

OLD ROCKWALL HISTORIC DISTRICT GUIDELINES

- EXHIBIT (2) -

OLD TOWN ROCKWALL HISTORIC DISTRICT - Certificate of Appropriateness - Application

Please complete the following table. In addition, it is requested that photographs of the property be submitted. Please submit a sufficient number of photographs of the property to adequately represent the character of the subject property. If additional space is needed, please continue on additional sheets.

Address of Property: 712 Hartman (address or legal description)
Street Address: Rockwall Texas 75087 Rockwall
City State Zip Code County

Name of Property, If Applicable: Hurst Addition; Block A; Lot 2; 0.49 Acres

Has the building been moved? No [checked] Yes ___ If yes, when was the property moved? (mm/dd/yr -if known, otherwise, the year moved is sufficient)

Name of Historic District: OLD TOWN ROCKWALL HISTORIC DISTRICT
National Register District [checked] Certified State or Local District ___ Historic District
If listed individually in the National Register of Historic Places,
Please give date of listing ___ (mm/dd/yy)

Owner: Reeder Enterprises Street Address: 1523 Stewart Dr (if different from above)
Rockwall TX 75032
City State Zip Code
972-722-1904
Telephone Number (preferably daytime)

Authorized Contact: Philip Reeder Street Address: SAME AS ABOVE (if different from above)
(if different from Owner)
City State Zip Code
469-569-1904
Telephone Number (preferably daytime)

Description of Property Construction, Renovation and Repair (attach photographs, plans, elevations, etc.):
new 1,100 sq' early American style Home 80% brick masonry

Owner's Signature: Manager / Philip Reeder
City of Rockwall Use Only: HP-2003-2-CofA
Project Number

REHABILITATION, RESTORATION AND NEW CONSTRUCTION

Prepared by the Old Town Rockwall Historic District Planning Committee



CITY OF ROCKWALL
- FACSIMILE -
COVER PAGE

Date: **April 3, 2003**

From:

**James Williams
City Planner
Community Development Bldg.
385 South Goliad
Rockwall, Texas 75087
(972) 772-6440
(972) 771-7748
jwilliams@rockwall.com**

Phone Number:

Fax Number:

E-mail address:

To:

Jennifer Hurst

Fax Number:

(281) 482-7183

Telephone Number:

()

No. of pages (incl. cover page):

28

Message:

Please find the attached copy of the Old Town Rockwall Historic Guidelines along with the Appendix A (Property Listing) and historic district map.

Please contact me at the number or e-mail address listed above if you have any questions or need any additional information.

Thanks.

Respectfully,

A handwritten signature in black ink, appearing to be 'J. Williams', written in a cursive style.

FILE COPY



CITY OF ROCKWALL
at Rockwall CityPlace

April 3, 2003

David Ray
Regal Realtors
3125 Ridge Road
Rockwall, Texas 75087

Re: Old Town Rockwall
Historic District Guidelines

Dear Mr. Ray:

This correspondence serves to provide you with the enclosed copy of the Ordinance and Guidelines associated with the City of Rockwall's inaugural "Old Town Rockwall Historic District". Jennifer Hurst, owner of the tract of land known as the Hurst Addition (a.k.a. 710 and 712 Hartman) contacted me by telephone early on the afternoon of Thursday, April 3, 2003 and requested that I send you a copy of this information that is applicable to the subject property on Hartman.

Please contact me at (972) 772-6440 or by e-mail at jwilliams@rockwall.com if you have any questions regarding the historic district or if you require any information regarding zoning regulations that apply to property within the historic district or within the City of Rockwall as a whole. Thank you.

Respectfully,

James S. Williams
Planner

FILE COPY

JSW/
Enc.

Gingerbread detailing and a front porch give this home a country feel, while its modest footprint makes it suitable for an urban lot. The vaulted Great Room combines smoothly with the kitchen and the dining room to create a large, comfortable shared living area. The secluded master suite has a walk-in closet. On the upper floor, two bedrooms share a full bath.

Specifications

Style: Country

Bedrooms:	3	Finished sq. ft.	Heated & cooled total	1,100
Baths:	2			
Floors:	2	First	702	
Garage Stalls:	None	Second	396	
Master Suite:	First	Total:	1098	
Laundry:	First			
Foundation:				

Not siding as shown in this picture.
House will be at least 80% old style brick (see sample)





CITY OF ROCKWALL
at Rockwall CityPlace

April 11, 2003

Daniel Demeyer
620 Knollwood
Rockwall, Texas 75087

Re: *Historic Preservation Advisory Board meeting – April 17, 2003*

Dear Mr. Demeyer:

Please find the attached agenda (on the reverse side of this correspondence) for the **April 17, 2003** meeting (at 6:30 p.m.) of the Historic Preservation Advisory Board (HPAB).

The meeting will address a *follow-up* to the request from Lindley Paul for a Certificate of Appropriateness (CofA) to allow the proposed addition of a porte-cochere on the east side of the structure located at 501 Storrs (Eppstein Addition; Block A; Lot 12).

The "*Informal Review*" item is a residential structure proposed for the property addressed as 712 Hartman. The applicant has not formally submitted an application for a CofA, however, I felt that this would be an interesting case study to review elements of the proposed structure that may be more compatible within the Historic District.

The last three *Discussion Items* pertain to an update on the Historic District name and the proposed street signage within the historic district and the Design Review Session to be scheduled for a Saturday later this Spring.

Please contact me at (972) 772-6440 or by e-mail at jwilliams@rockwall.com if you have any questions, concerns or if you will not be able to attend the meeting on Thursday evening, April 17th. *In addition, please make note that because of scheduling conflicts with meeting rooms, the HPA will be meeting downstairs in the Community Development Conference Room.* Thank you.

Respectfully,

James S. Williams
Rockwall City Planner

JSW/
Enc.



