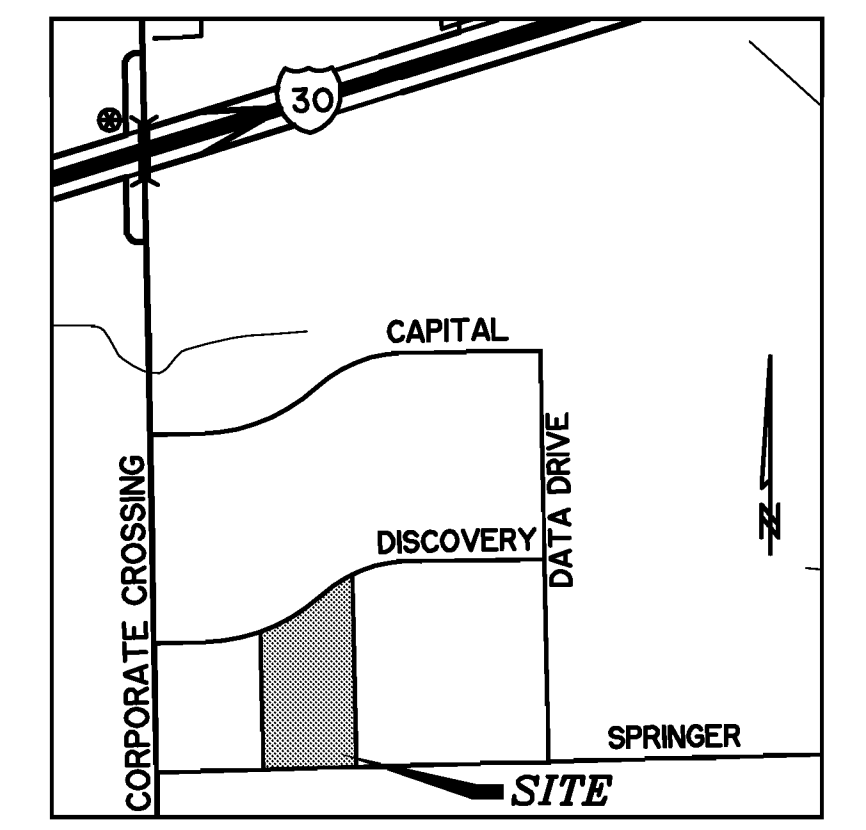


PRINTED: 6/13/2014 9:15:58 AM WIER-PAVING.STB LAST SAVED: 6/13/2014 9:15:58 AM SAVED BY: PHILIP L. GRAHAM FILE: SITE-PLAN-14029.DWG

PARKING INFORMATION	
OFFICE: 1 SPACE/300 SQ. FT. 15,000 SQ. FT./300 SQ. FT. = 50 SPACES	HANDICAP PARKING SPACES REQUIRED: = 8 SPACES WITH 2 OF THOSE BEING VAN ACCESSIBLE
PRODUCTION AREA: 1 SPACE/500 SQ. FT. 133,000 SQ. FT./500 SQ. FT. = 266 SPACES	HANDICAP PARKING SPACES PROVIDED: = 8 SPACES WITH 5 OF THOSE BEING VAN ACCESSIBLE
WAREHOUSE: 1 SPACE/1,000 SQ. FT. 25,000 SQ. FT./1,000 SQ. FT. = 25 SPACES	LANE USE: OFFICE/INDUSTRIAL/WAREHOUSE
TOTAL PARKING SPACES REQUIRED: = 50 + 266 + 25 = 341 SPACES	*A PARKING VARIANCE IS TO BE REQUESTED*
TOTAL PARKING SPACES PROVIDED: = 198 SPACES	

LEGEND	
	7' 3,500 P.S.I. TRUCK DOCK & DUMPSTER PAVEMENT
	6' 3,500 P.S.I. FIRE LANE PAVEMENT
	5' 3,500 P.S.I. LIGHT DUTY PAVEMENT
	PROPOSED SIDEWALK
	STANDARD PARKING SPACE
	HANDICAP PARKING
	PARKING LOT LIGHT POLE SEE MEP PLAN

