

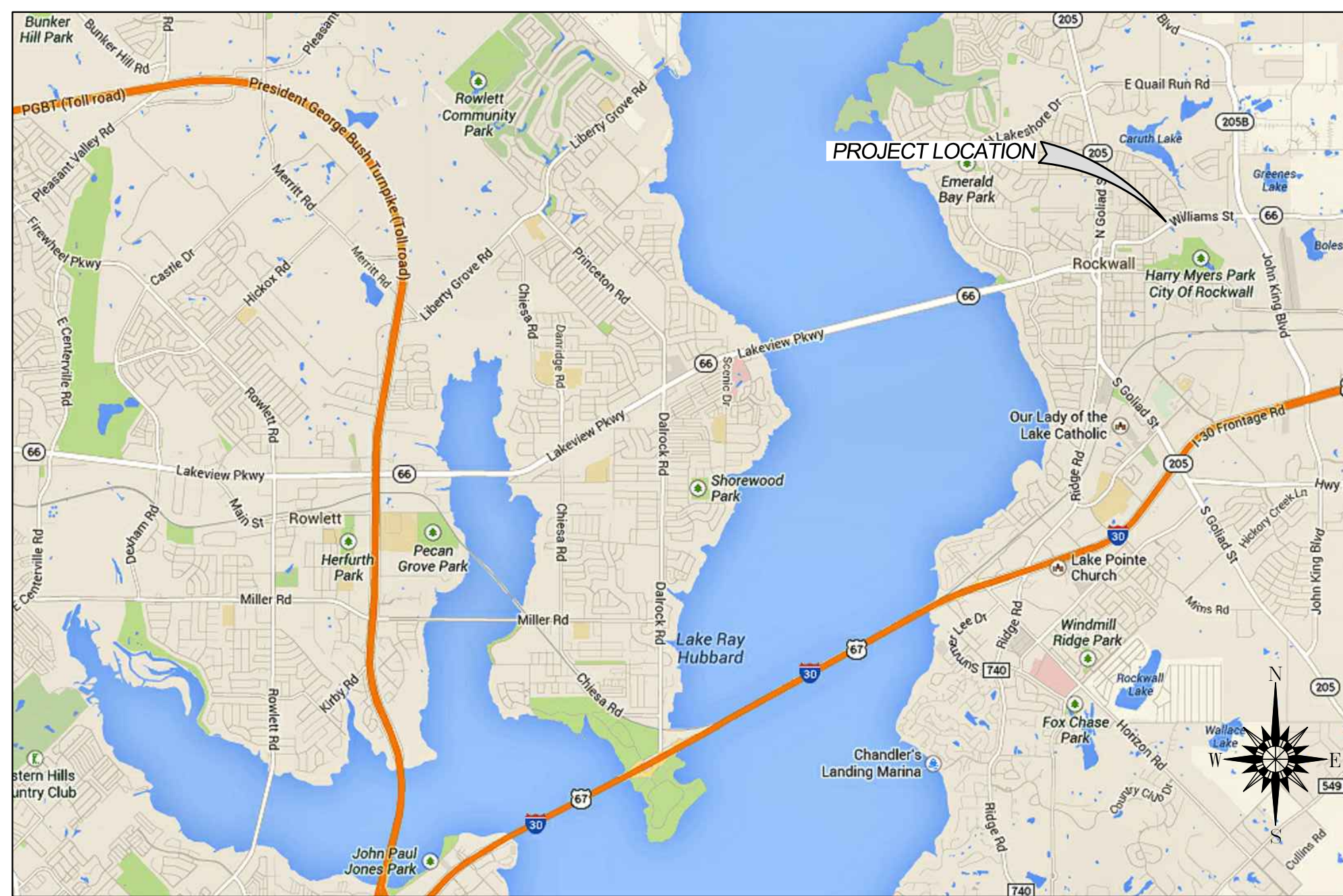
R FIFTY GREEN HOMES, LLC

505 Williams Street, Rockwall, Texas 75087

ROCKWALL SOLAR VILLAGE

937 WILLIAMS STREET
ROCKWALL TEXAS

KEY MAP
1"=1 MILE



May 2014

LIST OF DRAWINGS

- COVER SHEET
- 1 OVERALL SITE PLAN
- 2 DEMOLITION & EROSION CONTROL PLAN w/ DETAILS
- 3 GRADING AND PAVEMENT PLAN w/ DETAILS
- 4 SANITARY SEWER PLAN & PROFILE
- 5 WATER SYSTEM PLAN w/ DETAILS
- 6 STORM SEWER PLAN & PROFILE
- 7 MISCELLANEOUS DETAILS
- 8 DRAINAGE AREA MAP & CALCULATIONS

GENERAL NOTES

Construction shall comply with the adopted 3rd Edition of the North Central Texas Council of Governments (NCTCOG) Standard Specifications for Public Works Construction dated January 1998, or as amended by the City of Rockwall via Special Revisions, or as shown otherwise on the Drawings.

Site Preparation - The below noted site preparation items are to be in place, inspected and approved by the City, prior to the start of any clearing, grubbing or grading operations.

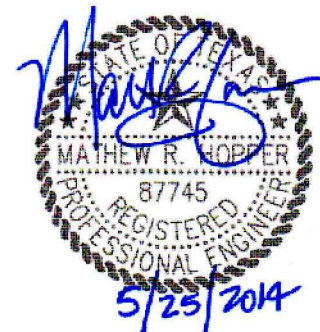
1. Protected trees which are designated to remain on site - are to be identified, tagged and banded with bright orange or red bands.
2. Protected trees which are designated to be removed from the site are to be identified tagged and banded with blue bands or blue paint markings.
3. Tree identification tags - are to consist of metal tags which have the tree identification number stenciled or stamped or engraved on the tag. The numbers used to identify the protected trees shall correspond to the tree identification number noted on the approved treescape plans.

4. Protected Tree - Barrier Fencing:
 - o Chain link barrier fencing - shall be placed around the drip lines of the individual protected trees or groups of protected trees, which are designated to remain at the site if they are located within 10-feet of any cut/fill grading location.
 - o Plastic mesh barrier fencing - shall be placed around the drip lines of individual protected trees or groups of protected trees, which are located over 10-feet or more outside a cut/fill grading location.
5. Silt fence along with construction entrance and any other designated erosion BMP's must be installed and inspected. No silt fencing may be installed at the site until the trees have been identified, banded, tagged, fenced and inspected by the City.
6. Portable toilet facilities must be on site and verified.
7. Trash receptacle must be on site and verified.
8. Construction Site Working Hours and Noise Control Signage - Sign installed at the site and verified.