CITY OF ROCKWALL
at Rockwall CityPlace

April 11, 2003

**Mary Sue Smith
502 West Rusk
Rockwall, Texas 75087**

Re: Historic Preservation Advisory Board meeting – April 17, 2003

Dear Ms. Smith:

Please find the attached agenda (on the reverse side of this correspondence) for the **April 17, 2003** meeting (at 6:30 p.m.) of the Historic Preservation Advisory Board (HPAB).

The meeting will address a *follow-up* to the request from Lindley Paul for a Certificate of Appropriateness (CofA) to allow the proposed addition of a porte-cochere on the east side of the structure located at 501 Storrs (Eppstein Addition; Block A; Lot 12).

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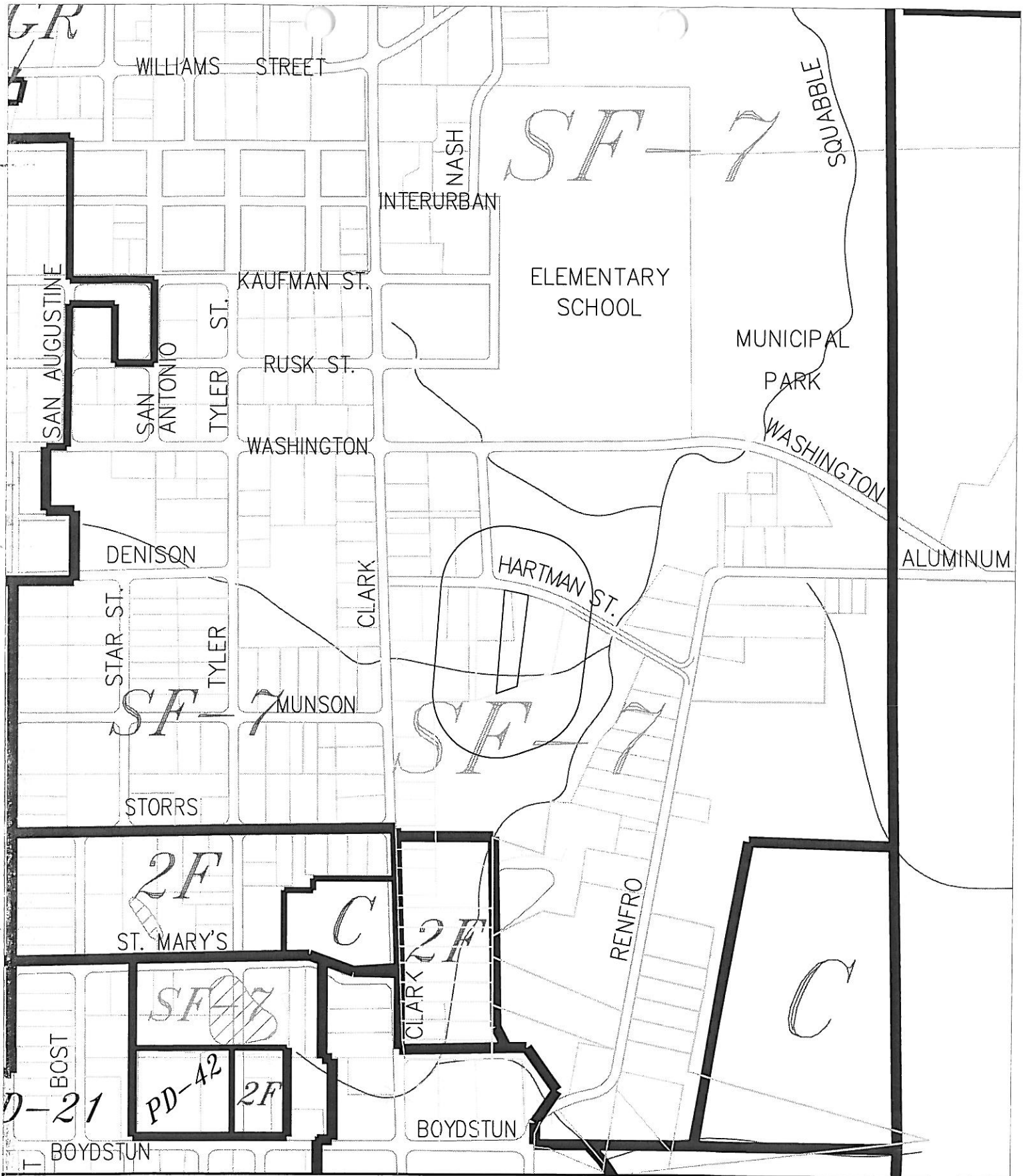
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Respectfully,

