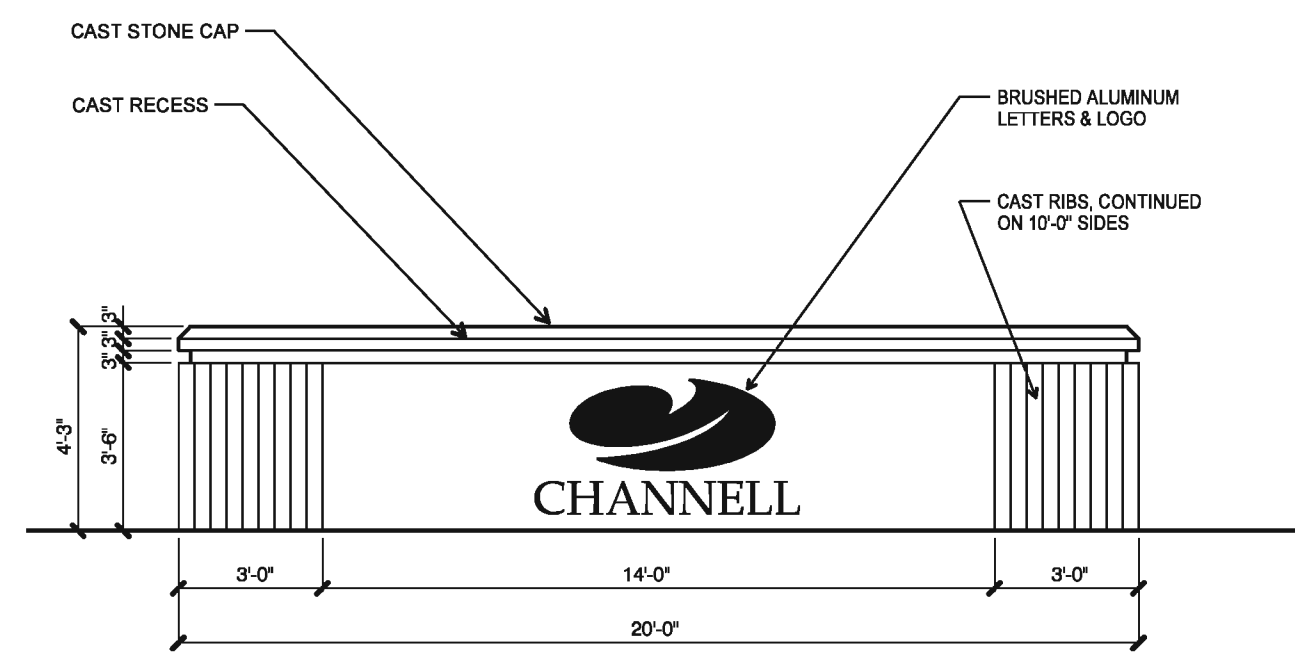


4 TYPICAL PARKING PLAN

SCALE: 1/4"=1'-0"



