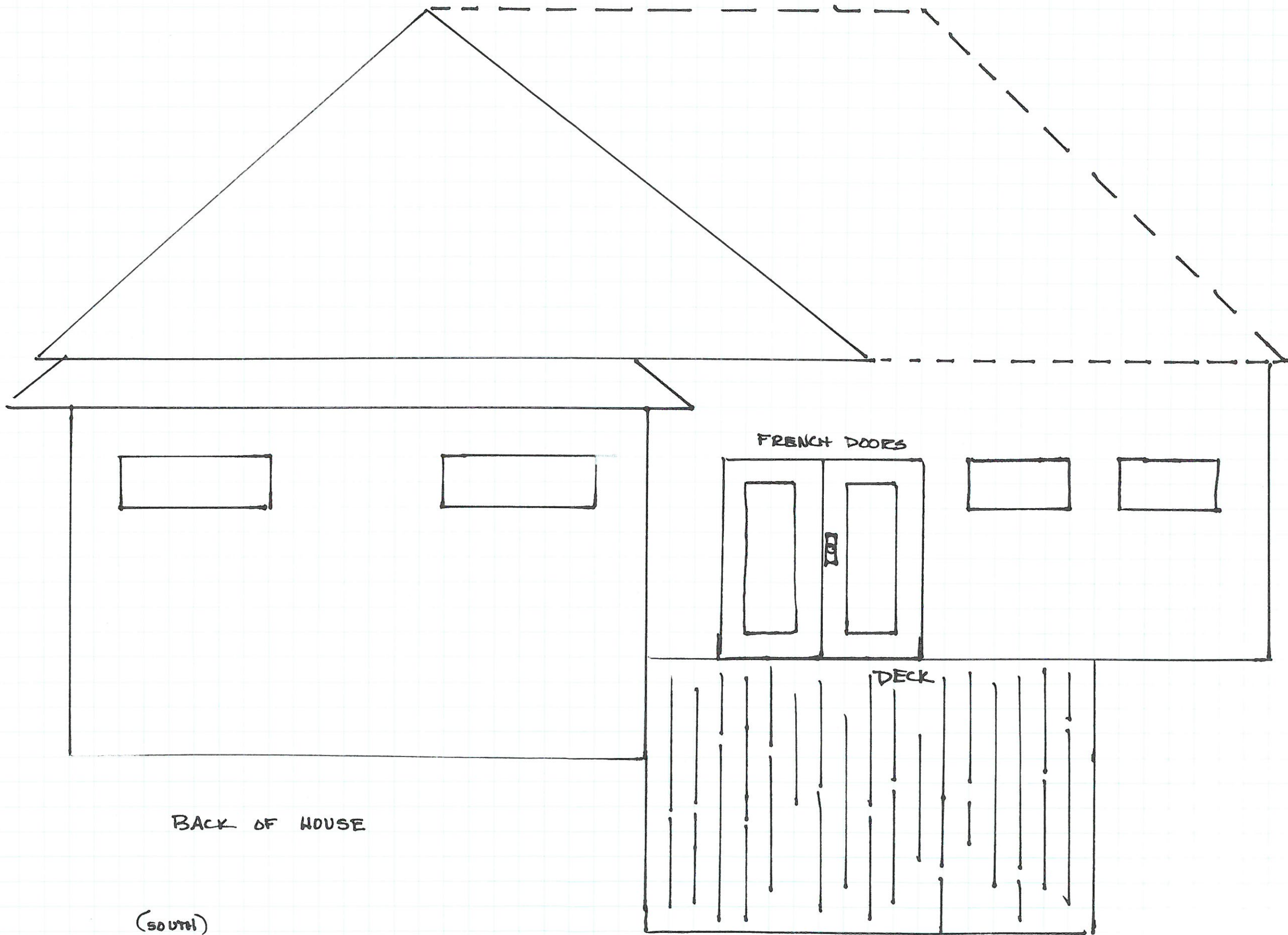


NEW WINDOW (BATH)

MARGARET ST

FANNIN ST

(WEST)



(WEST)