James S. Williams
Rockwall City Planner

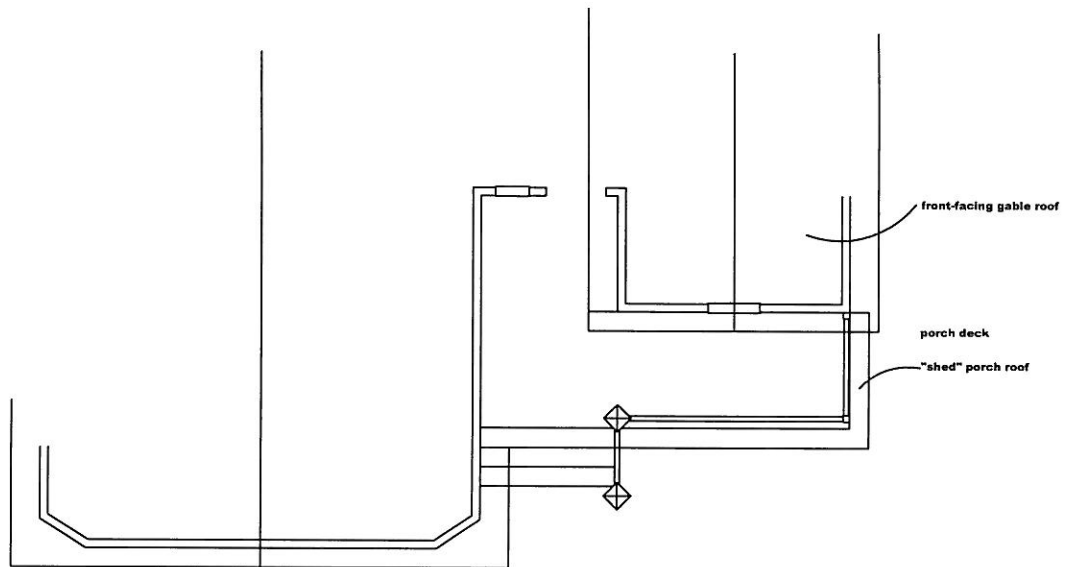
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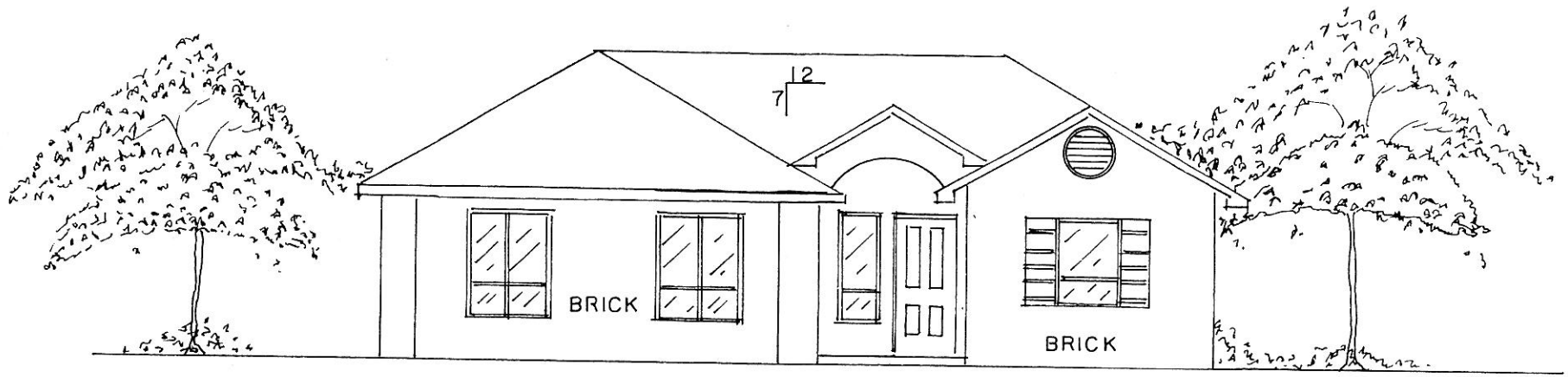
HP-2003-2-CofA
712 Hartman



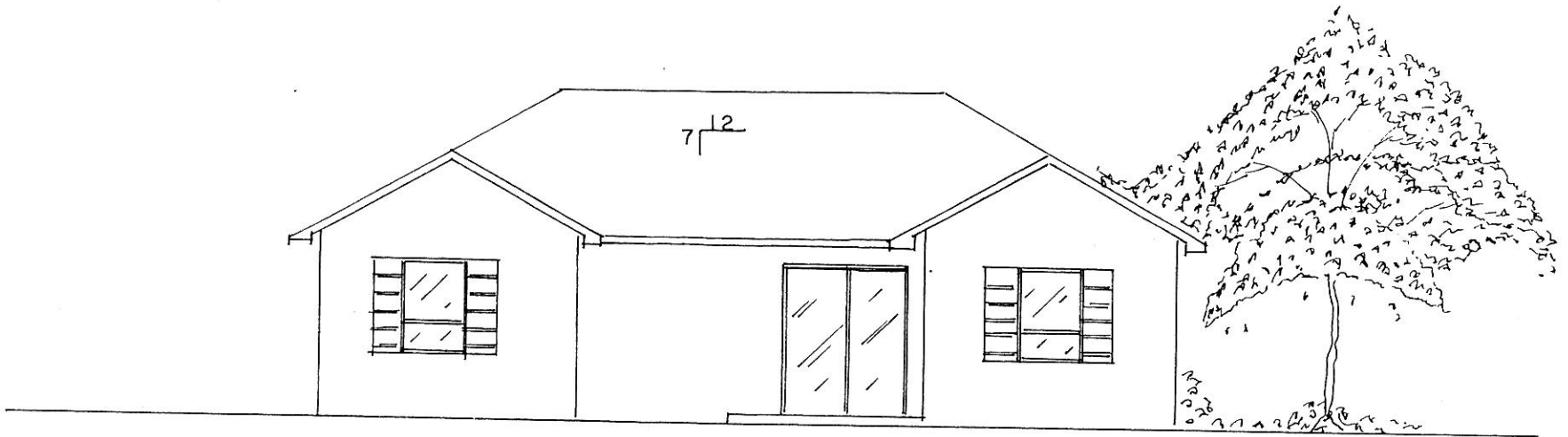
1" = 400'



