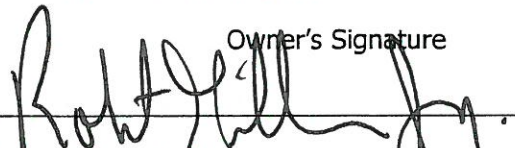


OLD ROCKWALL HISTORIC DISTRICT GUIDELINES

- EXHIBIT (2) -

OLD ROCKWALL HISTORIC DISTRICT - Certificate of Appropriateness - Application

Please complete the following table. In addition, it is requested that photographs of the property be submitted. Please submit a sufficient number of photographs of the property to adequately represent the character of the subject property. If additional space is needed, please continue on additional sheets.

Address of Property: <u>712 Hartman ST,</u>			
Street Address <u>Rockwall</u>	State <u>TX</u>	Zip Code <u>75087</u>	County <u>Rockwall</u>
Name of Property, If Applicable: _____			
Has the building been moved ? No _____ Yes _____ If yes, when was the property moved ? (mm/dd/yr -if known, otherwise, the year moved is sufficient)			
Name of Historic District: _____ _____ National Register District _____ Certified State or Local District _____ Proposed Historic District If listed individually in the National Register of Historic Places, Please give date of listing _____ (mm/dd/yy)			
Owner: <u>Robert Gilliam JR</u>	Street Address: <u>724 E Washington St</u>		
City <u>Rockwall</u> <u>214-450-9807</u>	State <u>TX</u>	Zip Code <u>75087</u>	County <u>Rockwall</u>
Telephone Number (preferably daytime)			
Authorized Contact: <u>Wiley Gilliam</u>	Street Address: <u>2102 FM 1191</u>		
(if different from Owner)			
City <u>Rockwall</u> <u>214-477-7443</u>	State <u>TX</u>	Zip Code <u>75087</u>	County <u>Rockwall</u>
Telephone Number (preferably daytime)			
Description of Property Construction, Renovation and Repair (attach photographs, plans, elevations, etc.): <u>new single family residence to be built on vacant lot. Project to include new home with detached work shop.</u>			
Owner's Signature 	City of Rockwall Use Only:	<u>H2008-003</u>	
		Project Number	

REHABILITATION, RESTORATION AND NEW CONSTRUCTION

Prepared by the

Old Rockwall Historic District Planning Committee

Gilliam Residence – Proposal for Certificate of Appropriateness

Owners:

Robert Wiley Gilliam Jr and Mary Perrilyn Gilliam

Address:

712 Hartman St, Rockwall Texas

Legal Description:

Being Lot 2, Block a of Hurst Addition, An addition to the city of Rockwall, Texas according to the plat thereof recorded in cabinet E, Slide 194 of the Plat records of Rockwall County Texas.

0.49 Acres - Small Creek bed in rear of property, Tree line down left side of property.

Project Description:

The described project would entail the construction of a new 2200 sq ft single family dwelling on a vacant lot in downtown Rockwall. The dwelling will be a country craftsmen style home with a touch of Austin hill country flavor. The proposed home will feature a true pier and beam foundation, wrap around porch, all hardy siding façade, and a true standing seam metal roof. This home has been modeled after several homes currently located through out the historic district in downtown Rockwall. The juxtaposition of metal, hardy siding, large front porch, and wooden columns will fit in directly with the period style homes located in the historic district. It is Mr. and Mrs. Gilliam's intent to build a home that will reflect the heritage and grandeur found in old downtown Rockwall. Thus, The Gilliam's have driven the historic district feverishly to located materials, sizing, roof styles / pitches, and numerous other ideas to build a new home that looks as if it belongs with those built numerous years ago. This period style home will not only be a wonderful addition to the historic district, but will be built green to help preserve the environment. The Gilliam's home will feature , energy efficient vinyl windows featuring (Ultra low E glass) , radiant barrier roof sheathing , galvalume metal roofing to reflect the sun, sprayed in cellulose insulation, high 16 SEER rated A/C, tank less gas water heater, fluorescent light bulbs through out, as well as energy star rated appliances. Mr. and Mrs. Gilliam would also like to include the construction of a detached work shop similar to those seen throughout the historic district currently. This building will feature a slab foundation, hardy siding façade, vinyl windows, and a metal roof to correlate directly to the main house. The structure will be used as a storage shed for the Gilliam's lawn equipment as well as an outdoor entertainment and cooking area to

champion Mr. Gilliam love for serving his famous Bar B Que to family and church friends. In summary the Gilliam's have worked diligently to follow the city of Rockwall building codes while maintaining the craftsmanship and period style look necessary to meld with the homes currently located in the Rockwall historic district. They are eagerly waiting for permission to start construction on their retirement dream home and to become proud citizens of Rockwall Texas.

Project Cost:

Based on a detailed line item cost breakdown the projected cost of the project will range from 250 – 275K from start to finish.

Time Frame:

If granted a Certificate of Appropriateness the Gilliam's should start construction within 30 days. The project is scoped to be completed within eight months from the first day of construction.

Items Included:

Application:

- Certificate of Appropriateness

Plans: (featuring detailed list of materials to be used)

- Historic District Map – Per City of Rockwall
- Survey
- Site Plan
- Floor Plans Dwelling – 1st and 2nd Floor
- Elevations – Four Sides
- Floor Plan – Work Shop / Storage Shop
- Elevations – Four Sides

Rendering:

- Rendering of a home the Gilliam's modeled their floor plans after.