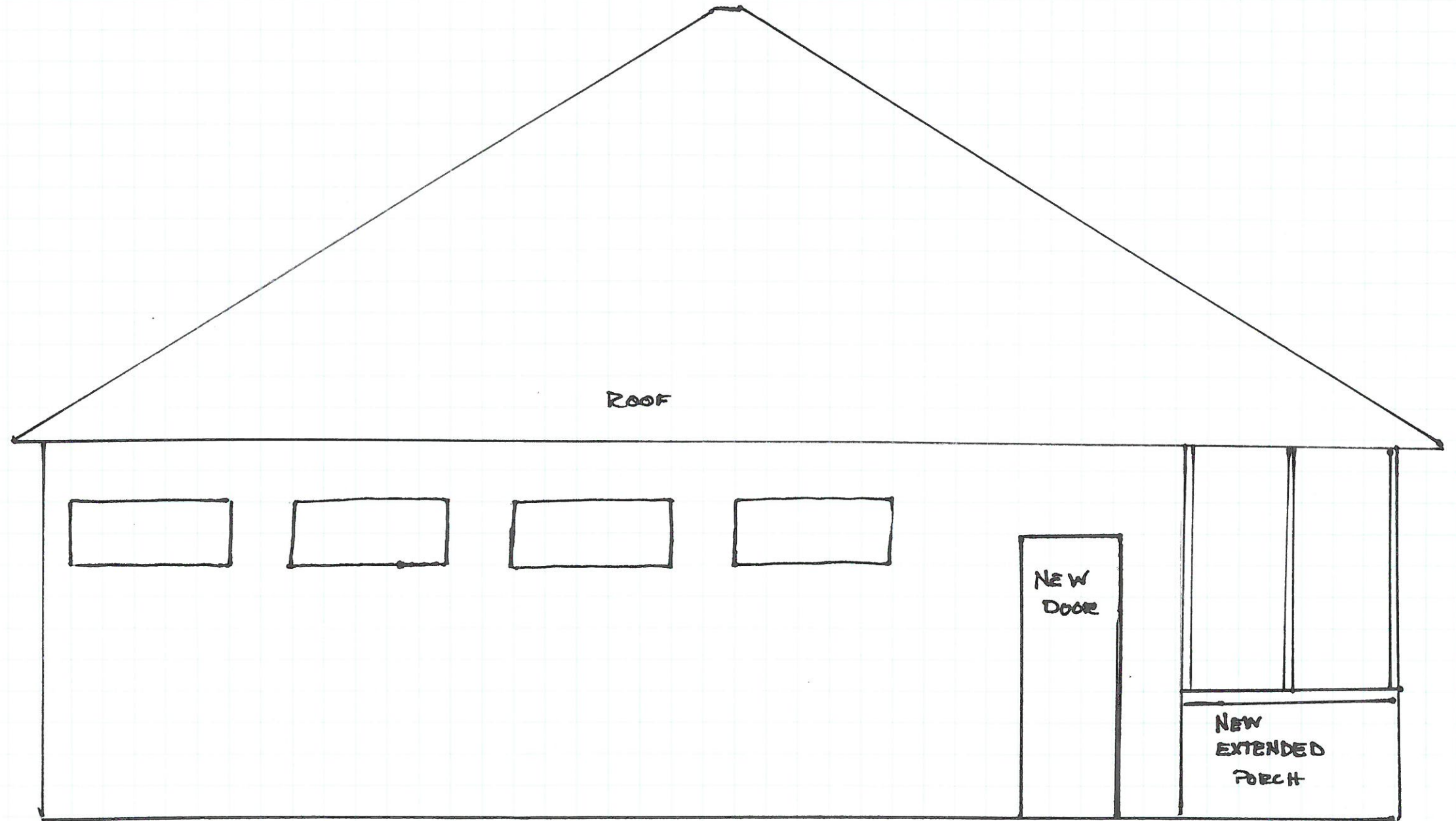
FANNIN

FRENCH DOORS

DECK

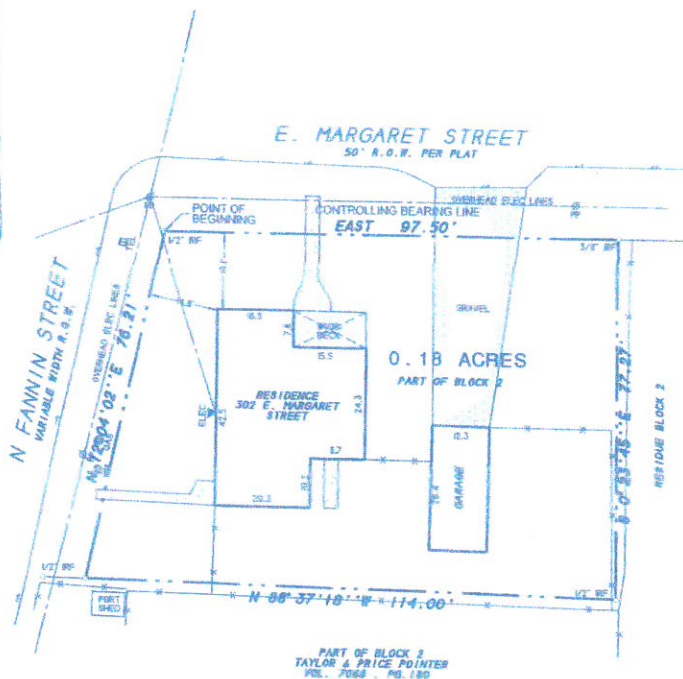
BACK OF HOUSE

(SOUTH)



EAST SIDE
FACING

PLAT OF SURVEY



DESCRIPTION

BEING part of Block 2 of FARMERS AND MERCHANTS NATIONAL BANK ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Volume R, Page 313, of the Deed Records of Rockwall County, Texas, and being all of a tract of land as described in a Warranty deed from Mike Sheiman to Billy Peoples, dated December 2, 1997 and being recorded in Volume 1306, Page 257 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

- BEGINNING at a 1/2" iron rod found for corner at the intersection of the south right-of-way line of E. Margaret Street with the east right-of-way line of N. Fannin Street, at the northwest corner of said Block 2;
- THENCE EAST along the south line of E. Margaret Street, a distance of 97.50 feet to a 3/8" iron rod found for corner;
- THENCE S. 00 deg. 23 min. 45 sec. E. a distance of 77.27 feet to a 1/2" iron rod found for corner;
- THENCE N. 88 deg. 37 min. 18 sec. W. a distance of 114.00 feet to a 1/2" iron rod found for corner in the east line of N. Fannin Street;