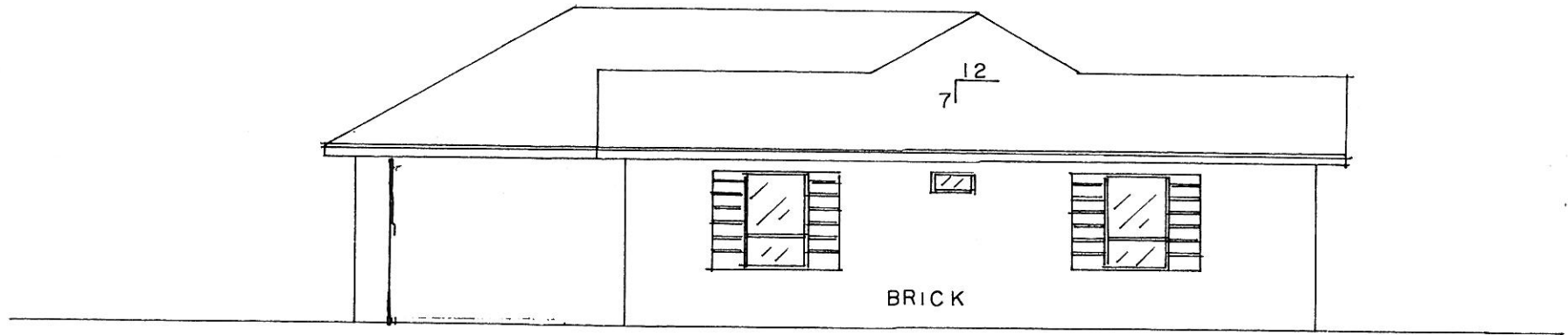




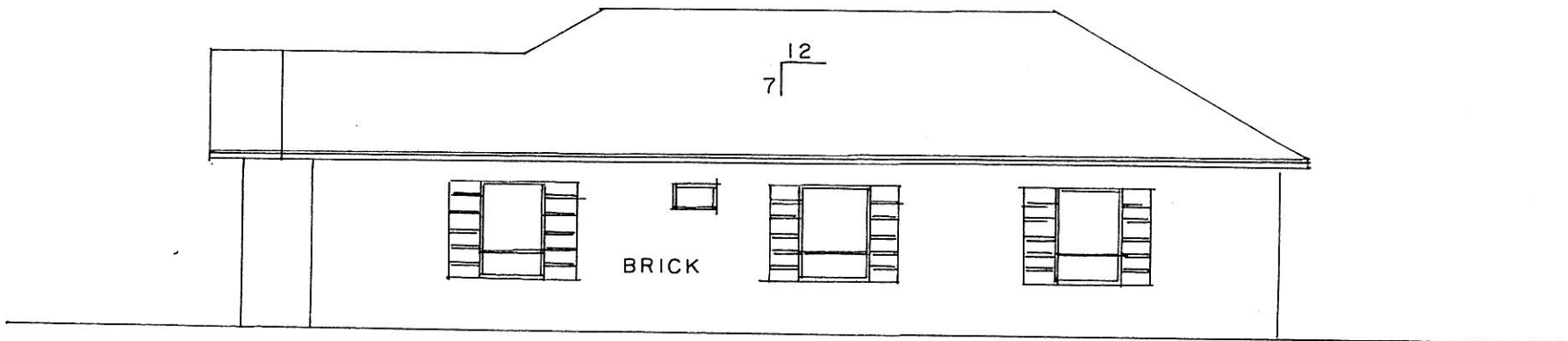
FRONT ELEVATION scale 1/8 = 1'-0"



REAR ELEVATION scale 1/8 = 1'-0"

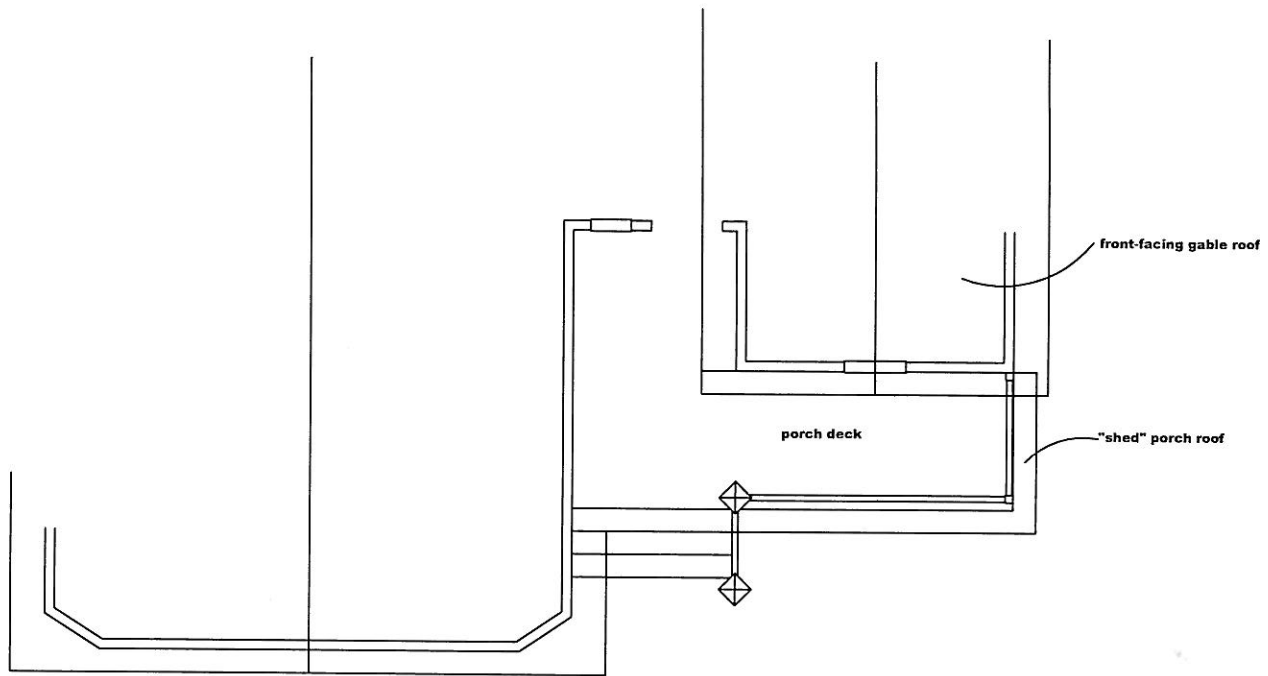


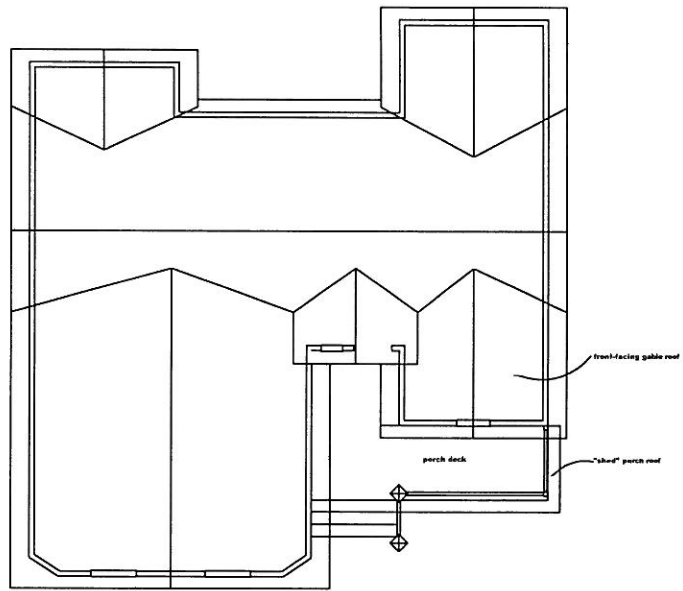
RIGHT ELEVATION scale 1/8" = 1'-0"