Photos:

- Lot Photo – Current Status
- Tree Photo - (Hackberry Tree , Split in the middle – Must be removed)
- Photos of the two homes found next door to 712 Hartman. (The blue home is located within the district while the brown home is not)

CITY OF ROCKWALL
Historic Preservation Advisory Board Memo

AGENDA DATE: 6/19/2008

APPLICANT: Wiley Gilliam

AGENDA ITEM: H2008-003; Certificate of Appropriateness

Hold a public hearing and consider a request for a Certificate of Appropriateness (CofA) from Robert Gilliam Jr. for the building of a two-story, residential structure, located on a 0.49-acre, SF-7 residentially-zoned lot situated at 712 Hartman Street (Hurst Addition; Lot 2; Block A).

BACKGROUND INFORMATION:

The applicant, Robert Gilliam Jr., has submitted a request for a Certificate of Appropriateness for the building of a two-story 2,347 sq. ft. farm house style residential structure with an attached garage and a separate 330 sq. ft. shop building. The property is located on a 0.49-acre, SF-7 residentially-zoned lot situated at 712 Hartman.

The elevations show a single-family home with hardy lap siding, with a 8" exposure for exterior cladding and an 18" wide standing seal metal (galvalume) roof with an 8/12 main roof pitch. The house draws from the "Folk Victorian" style of architecture characterized by overall simplicity of form, full length porch and columns along the front facade. The work shop will be constructed of 8" hardy lap with a standing seal metal (galvalume) roof that is proposed for the primary house but with a 2/12 pitch.

Staff feels that the design for the proposed house is in architectural harmony with the surrounding area. The houses on either side of the property have similar materials and architectural style as the propose structure. The Historic Preservation Guidelines states that, "For new construction on any vacant lot, the scale, mass, volume, period and style shall be compatible with other historic buildings or structures in the Historic District. All new buildings and additions shall be constructed to a height and number of stories which are consistent and compatible with existing neighboring historic buildings or structures on the same block face. All new additions, alterations, infill and new infill construction should recognize and maintain the established historic home site orientation, visually compatible and maintaining the established rhythm and setback spacing."

RECOMMENDATIONS:

Staff Recommends approval of the request

CITY OF ROCKWALL
Historic Preservation Advisory Board Memo

AGENDA DATE: 6/19/2008

APPLICANT: Wiley Gilliam

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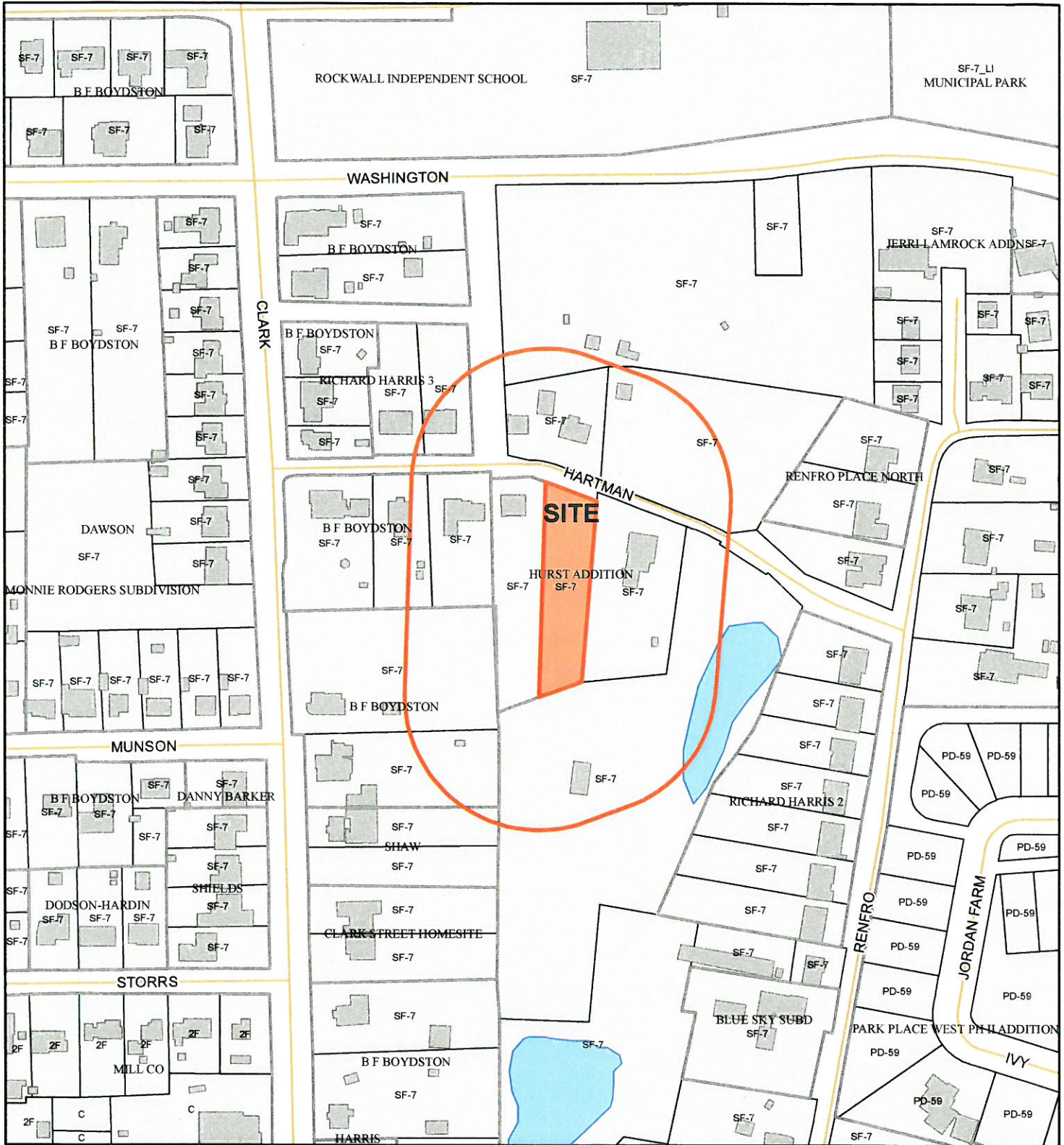
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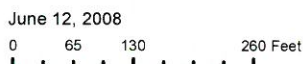
RECOMMENDATIONS:

Staff Recommends approval of the request

Legend



H2008-003
712 Hartman C of A



The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



RENDERING – MODEL HOME



SPLITTING TREE ON LOT



LOT PHOTO



HOME ON RIGHT SIDE OF LOT (HISTORIC)



HOME ON LEFT SIDE OF LOT (NON HISTORIC DISTRICT)



- Legend**
- Points of Interest
 - Streets
 - Parcel
 - "Old Town Rockwall" Historic District Boundary
 - BUILDINGS
 - ▨ Historic Landmarks
- CONTRIBUTING STATUS**
- HIGH
 - LOW
 - MEDIUM
 - NON
 - VACANT



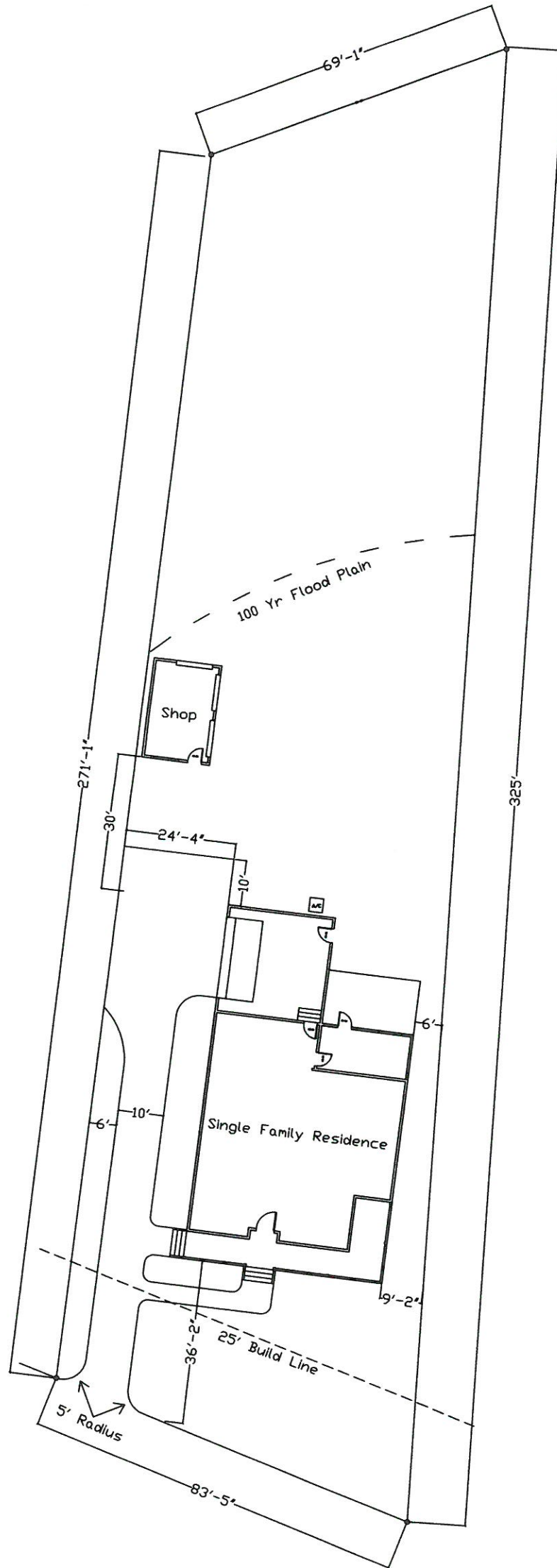
N



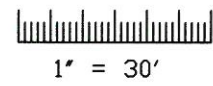
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"Old Town Rockwall" Historic District & Landmark Properties