- THENCE N. 12 deg. 04 min. 02 sec. E. along the east right-of-way line of N. Fannin Street, a distance of 76.21 feet to the POINT OF BEGINNING and containing 0.18 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 45367C0030 L, dated Sept. 26, 2006, this property lies in Zone X. This property does not appear to be within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT
- 3) ALL 1/2" IRs ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034"

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for RANGER TITLE COMPANY, CHICAGO TITLE INSURANCE COMPANY, PRICE A. POINTER and TAYLOR A. POINTER at 302 E. MARGARET STREET, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 30th day of July, 2014.

SURVEY ACCEPTED BY: _____ DATE: _____

_____ DATE: _____

[Signature]
Harold D. Fetty III, P.L.S. No. 5034



STANDARD	
DATE	JULY 30, 2014
SCALE	1" = 30'
CLIENT	PRICE A. POINTER
PROJECT	302 E. MARGARET STREET
DATE	JULY 30, 2014
BY	HAROLD D. FETTY III
CHECKED	PRICE A. POINTER

H.D. Fetty Land Surveyor, LLC
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



302 Margaret Street



302 Margaret Street



302 Margaret Street



503 N. Fannin Street

SAME MATERIALS ON NEIGHBORS HOME TO BE USED ON MINE
COMPOSITION ROOF + 7/2" HARDI



405 N. Fannin Street



501 Kernodle Street



501 Kernodle Street



405 N. Fannin Street



501 Kernodle Street



501 Kernodle Street



301 Margaret Street



501 Kernodle Street



301 Margaret Street



501 Kernodle Street



601 N. Fannin Street