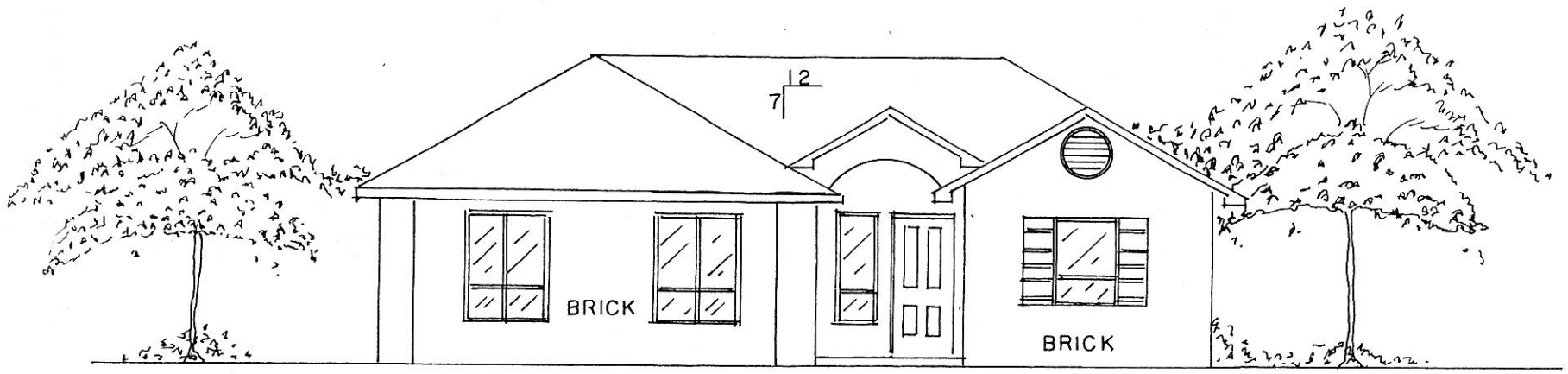


LEFT ELEVATION scale 1/8" = 1'-0"