*Wilay Miller - Bidder
214-477-7443*

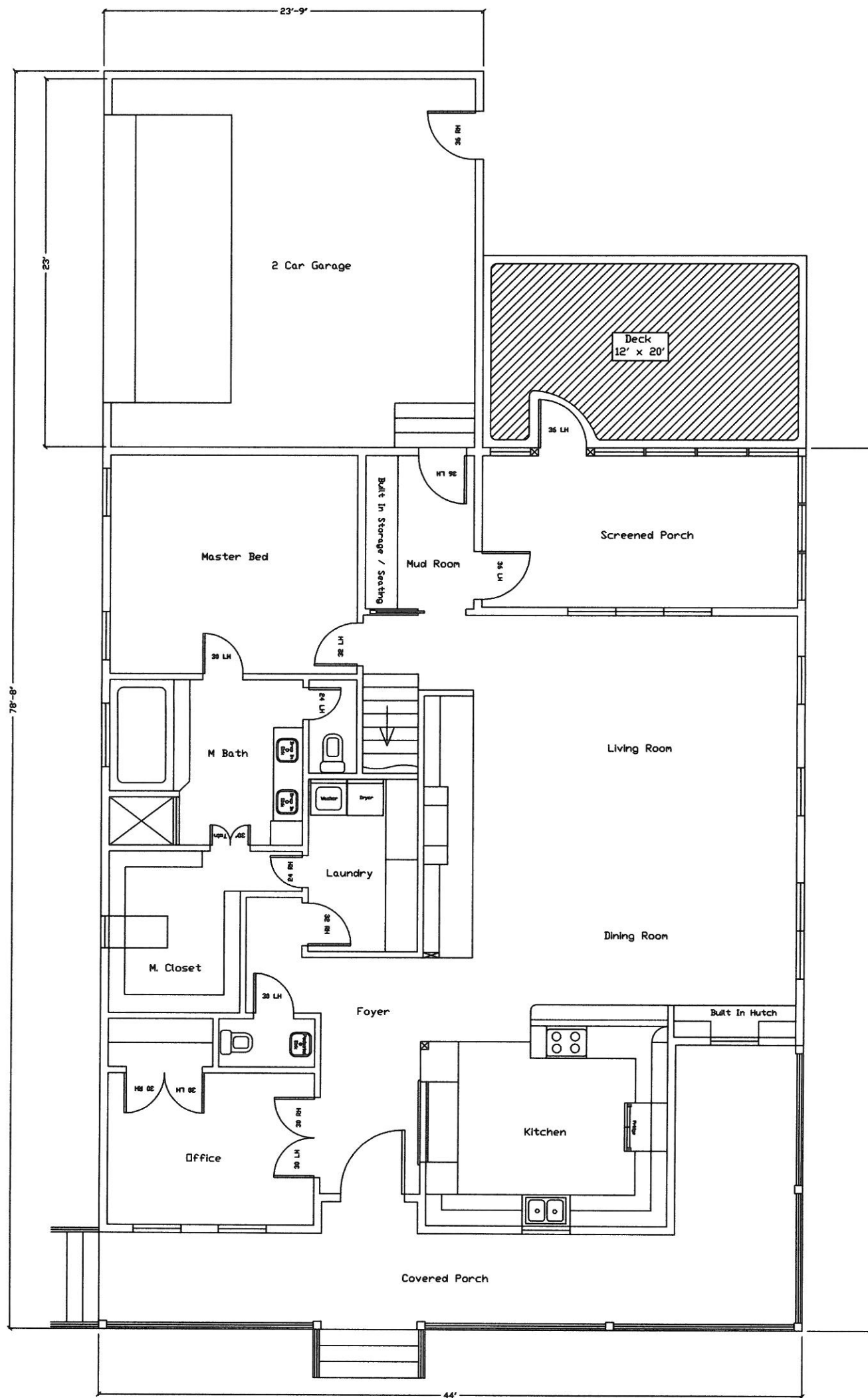


Site Plan



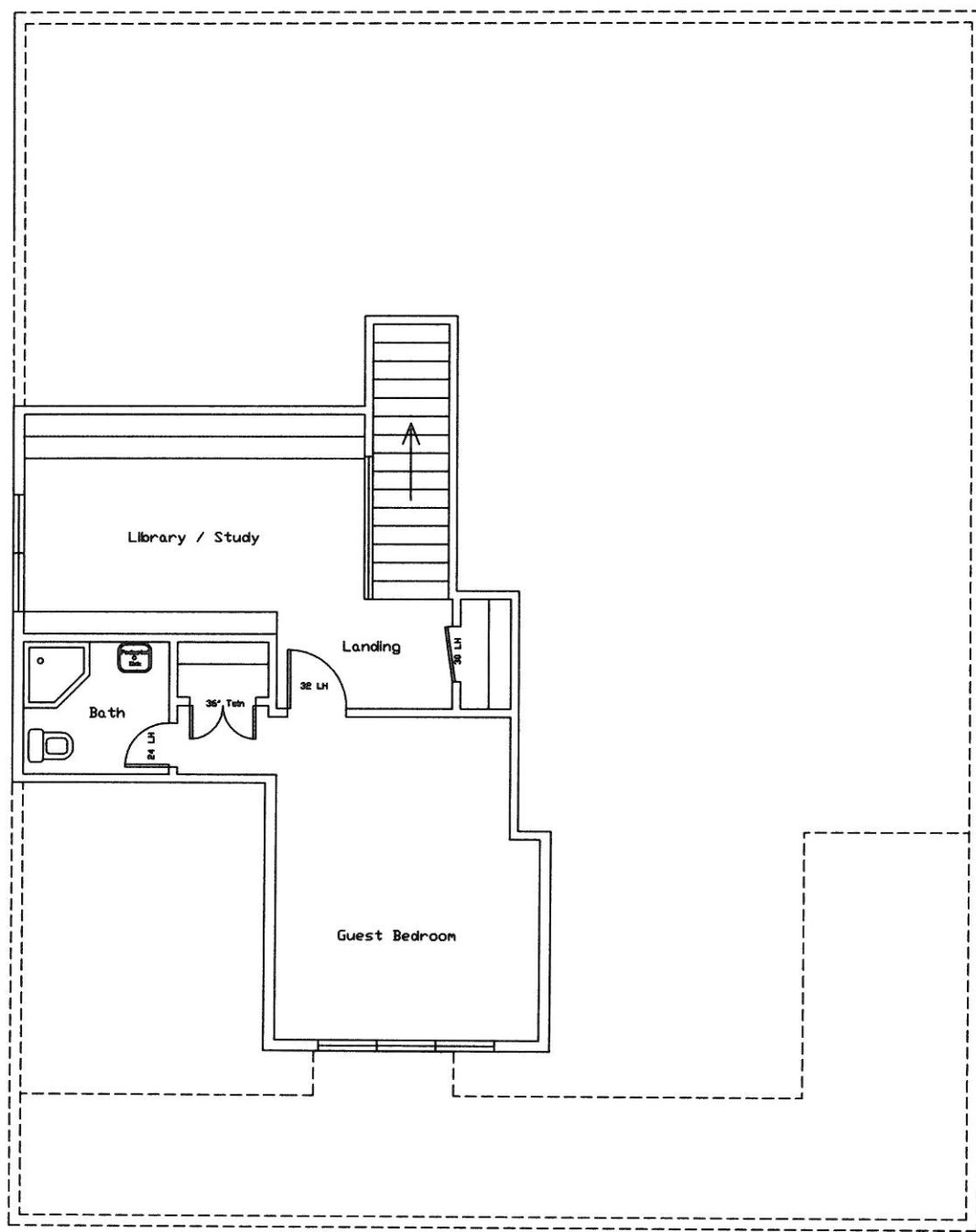
Lot Coverage	
Lot	21,428 Sq Ft
House Footprint	2347 Sq Ft
Shop Footprint	330 Sq Ft
Flatwork	1874 Sq Ft
Lot Coverage	21 %

Project Designed By:	Address	712 Hartman , Rockwall Texas