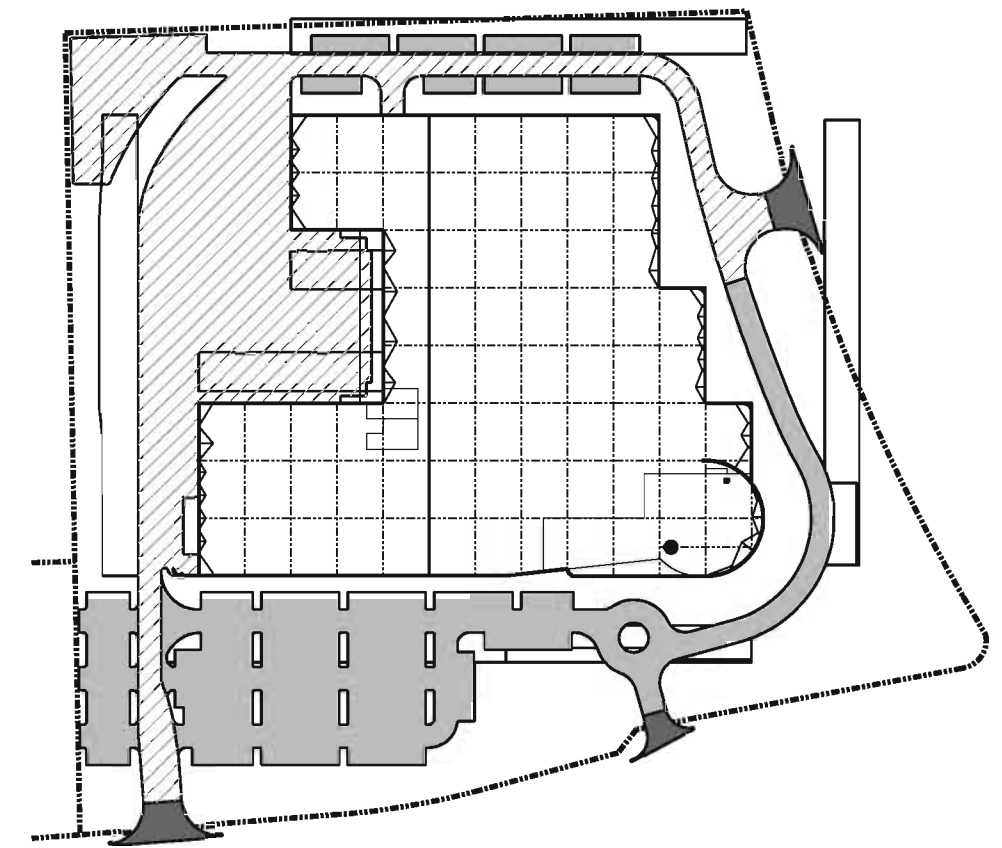
3 ELEVATION AT MONUMENT SIGN

SCALE: 1/2"=1'-0"



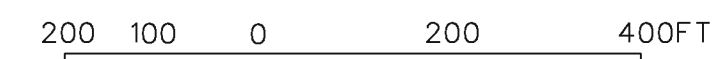
PAVING THICKNESS LEGEND

	5" THK. 3000 PSI CONCRETE W/ #3 BARS @ 24" O.C. EACH WAY
	6" THK. (MIN.) 3000 PSI CONCRETE W/ #3 BARS @ 24" O.C. EACH WAY (VERIFY WITH GEO-TECH)
	AS REQUIRED BY CITY OF ROCKWALL



2 PAVING THICKNESS PLAN

SCALE: 1"=200'-0"



PROJECT LEGEND

CURRENT OWNER

ROCKWALL ECONOMIC DEVELOPMENT CORPORATION
 ATTN: SHERI FRANZA
 P.O. BOX 968
 ROCKWALL, TEXAS 75032
 P: 972.772.0025
 F: 972.771.8828

PROPOSED OWNER / DEVELOPER

CHANNELL COMMERCIAL CORPORATION
 ATTN: EDWARD J. BURKE
 P. O. BOX 9022
 TEMECULA, CALIFORNIA 92589
 P: 951.719.2600
 F: 951.296.2322

ARCHITECT

PROSS DESIGN GROUP
 ATTN: FRANK RICHARDSON
 5310 HARVEST HILL ROAD, SUITE 180
 DALLAS, TEXAS 75230
 P: 972.759.1400
 F: 972.759.1405

CIVIL ENGINEER

PACHECO KOCH
 ATTN: STEVEN HEILBRUN
 8350 NORTH CENTRAL EXPRESSWAY, SUITE 1000
 DALLAS, TEXAS 75206
 P: 972.235.3031

LANDSCAPE ARCHITECT

BELLA FIRMA
 ATTN: KORI HAUG
 4245 NORTH CENTRAL EXPRESSWAY, SUITE 230
 DALLAS, TEXAS 75205
 P: 214.865.7192

ELECTRICAL ENGINEER / CONTRACTOR

FOX ELECTRIC
 ATTN: MIKE SEEBOLD
 1104 COLORADO LANE
 ARLINGTON, TEXAS 76015
 P: 817.461.2571

GENERAL CONTRACTOR

BOB MOORE CONSTRUCTION
 ATTN: KYLE WHITESSELL
 1101 NORTH WATSON ROAD
 ARLINGTON, TEXAS 76011
 P: 817.640.1200

PROJECT DATA

SITE DATA

LAND AREA	825,439 SF / 18.95 AC
TOTAL IMPERVIOUS AREA (50.87%)	419,872 SF / 9.64 AC
TOTAL LANDSCAPED AREA (49.13%)	405,567 SF / 9.31 AC
BUILDING COVERAGE	27.37%

BUILDING DATA

FIRST FLOOR OFFICE/SUPPORT AREA	18,508 SF
MANUFACTURING AREA	93,758 SF
WAREHOUSE AREA	93,758 SF
SECOND FLOOR OFFICE/SUPPORT AREA	19,886 SF
TOTAL BUILDING AREA	225,910 SF

PARKING DATA

REQUIRED OFFICE AREA (1/300SF)	128 SPACES
REQUIRED MANUFACTURING AREA (1/500SF)	188 SPACES
REQUIRED WAREHOUSE AREA (1/1000SF)	94 SPACES
TOTAL PARKING REQUIRED	410 SPACES
TOTAL PARKING PROVIDED	278 SPACES