City of Rockwall Project No. P2013-032
Civil 360 Project No. DEV003-13



8553 N Beach Street
Suite 186
Keller, Texas 76244
(214) 773-2966
Texas Registered Engineering Firm No. 15119

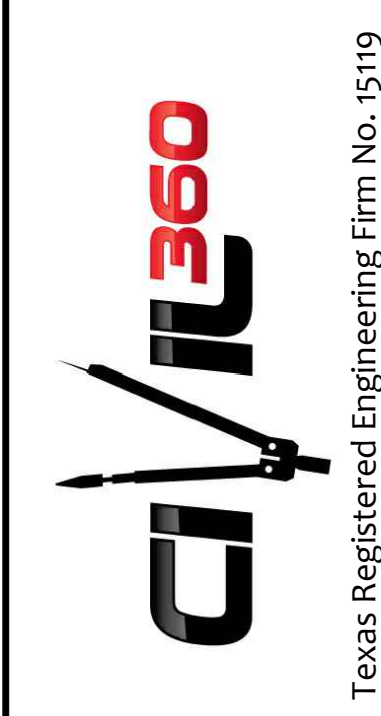




DATE:	MOY, 2014
DESIGNED BY:	MRH
DRAWN BY:	MRH
CHECKED BY:	MRH

NO.	DATE	BY	REVISION

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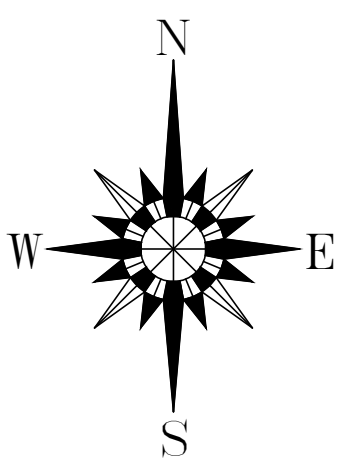
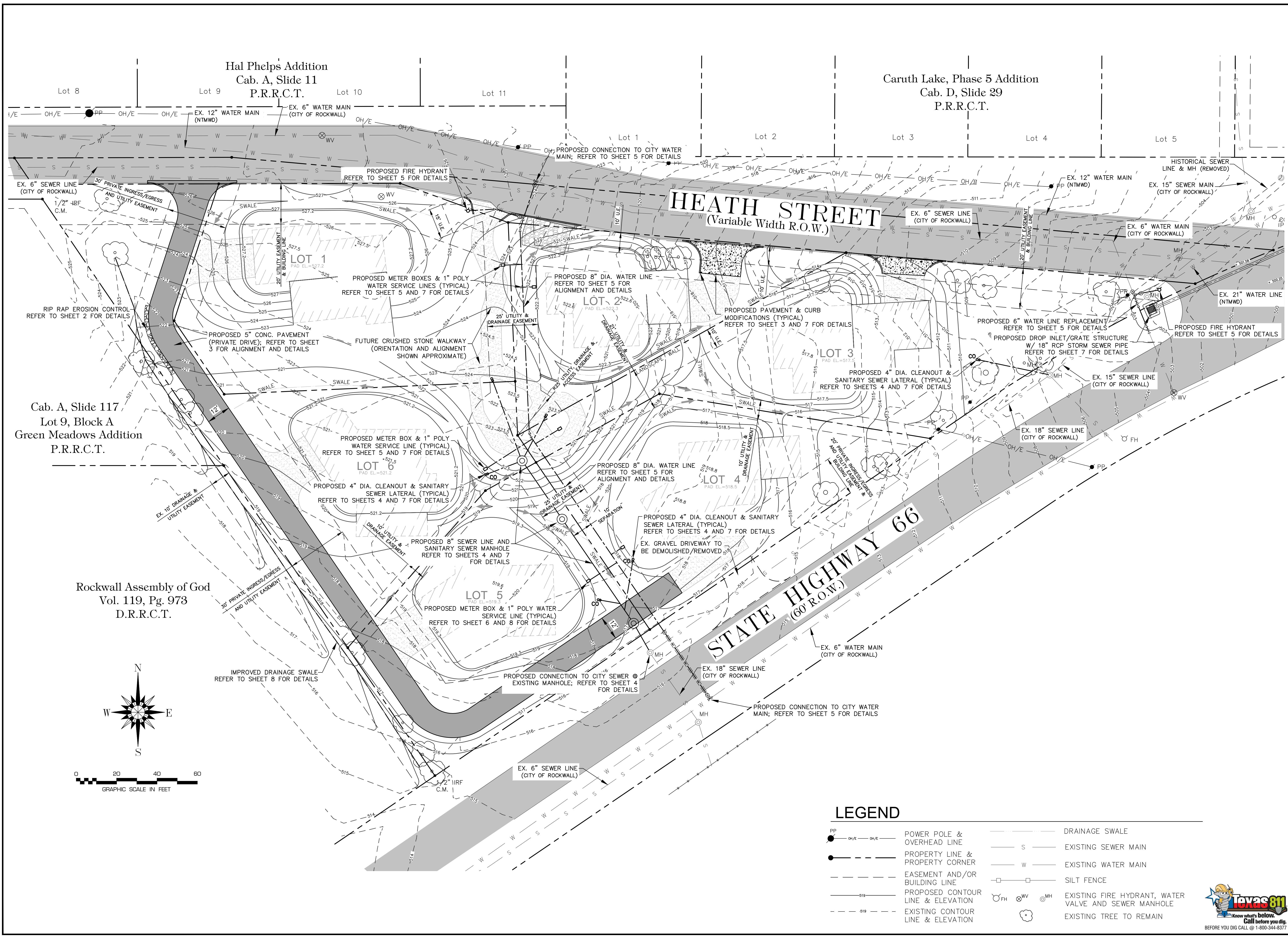