Chaney Custom Design, LLC 2102 Fm 1141 Rockwall, Tx 75087 214-477-7443	Customer	Gilliam Residence
	Scale	1" = 30'



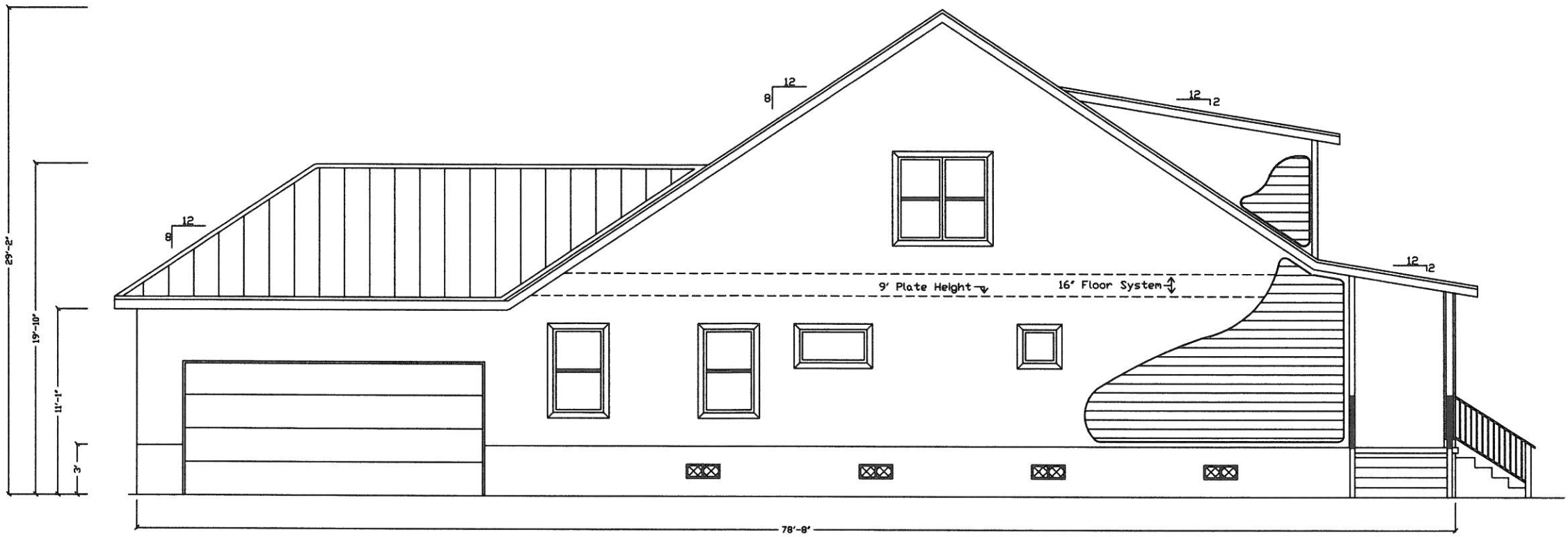
First Floor
1758 SqFt

Project Designed By:	Address	712 Hartman , Rockwall Texas
Chaney Custom Design, LLC 2102 FM 1141 , Rockwall TX 214-477-7443	Customer	Gilliam Residence
	Scale	1/8" = 1'