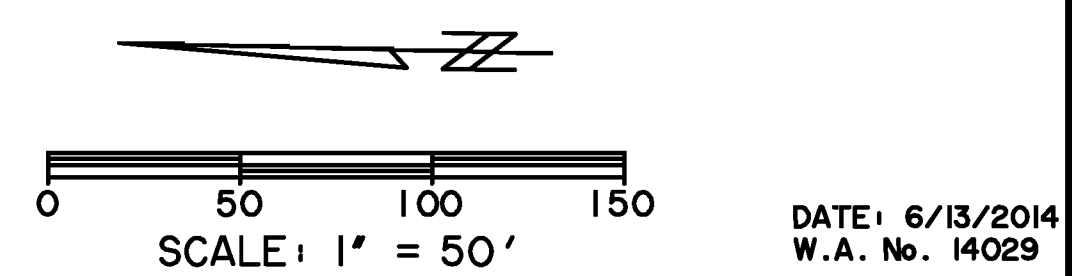
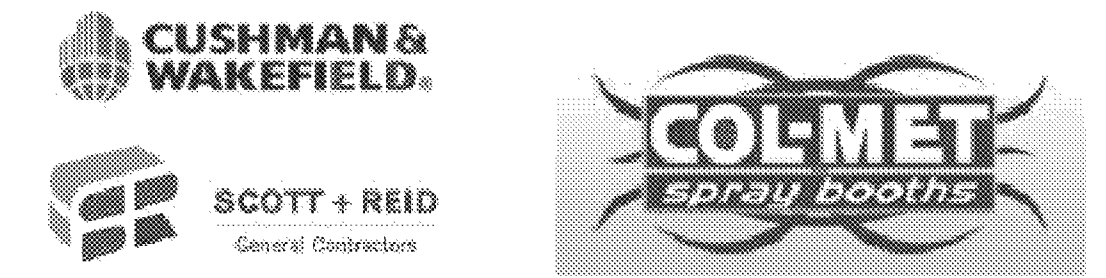
CAUTION !!
EXISTING UTILITIES ARE INDICATED ON THE PLANS FROM AVAILABLE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES, TO NOTIFY ALL UTILITY COMPANIES OF THE CONTRACTORS OPERATIONS, TO PROTECT ALL UTILITIES FROM DAMAGE, TO REPAIR ALL UTILITIES DAMAGED DUE TO THE CONTRACTORS OPERATIONS, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES.