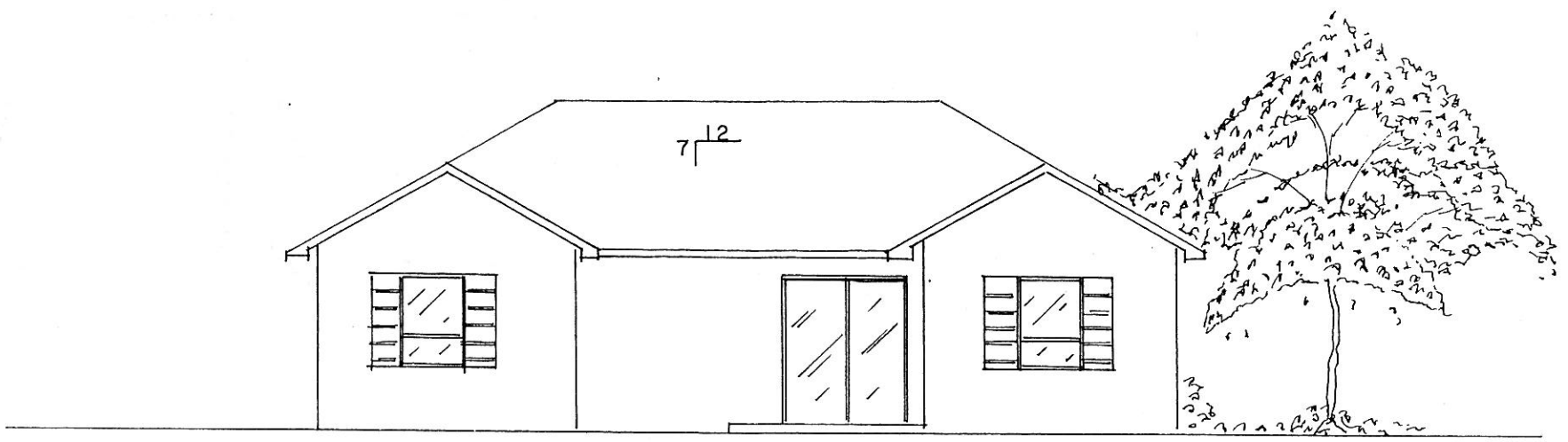




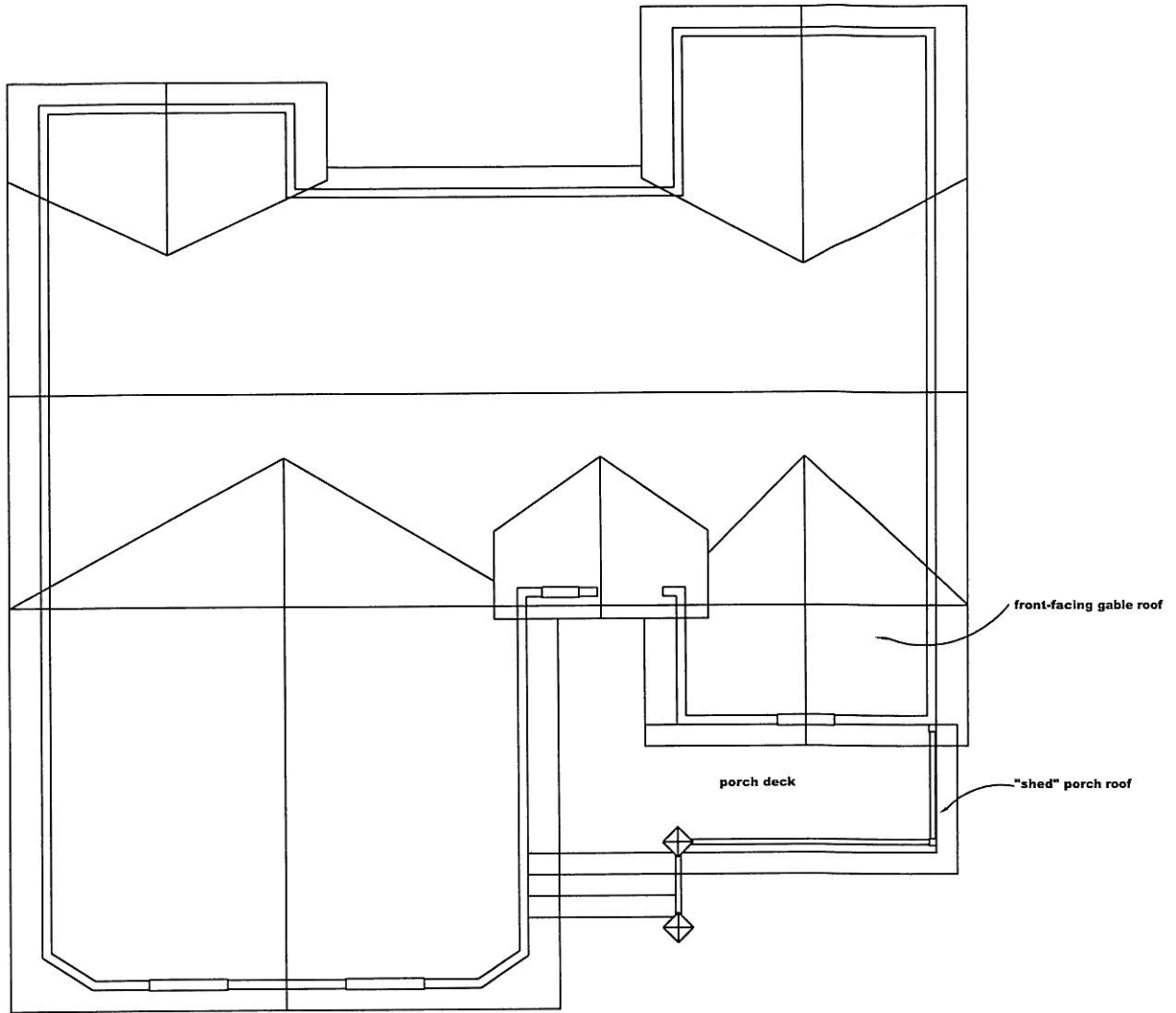




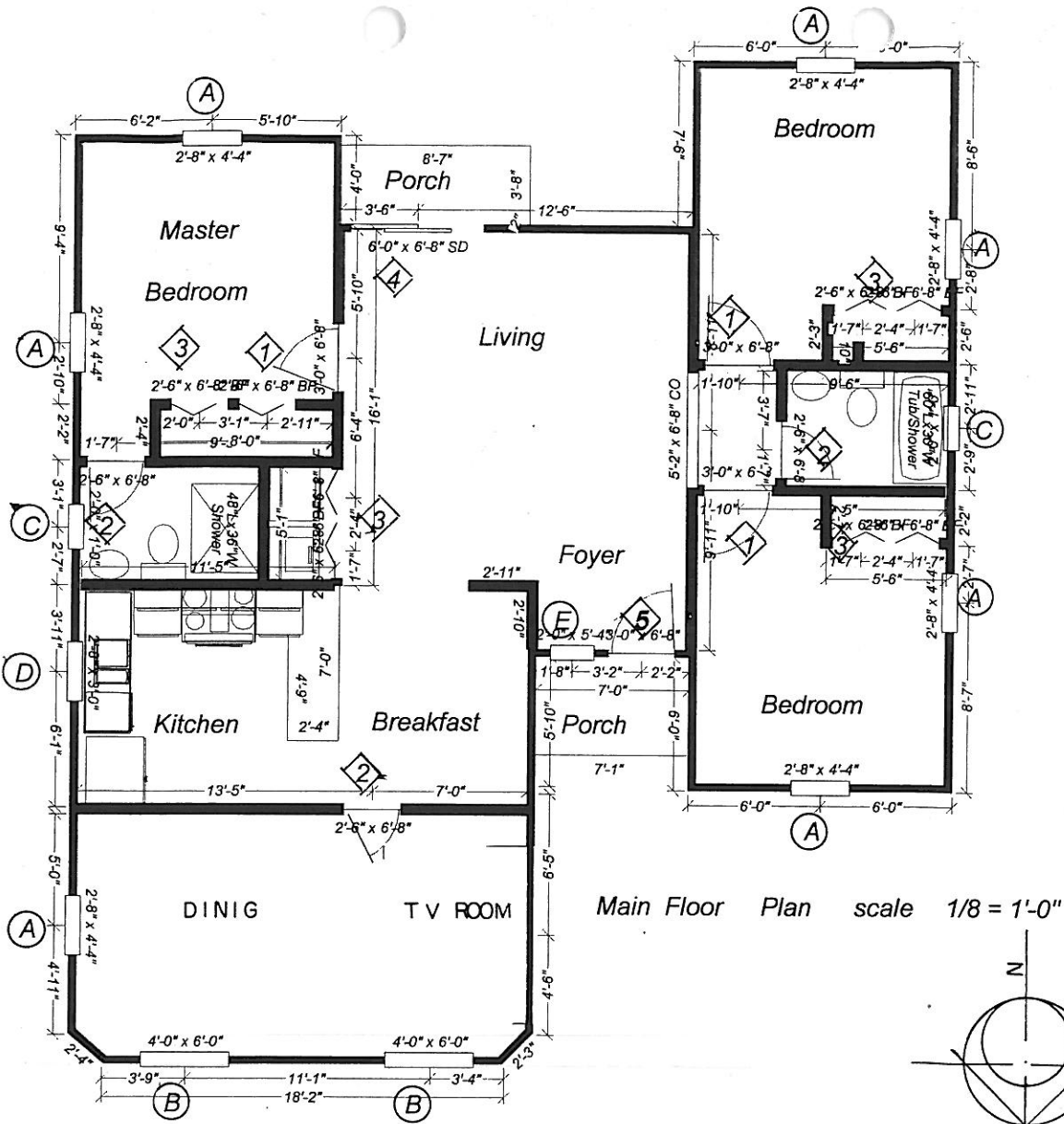
FRONT ELEVATION scale 1/8 = 1'-0"