ROCKWALL SOLAR VILLAGE
for
R FIFTY GREEN HOMES, LLC

OVERALL SITE PLAN

PROJECT NO.
DEV003-13

DRAWING NO.
1 of 8

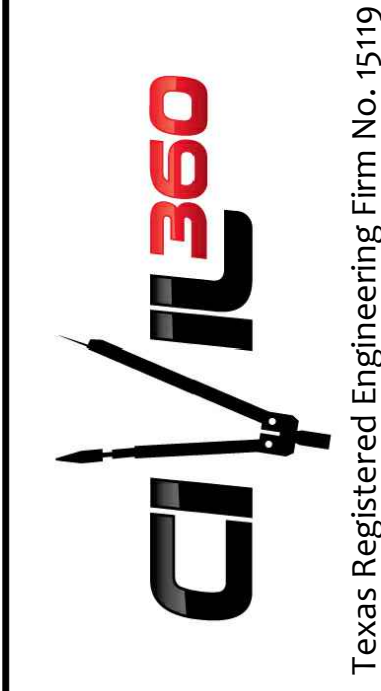




DATE: May, 2014
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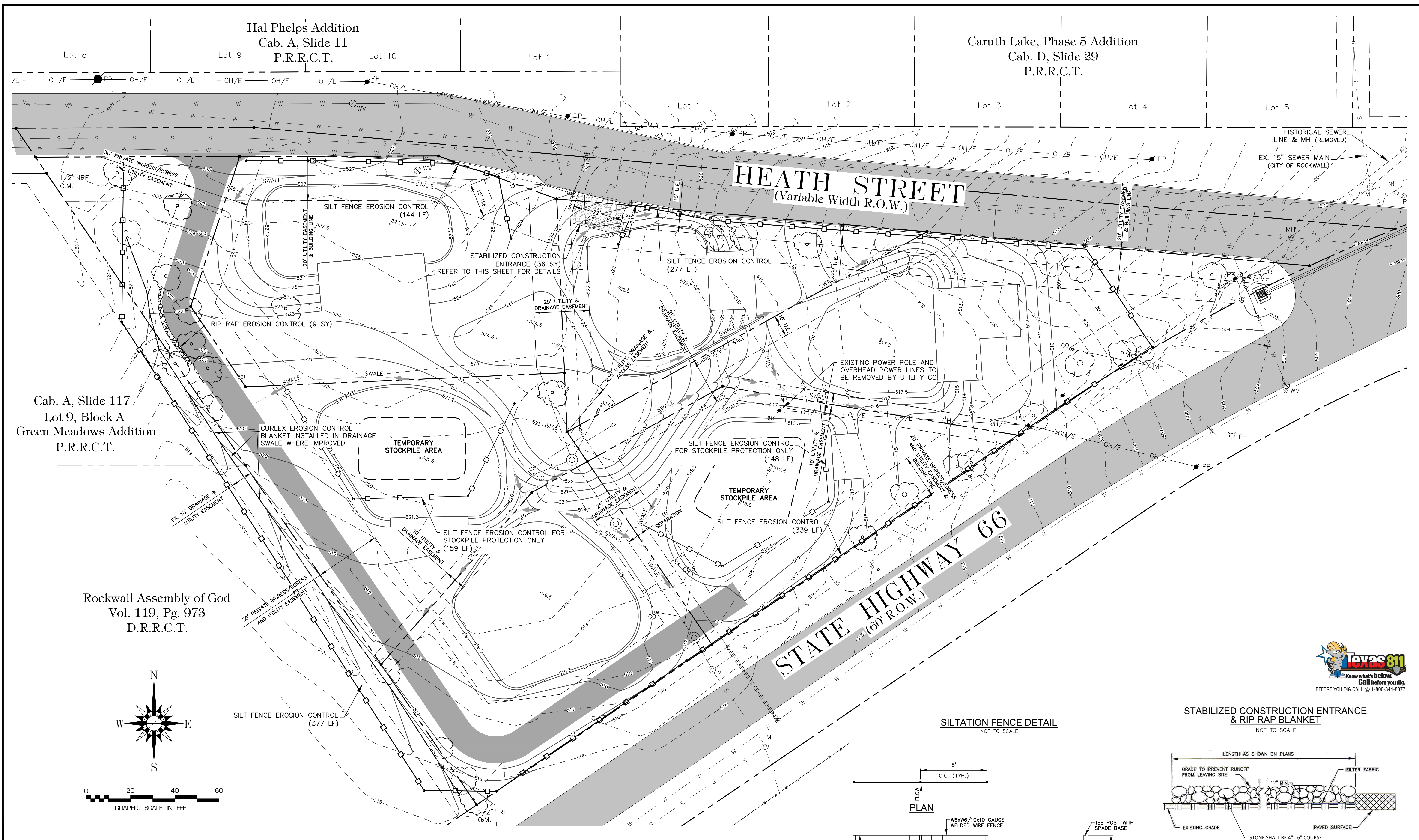
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 Keller, Texas 76244
 (214) 773-2966