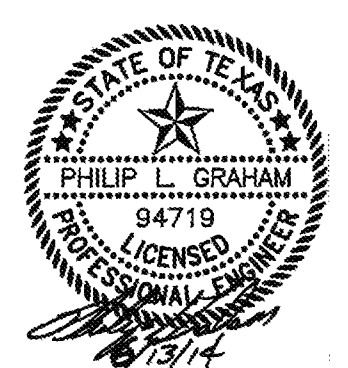
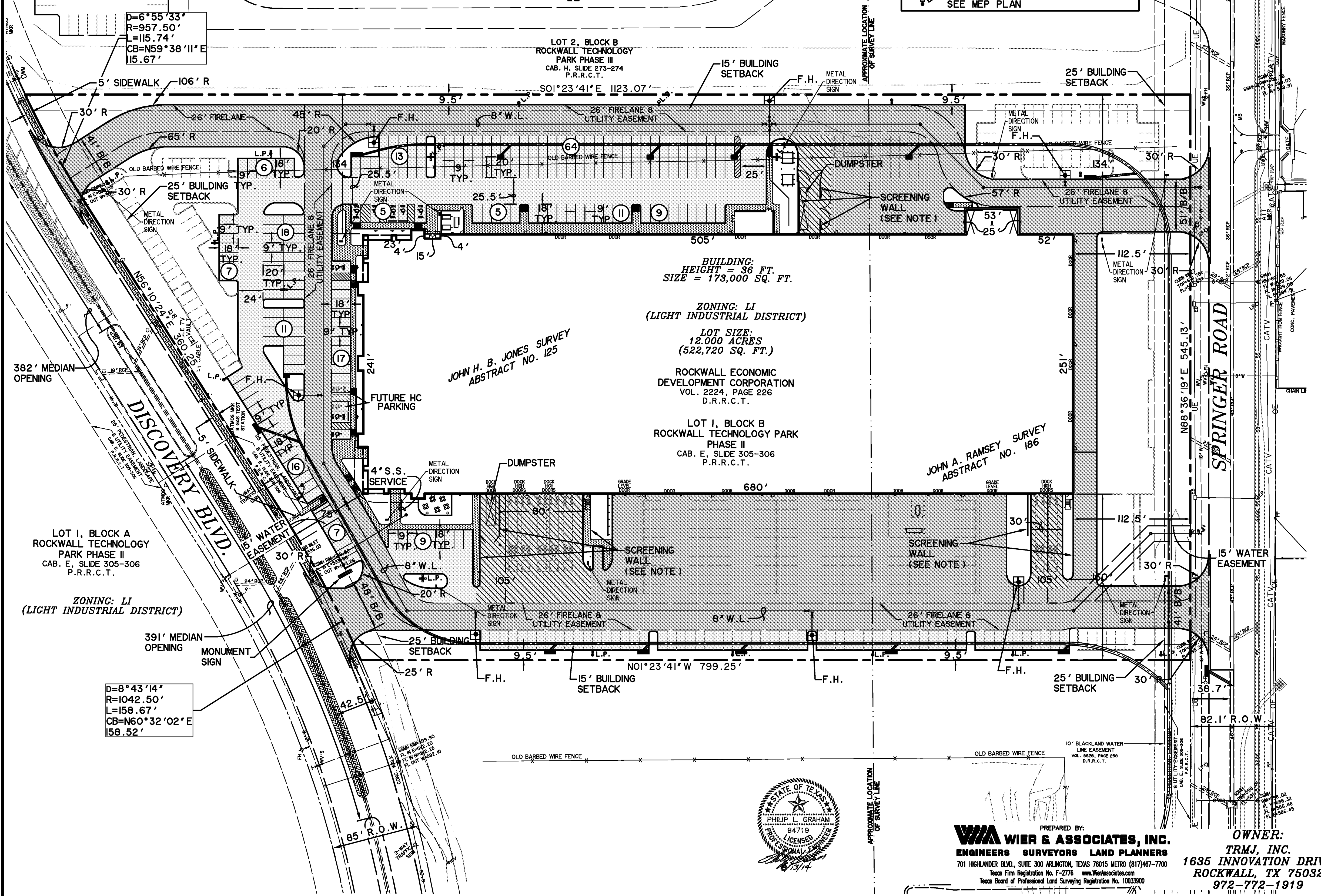
VICINITY MAP

- GENERAL NOTES:**
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE
 - REFER TO ELECTRICAL SITE LAYOUT FOR PARKING LOT LIGHTING CONDUIT LOCATIONS AND LANDSCAPE IRRIGATION PLANS FOR IRRIGATION SLEEVE LOCATIONS.
 - ALL CURB RETURNS ARE 5' RADII UNLESS OTHERWISE SPECIFIED.
 - SPEED BUMPS ARE NOT PERMITTED WITHIN A FIRELANE.
 - TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.

- SCREENING NOTE:**
- BOTH OF THE GARBAGE DUMPSTERS LOCATED ON THE EAST AND WEST SIDES OF THE BUILDING WILL BE FULLY ENCLOSED WITH 10' TALL TEXTURED CONCRETE TILT WALLS TO MATCH THE BUILDING.
 - THE TRUCK COURTS LOCATED ON THE WEST SIDE OF THE BUILDING WILL BE SCREENED USING 10' TALL TEXTURED CONCRETE TILT WALLS TO MATCH THE BUILDING.
 - ALL ROOF MOUNTED UTILITY EQUIPMENT WILL BE SCREENED SO THAT IT SHALL NOT BE VISIBLE FROM ANY DIRECTION.



PROJECT NAME COL-MET SPRAY BOOTHS
LAND AND BLOCK DESIGNATION LOT 1, BLOCK B ROCKWALL TECHNOLOGY PARK PHASE II
SHEET TITLE SITE PLAN
CASE #



PREPARED BY:
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ROCKWALL, TX 75082
972-772-1919