REAR ELEVATION scale 1/8 = 1'-0"

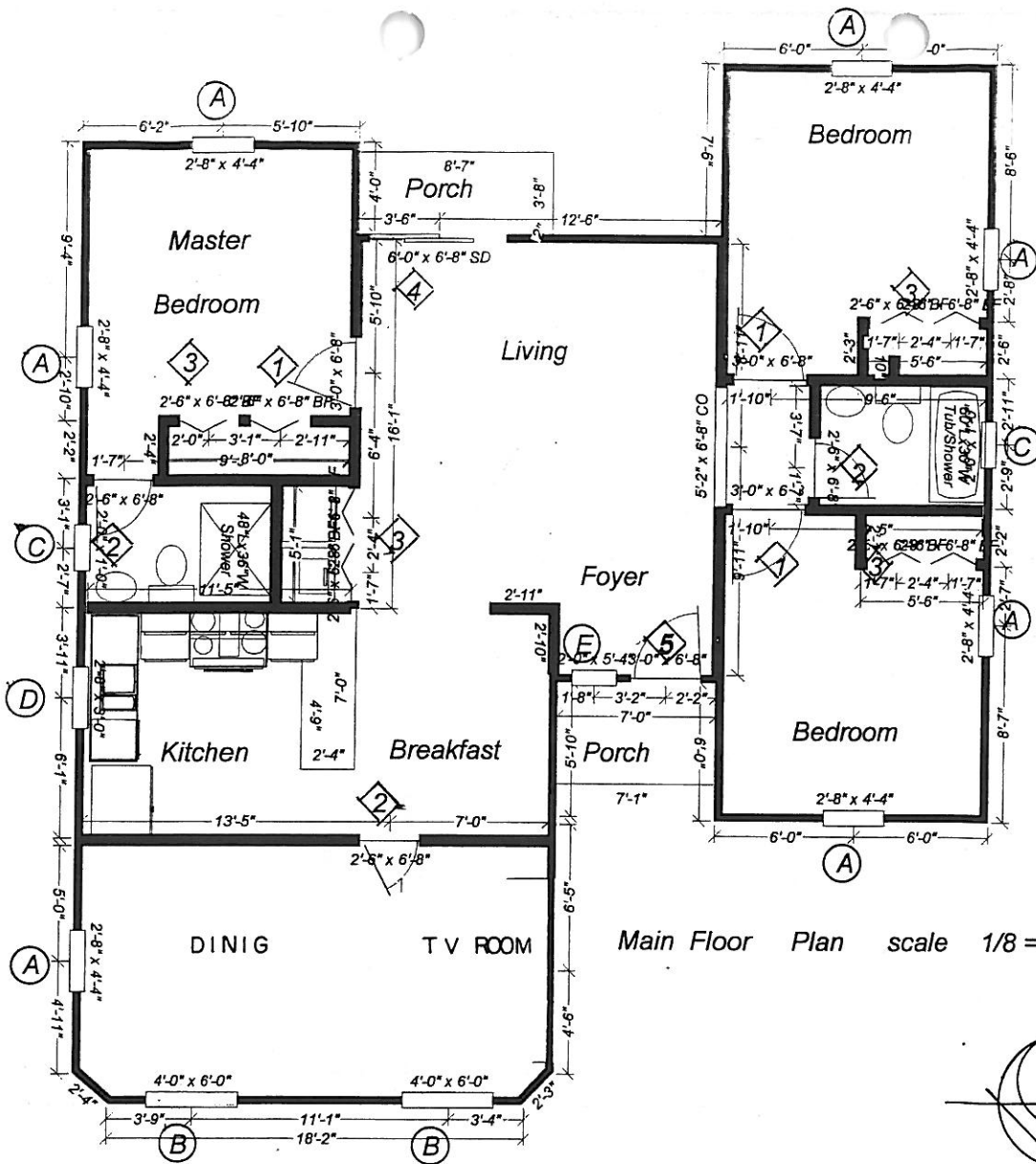


- SUGGESTED ALTERATIONS -



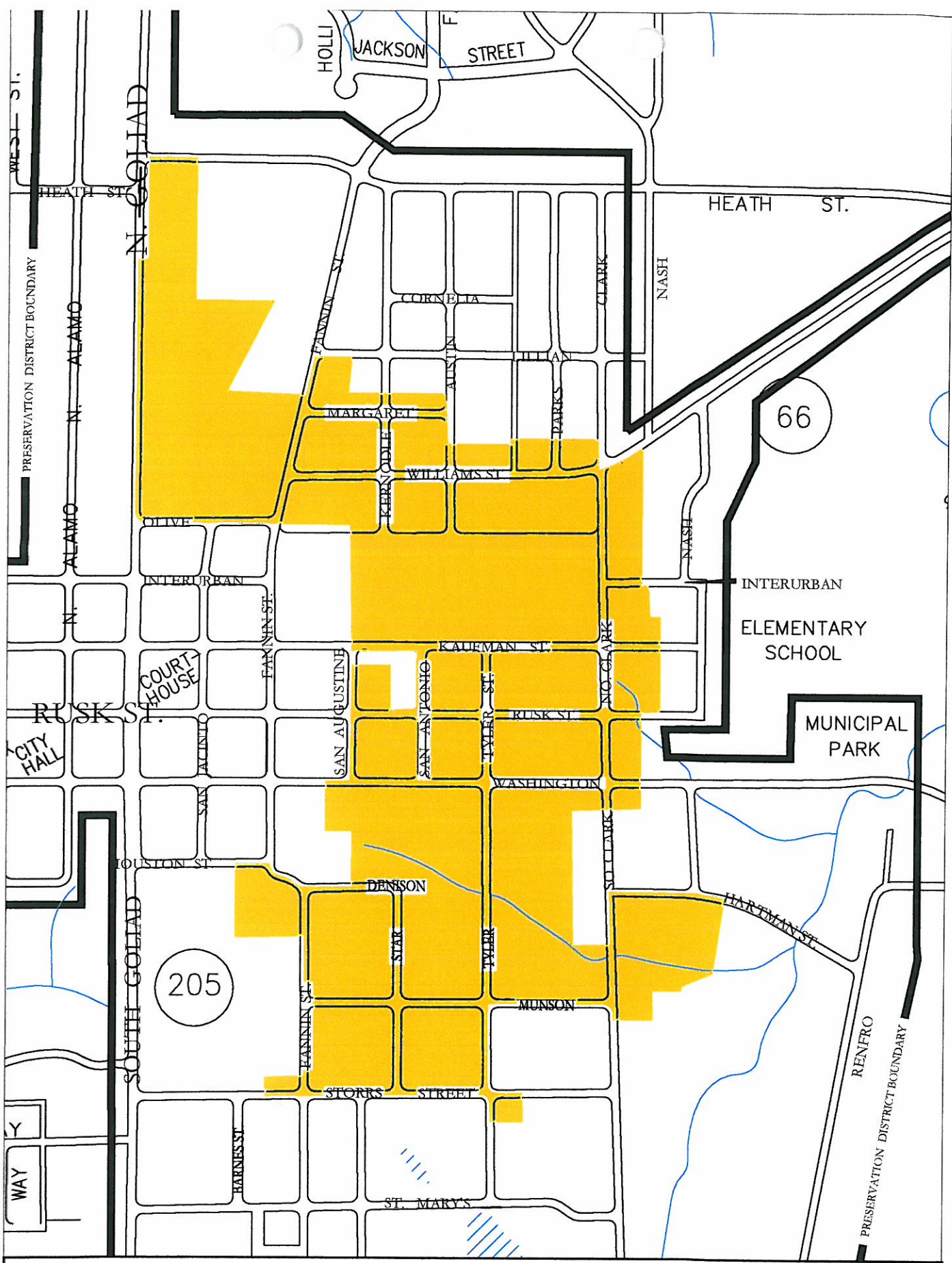
Door Symbol	Door	Schedule
1	3 ϕ 6-8"	Interior
2	2 ϕ 6-8"	Interior
3	2-6 ϕ 6-8"	Closet
4	6 ϕ 6-8"	Aluminium
5	3 ϕ 6-8"	Front Entry

Window Symbol	Window	Schedule
A	2-8" ϕ 4-4"	s/h
B	4-0" ϕ 6-0"	s/h
C	2-0 ϕ 1-0"	s/h
D	2-0" ϕ 3-0"	s/h
E	2-0" ϕ 5-10"	s/h



Door Schedule	Description
1	3 ϕ 6-8" Interior
2	2 ϕ 6-8" Interior
3	2-6 ϕ 6-8" Closet
4	6 ϕ 6-8" Aluminium
5	3 ϕ 6-8" Front Entry

Window Schedule	Description
A	2-8" ϕ 4-4" s/h
B	4-0" ϕ 6-0" s/h
C	2-0 ϕ 1-0" s/h
D	2-0" ϕ 3-0" s/h
E	2-0" ϕ 5-10 s/h



OLD TOWN ROCKWALL HISTORIC DISTRICT MAP

APPENDIX B

AGENDA
Historic Preservation Advisory Board Meeting
Development Services Building
385 South Goliad, Rockwall, Texas 75087
First Floor – Community Development Conference Room
April 17, 2003
6:30 P.M.

CALL TO ORDER

- *Approval of Minutes from 02/27/2003 Historic Preservation Advisory Board (HPAB) meeting*

Follow-up Review the following case:

HP-2003-1-CofA