ROCKWALL SOLAR VILLAGE
 for
 R FIFTY GREEN HOMES, LLC
**DEMOLITION & EROSION CONTROL
 PLAN w/ DETAILS**

PROJECT NO.
DEV003-13

DRAWING NO.
2 of 8



LEGEND

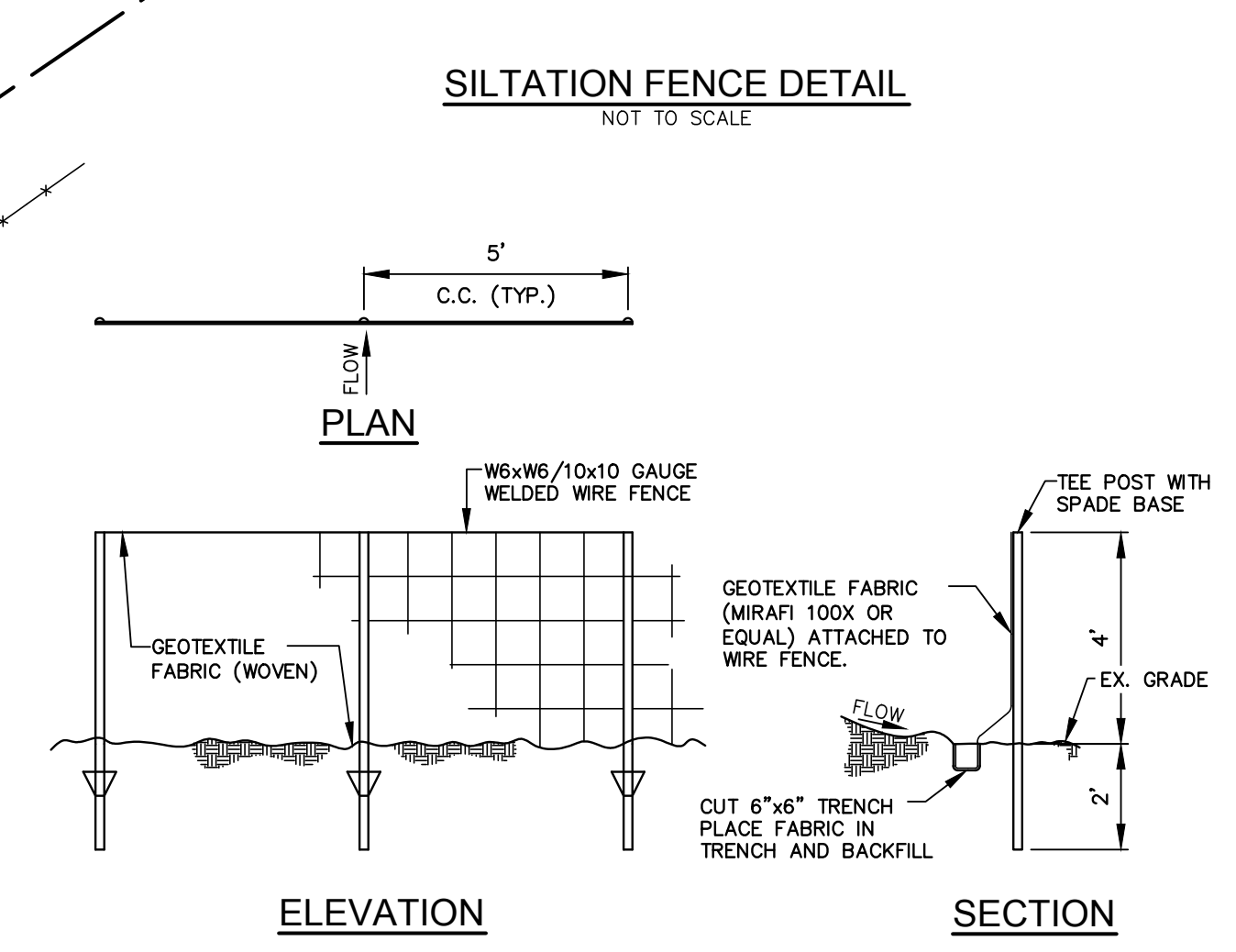
● OH/E	POWER POLE & OVERHEAD LINE	---	DRAINAGE SWALE
●	PROPERTY LINE & PROPERTY CORNER	---	EXISTING SEWER MAIN
---	EASEMENT AND/OR BUILDING LINE	---	EXISTING WATER MAIN
---	PROPOSED CONTOUR LINE & ELEVATION	---	SILT FENCE
---	EXISTING CONTOUR LINE & ELEVATION	○ FH	EXISTING FIRE HYDRANT, WATER VALVE AND SEWER MANHOLE
		○ WV	EXISTING TREE TO REMAIN
		○ MH	EXISTING TREE TO BE REMOVED

GENERAL NOTES - EROSION CONTROL

— STABILIZE WITH HYDROMULCH MIXTURE ALL AREAS OUTSIDE OF LEVEL BUILDING PAD CORRESPONDING TO THE FOLLOWING PLANTING SEASONS.

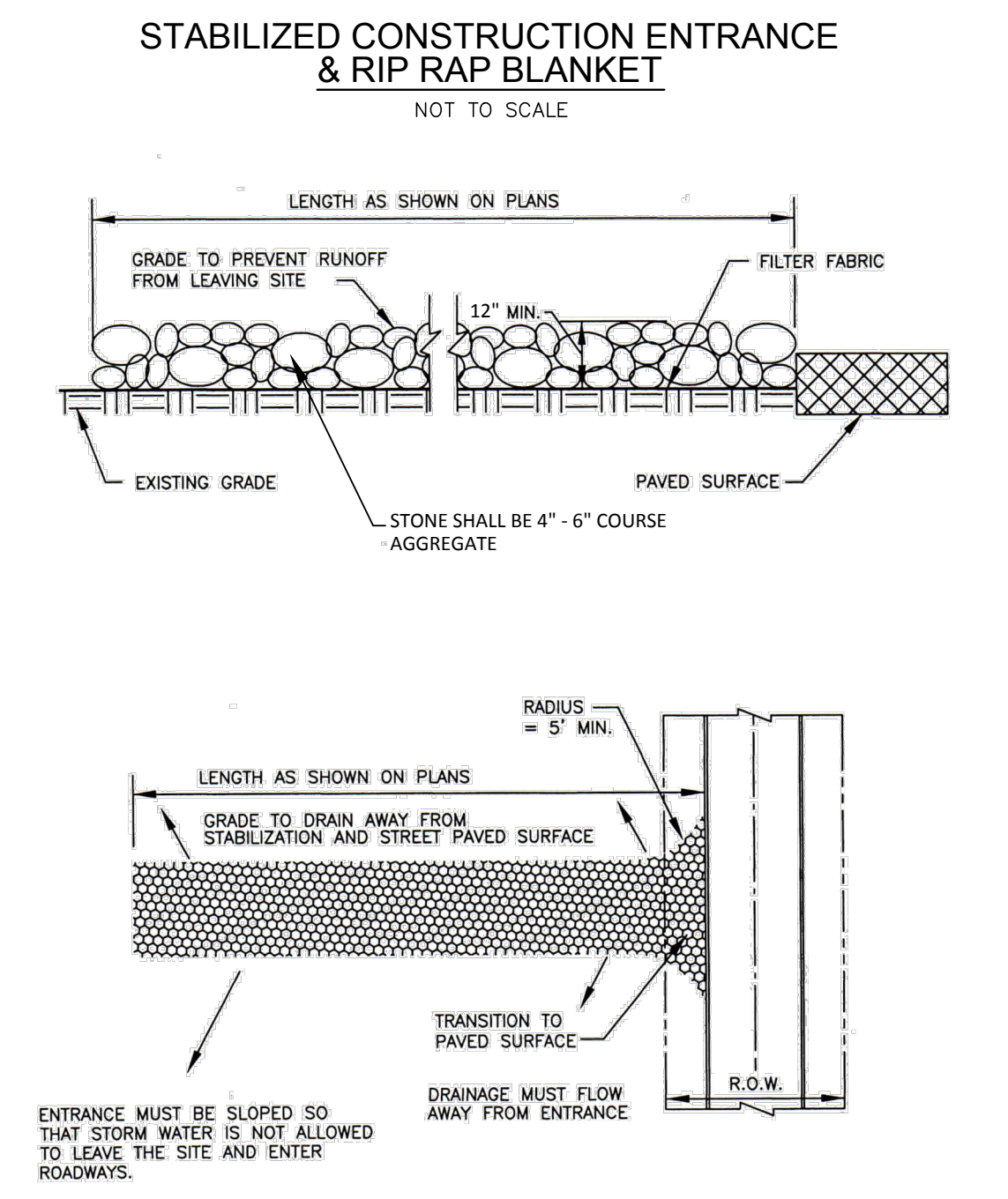
TYPE I: **BERMUDA GRASS, HULLED** 50 LBS/ACRE, APRIL THRU JUNE
 TYPE II: **ANNUAL RYE GRASS** — 40 LBS/ACRE, SEPTEMBER THRU MARCH
 TYPE III: **BERMUDA GRASS, UNHULLED** — 50 LBS/ACRE, JANUARY THRU MARCH/JULY THRU AUGUST