Second Floor
446 SqFt

Project Designed By:	Address	712 Hartman , Rockwall Texas
Chaney Custom Design, LLC 2102 FM 1141 , Rockwall TX 214-477-7443	Customer	Gilliam Residence
	Scale	1/8" = 1'



Left Elevation



Right Elevation

Project Designed By:

Chaney Custom Design, LLC

2102 FM 1141, Rockwall TX
214-477-7443

Address

712 Hartman, Rockwall Texas

Customer

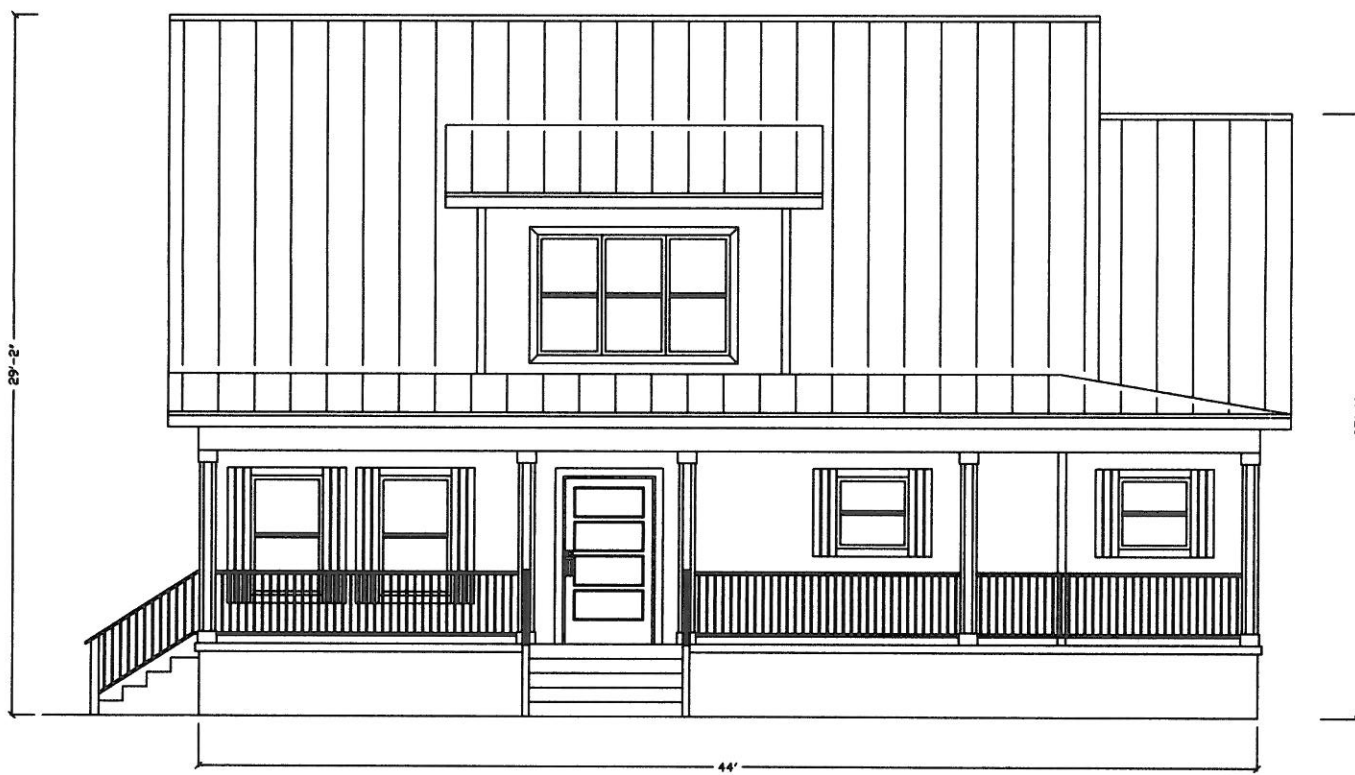
Gilliam Residence

Scale

1/8" = 1'



Rear Elevation



Front Elevation

House - Material Specs

Foundation Type	Pier and Beam - 36" Grade Beam - 24 Exposed
Body Material	8" Hardy Lap
Roofing Material	18" Wide Standing Seal Metal (Galvalume)
Roof Pitch	8/12 Main - 2/12 Porch and 2nd Floor Awning
Windows Speced	AWS - Vinyl One Over One (White)
Ext Doors Speced	Custom Front Door, Metal 1/2 Light Exteriors
Deck Material	Treated Lumber
Front Porch Railing	Wood - As Detailed Per Drawing
Deck Railing	Wood - 2 By Slats (Standard)
Guttering	1/2 Round 5" - (Galvalume)
Flatwork	Exposed Aggregate Concrete

Project Designed By:

Chaney Custom Design, LLC

2102 FM 1141 , Rockwall TX
214-477-7443

Address

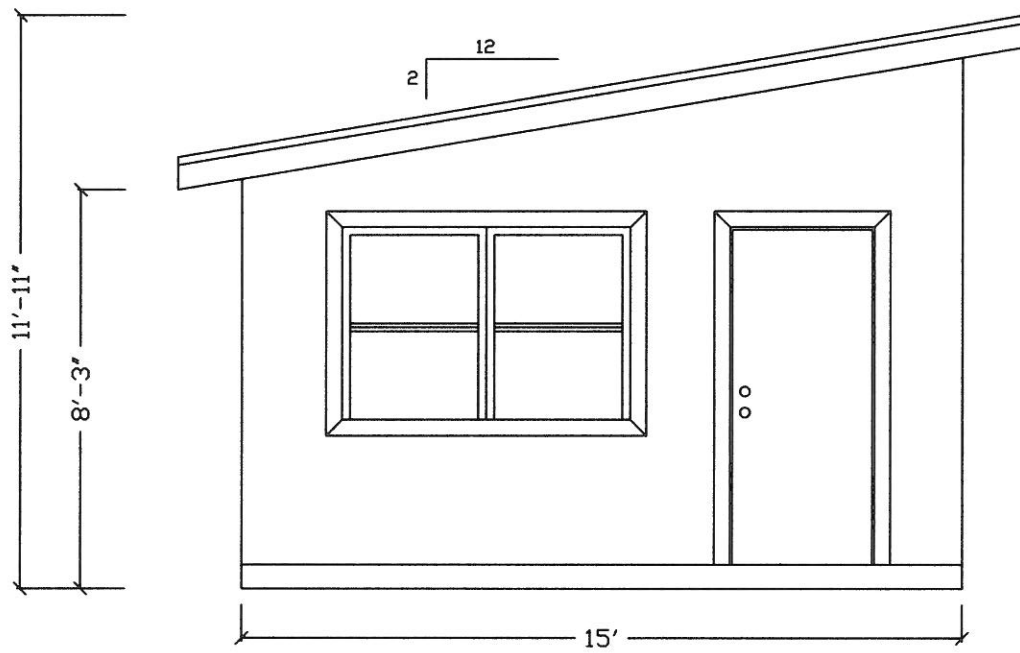
712 Hartman , Rockwall Texas

Customer

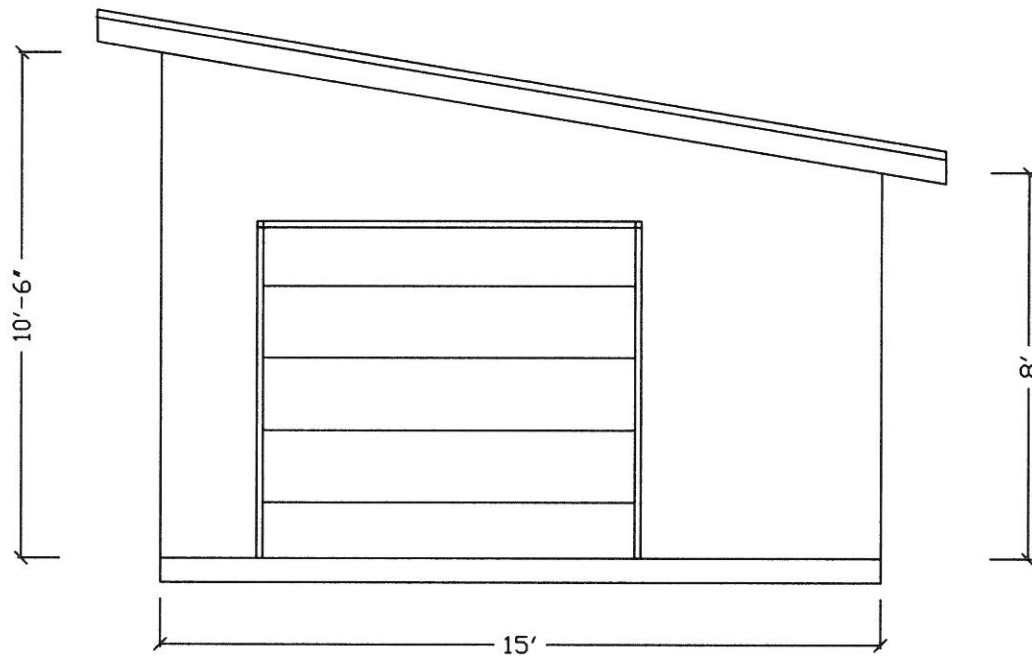
Gilliam Residence

Scale

1/8" = 1'



Front Elevation
Street Side



Rear Elevation

Work Shop Material Specs

Foundation Type	Post Tension Slab
Body Material	8" Hardy Lap
Roofing Material	Standing Seal Metal (Galvalume)
Roof Pitch	2/12
Windows Speced	AWS - Vinyl One Over One (White)

Project Designed By:

Chaney Custom Design, LLC

2102 FM 1141 , Rockwall TX
214-477-7443

Address

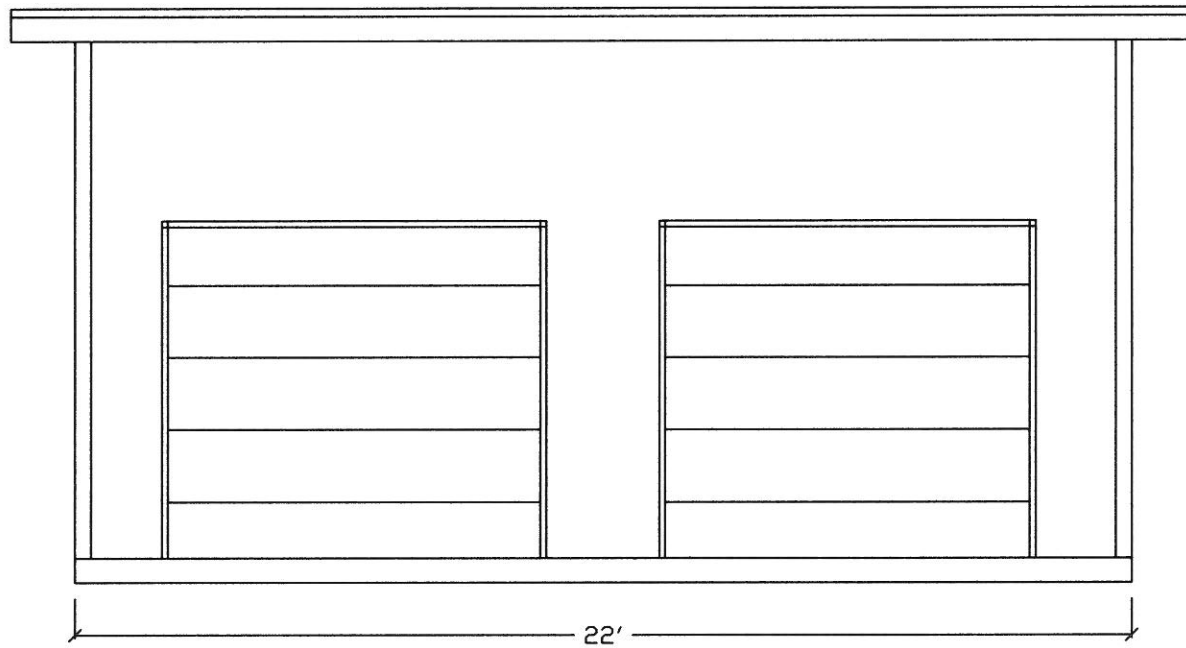
712 Hartman St

Customer

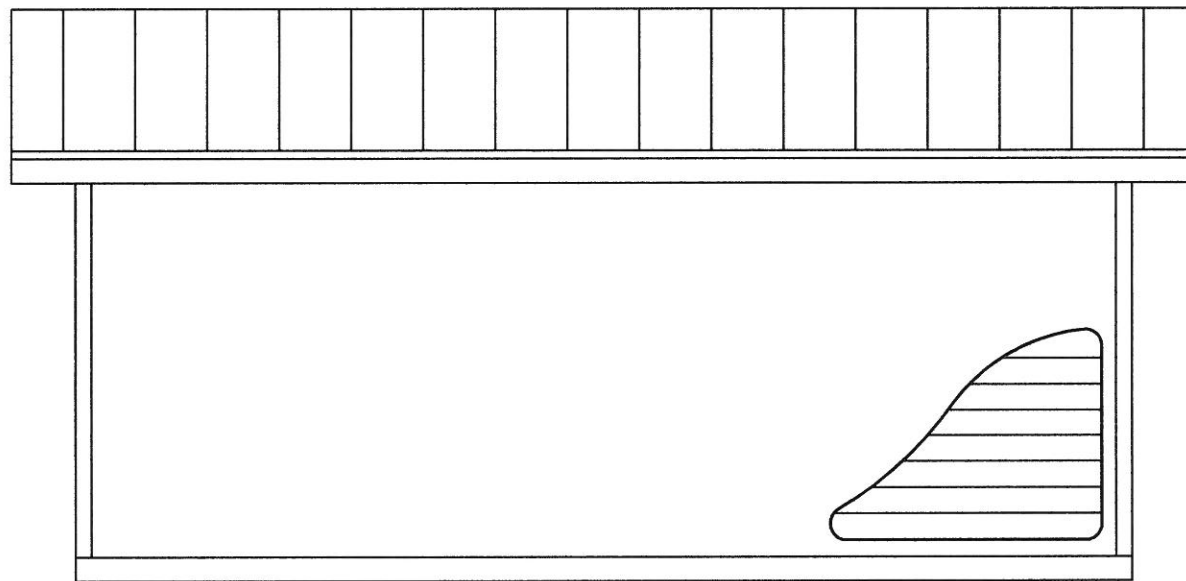
Gilliam Residence

Scale

1/4" = 1'



Right Elevation



Left Elevation

Project Designed By:	Address	712 Hartman St
Chaney Custom Design, LLC 2102 FM 1141 , Rockwall TX 214-477-7443	Customer	Gilliam Residence
	Scale	1/4" = 1'



City of Rockwall
The New Horizon

7/18/2008

Wiley Gilliam
2102 FM 1141
ROCKWALL, TX 75087

RE: H2008-003
Certificate of Appropriateness
Project Type: HISTORIC (C of A)

Dear Applicant:

This letter serves to notify you that the above referenced case that you (or the organization that you represent) submitted before the City of Rockwall was approved by the Historic Preservation Advisory Board on 7/17/2008. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommends approval of the request.

On July 17, 2008, the Historic Preservation Advisory Board approved the Certificate of Appropriateness by a vote of 6-0 subject to the following condition:

- 1. The lap hardi-board siding be a maximum 6" wide and have a maximum 4.5" exposure.*

Please contact the City of Rockwall Community Development Staff at (972) 771-7745, or at the address listed below, with any questions or concerns regarding this matter.

Sincerely yours,

Chris Spencer
Planning and Zoning
City of Rockwall

Cc: John Ankrum