A request from Lindley Paul for a Certificate of Appropriateness (CofA) to accommodate the building of a porte-cochere structure on the east side of the high-contributing structure located at 501 Storrs (Eppstein; Block A; Lot 12).

Informally review the following case:

HP-2003-2-CofA

Discuss and consider the Certificate of Appropriateness (CofA) for a single-family residential structure proposed for the vacant tract of land known as Hurst Addition; Lot 1 (a.k.a. 712 Hartman) located on the south side of Hartman Street east of South Clark.

DISCUSSION ITEMS:

- Old "Town" Rockwall Historic District
- Historic District Street Signage
 - Logo added to Street-Name Sign
 - Arrangement of Street-Name Signs and Street Topper
- Design Review - Training Session

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact James Williams at (972) 771-7745 for further information.
Posted this 11th day of April, 2003 at 4:00 p.m. by James Williams

04-17-08 AM
7:43 pm - R. La Croix

MINUTES - ?
P.P.S MOTION
MT 2-19
3 to 0

HP-2003-1-CofA

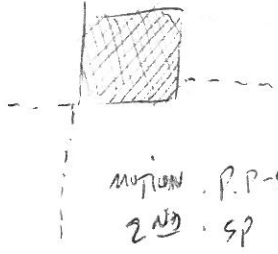
→ HP-03-1-CofA

→ DISCUSS CASE

→ LOCATION & JUSTIFICATION FROM HOUSE

> WAS DISCUSSED AT LENGTH

> DETENTION V. ATTACHMENT



MOTION P.P.S

2ND SP

+ 3 to 0 MOTION PASSED