— REFER TO SPECIFICATIONS FOR ADDITIONAL SEEDING/HYDROMULCHING REQUIREMENTS



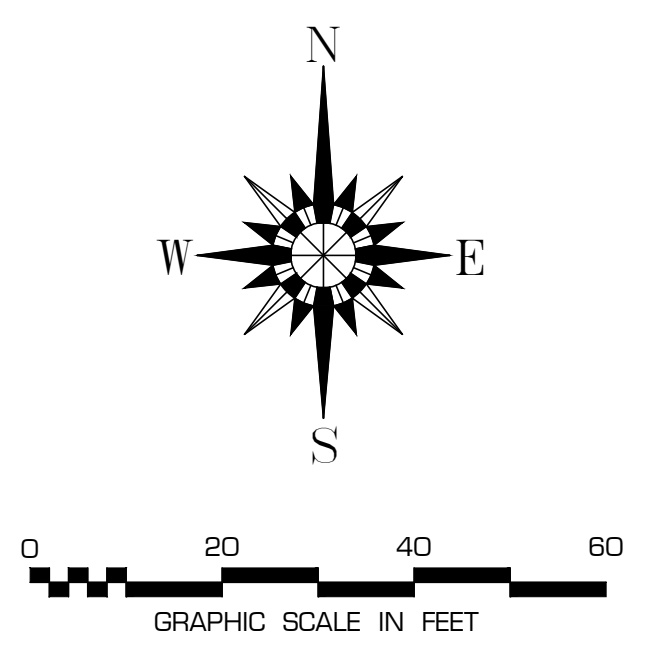
SILTATION FENCE NOTES:

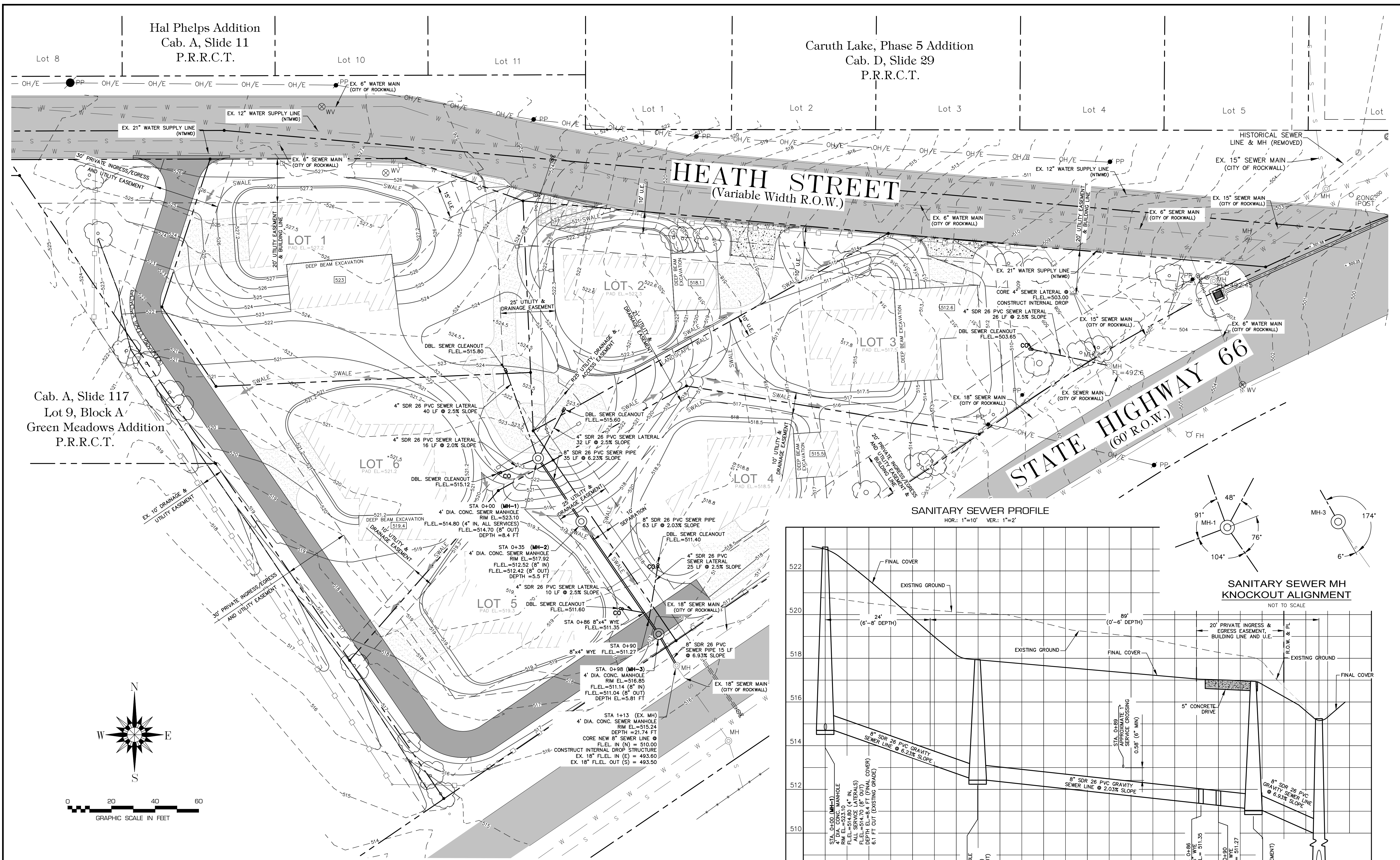
- ADDITIONAL SILTATION CONTROL MAY BE REQUIRED AS DIRECTED BY THE ENGINEER.
- SILTATION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL ADEQUATE VEGETATIVE GROWTH ENSURES NO FURTHER EROSION OF THE SOIL.
- SILTATION FENCES SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND FOR THE AMOUNT OF SEDIMENTATION WHICH HAS ACCUMULATED. REMOVAL OF SEDIMENT WILL BE REQUIRED WHEN IT REACHES ONE HALF (1/2) THE HEIGHT OF THE SILTATION FENCE.
- ATTACHMENT OF WELDED WIRE FENCE AND GEOTEXTILE FABRIC SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.