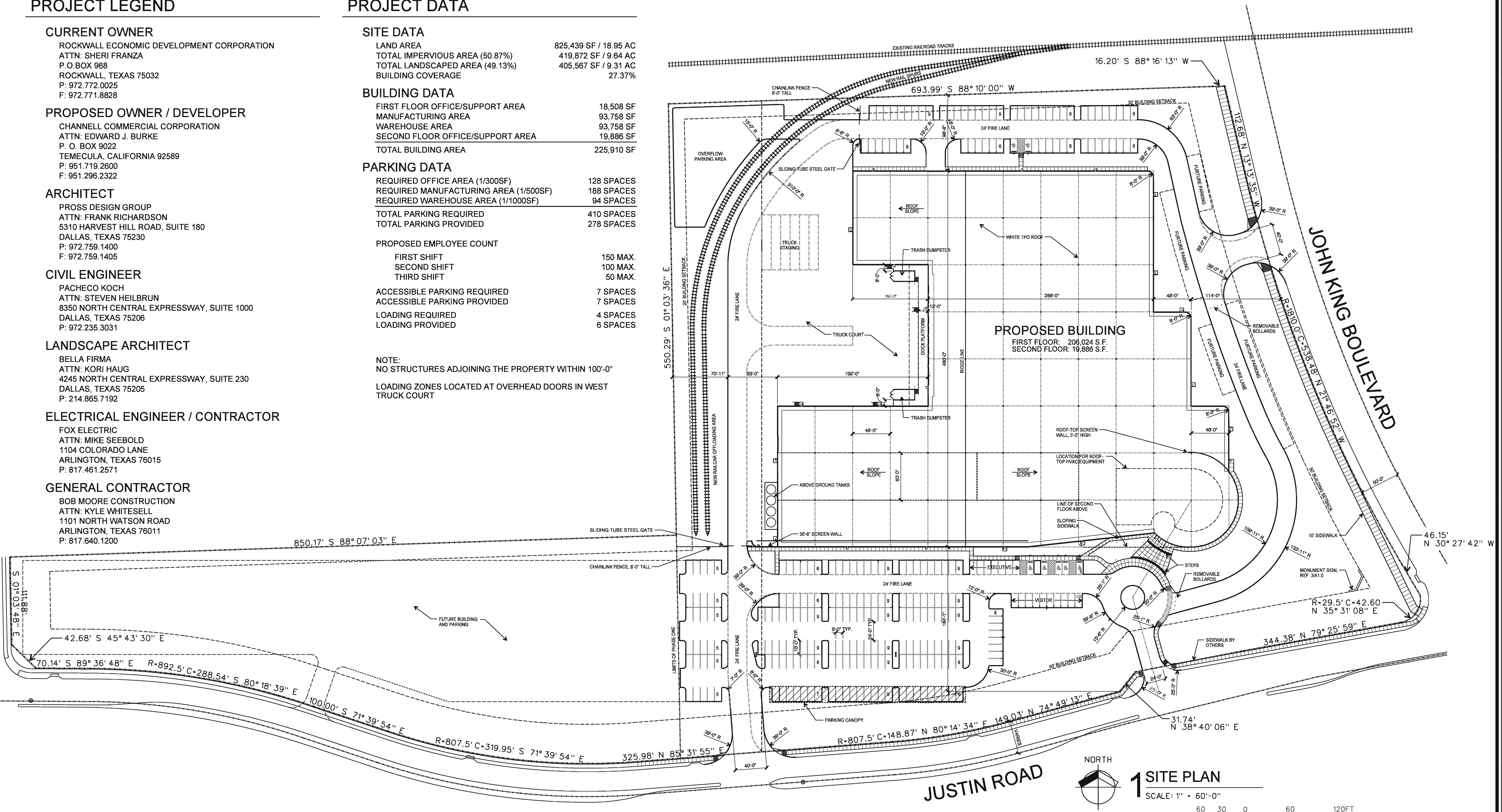
PROPOSED EMPLOYEE COUNT

FIRST SHIFT	150 MAX.
SECOND SHIFT	100 MAX.
THIRD SHIFT	50 MAX.

ACCESSIBLE PARKING REQUIRED	7 SPACES
ACCESSIBLE PARKING PROVIDED	7 SPACES
LOADING REQUIRED	4 SPACES
LOADING PROVIDED	6 SPACES

NOTE:
 NO STRUCTURES ADJOINING THE PROPERTY WITHIN 100'-0"

LOADING ZONES LOCATED AT OVERHEAD DOORS IN WEST TRUCK COURT



1 SITE PLAN

SCALE: 1" = 60'-0"



Drawn by: R. P. ...
 Checked by: MARK W. PROSS
 Date: 06/12/2014

BOB MOORE CONSTRUCTION, INC.
 1101 N. WATSON ROAD, ARLINGTON, TEXAS 76011
 WWW.GENERALCONTRACTOR.COM

PROSS DESIGN GROUP, INCORPORATED
 5310 Harvest Hill Road, Suite 180, Dallas, Texas 75230, 972/759-1400

PROJECT: JUSTIN ROAD AT JOHN KING BOULEVARD
 ROCKWALL, TEXAS

CHANNELL COMMERCIAL CORPORATION

job no 1423
 sheet A1.0
 CASE NUMBER: _____

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