ENTRANCE MUST BE SLOPED SO THAT STORM WATER IS NOT ALLOWED TO LEAVE THE SITE AND ENTER ROADWAYS.

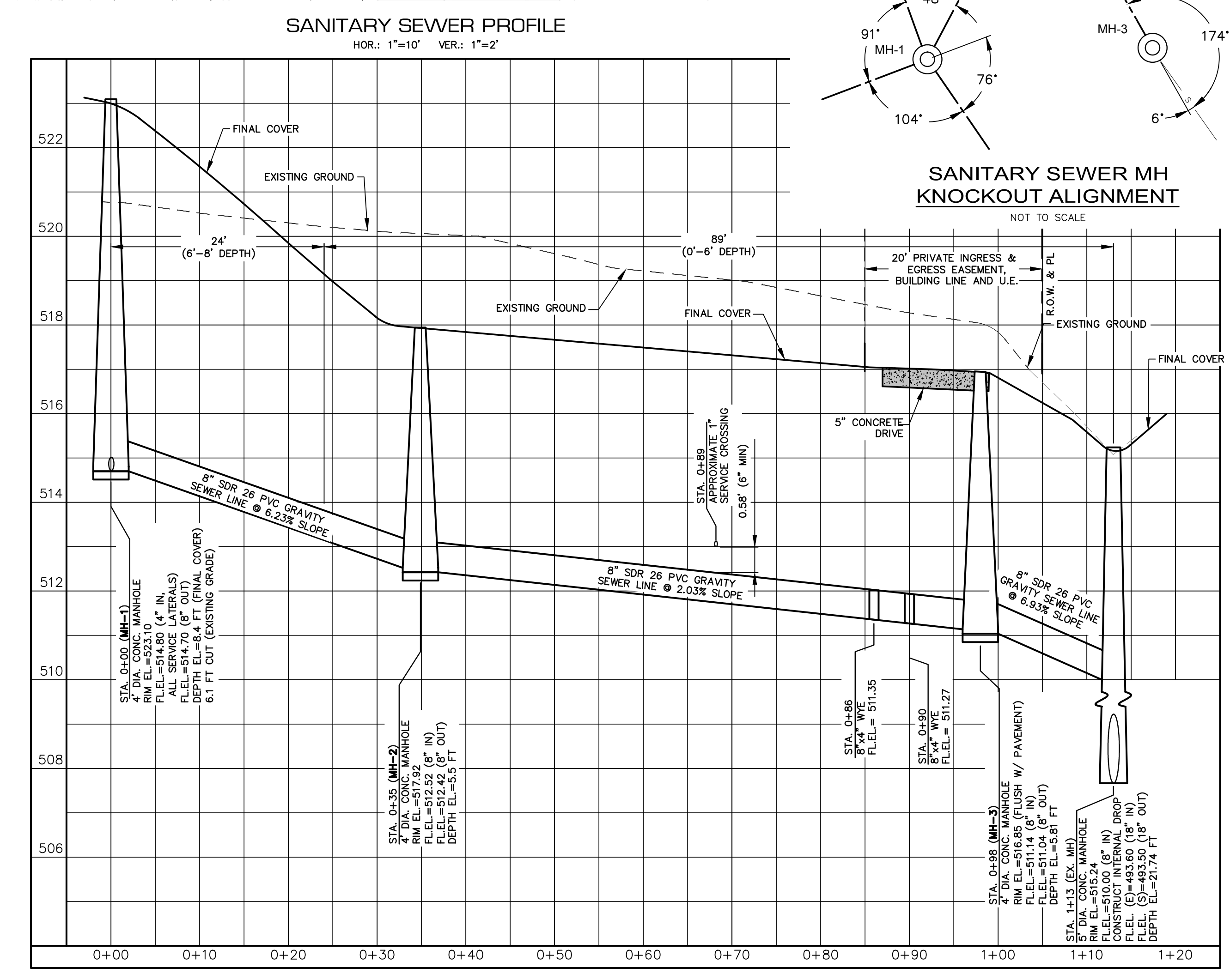
DRAINAGE MUST FLOW AWAY FROM ENTRANCE





GENERAL NOTES - SEWER

- SANITARY SEWER LINES SHALL HAVE GREEN EMS LOCATOR PADS AT EVERY MANHOLE, CLEANOUT AND SERVICE
- SEE SHEET 8 FOR MANHOLE DETAILS; ALL LIDS SHALL BE BOLT-DOWN AND GASKETED
- NO TREES SHALL BE PLANTED WITHIN 5' OF ANY PUBLIC UTILITIES
- RAVON EPOXY COATING, OR EQUAL, SHALL BE INSTALLED IN ALL NEW MANHOLES AND IN EXISTING MANHOLES BEING MODIFIED.



Rockwall Solar Village
for **Fifty Green Homes, LLC**

SANITARY SEWER PLAN & PROFILE

PROJECT NO. **DEV003-13**

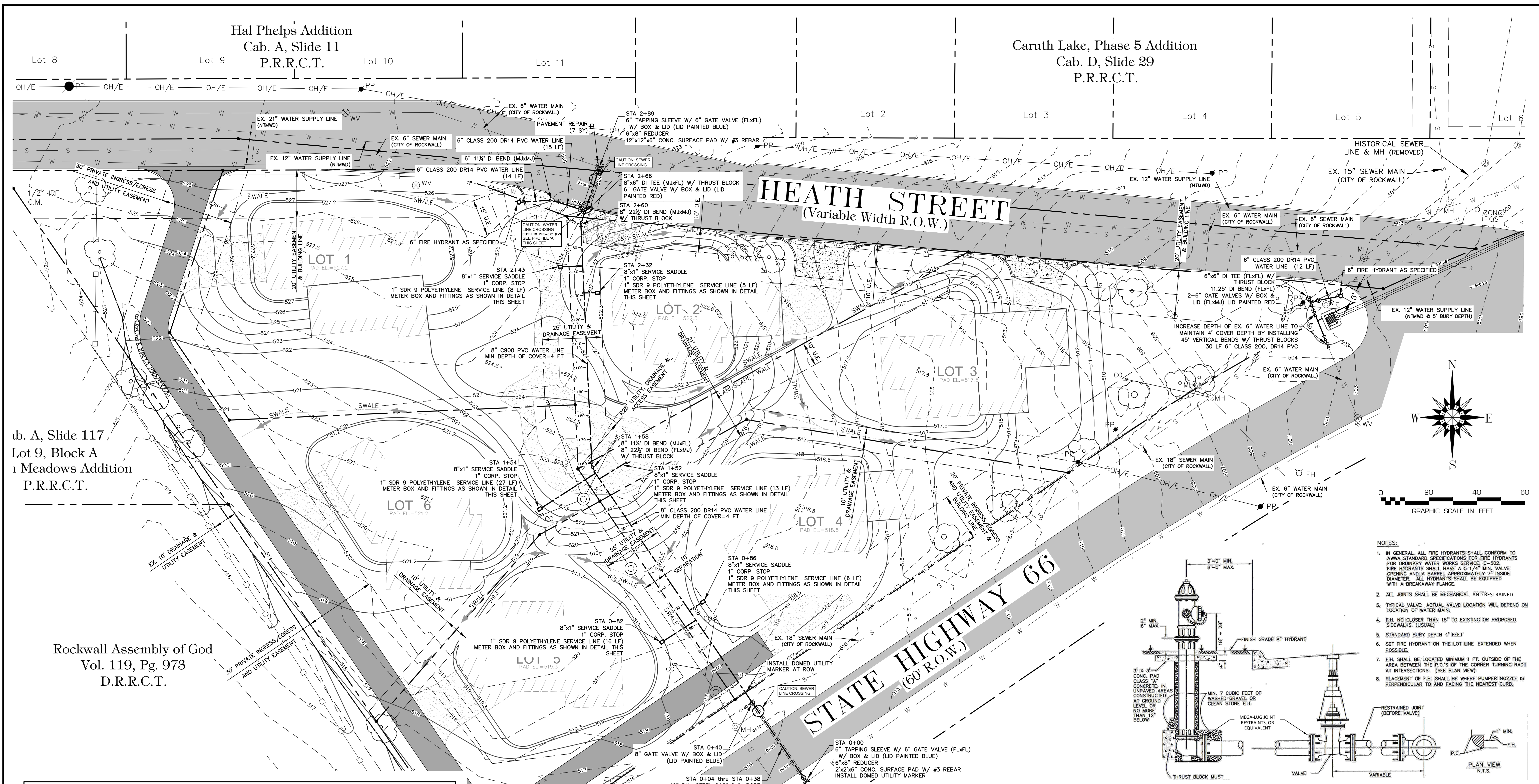
DRAWING NO. **4 of 8**

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Texas Registered Engineering Firm No. 15119

360

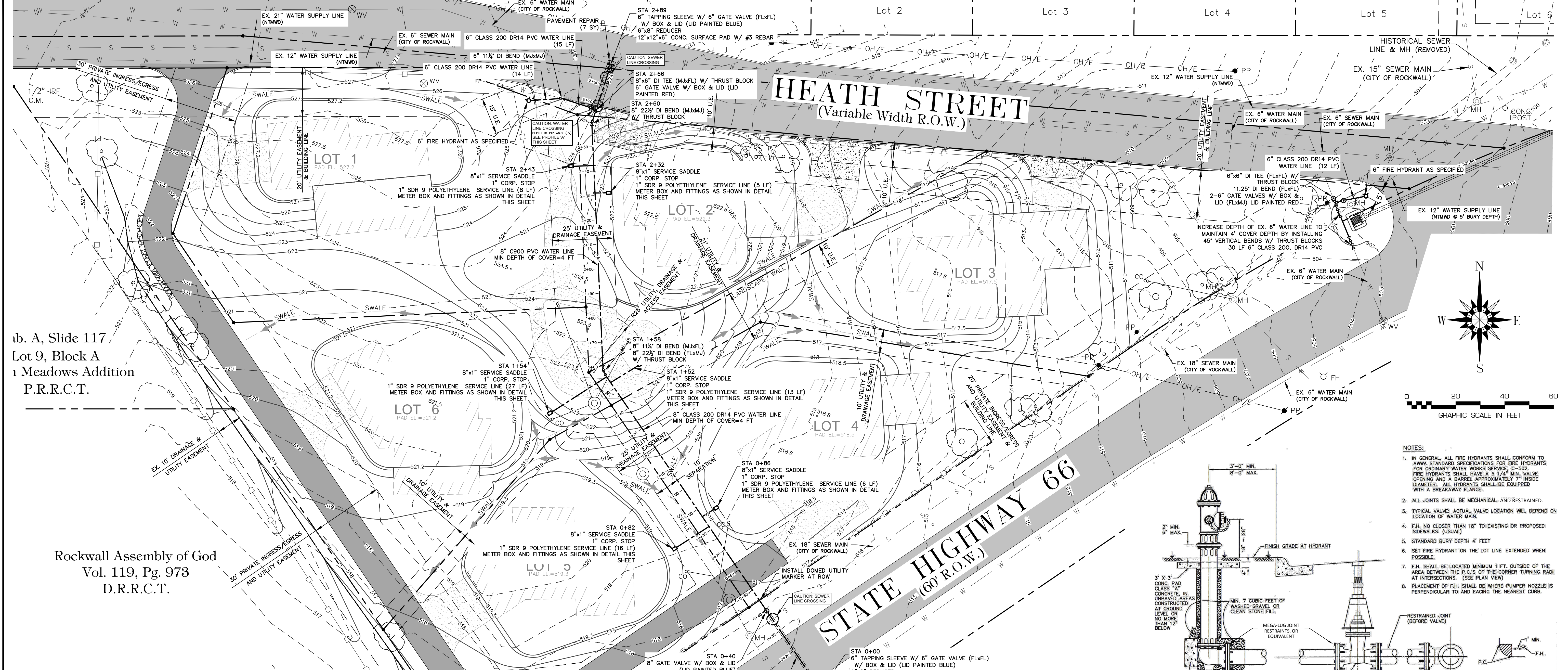
DATE: May, 2014
DESIGNED BY: MRH
DRAWN BY: MRH
CHECKED BY: MRH



Hal Phelps Addition
Cab. A, Slide 11
P.R.R.C.T.

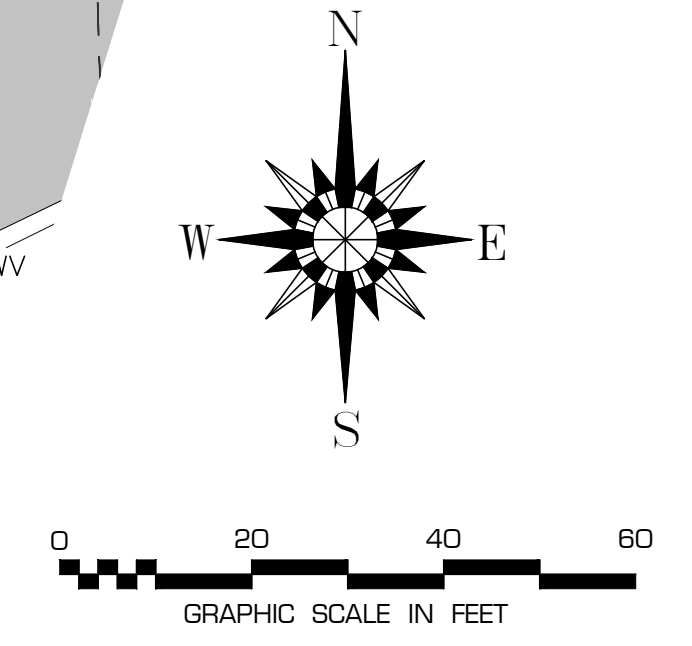
Caruth Lake, Phase 5 Addition
Cab. D, Slide 29
P.R.R.C.T.

Lot 8 Lot 9 Lot 10 Lot 11 Lot 2 Lot 3 Lot 4 Lot 5 Lot 6



ib. A, Slide 117
Lot 9, Block A
1 Meadows Addition
P.R.R.C.T.

Rockwall Assembly of God
Vol. 119, Pg. 973
D.R.R.C.T.



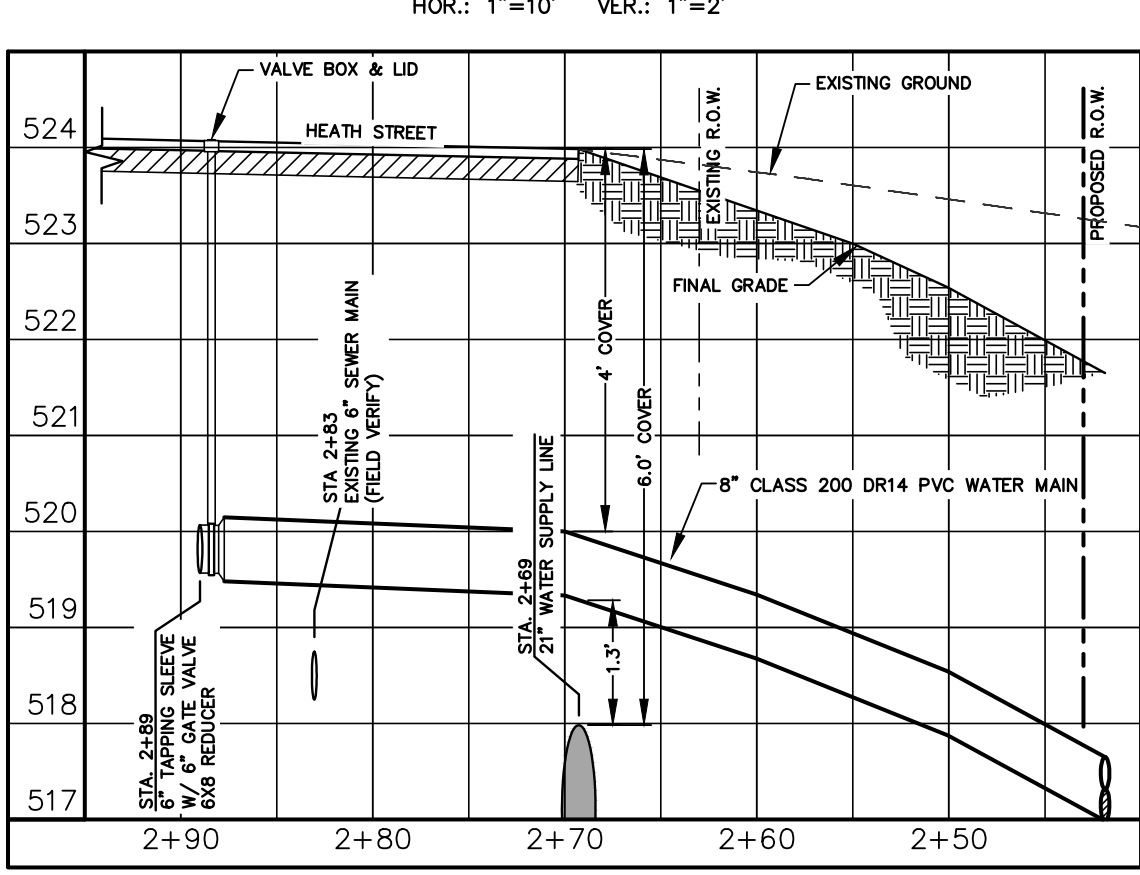
GENERAL NOTES - WATER

- ALL WATER LINES SHALL HAVE BLUE EMS LOCATOR PADS AT EVERY 250', CHANGE IN DIRECTION, FITTING, AND SERVICE SADDLE
- NO TREES SHALL BE PLANTED WITHIN 5' OF ANY PUBLIC UTILITIES
- VALVE EXTENSIONS SHALL BE STAINLESS STEEL
- WATER LINE SHALL BE CLASS 200, DR 14

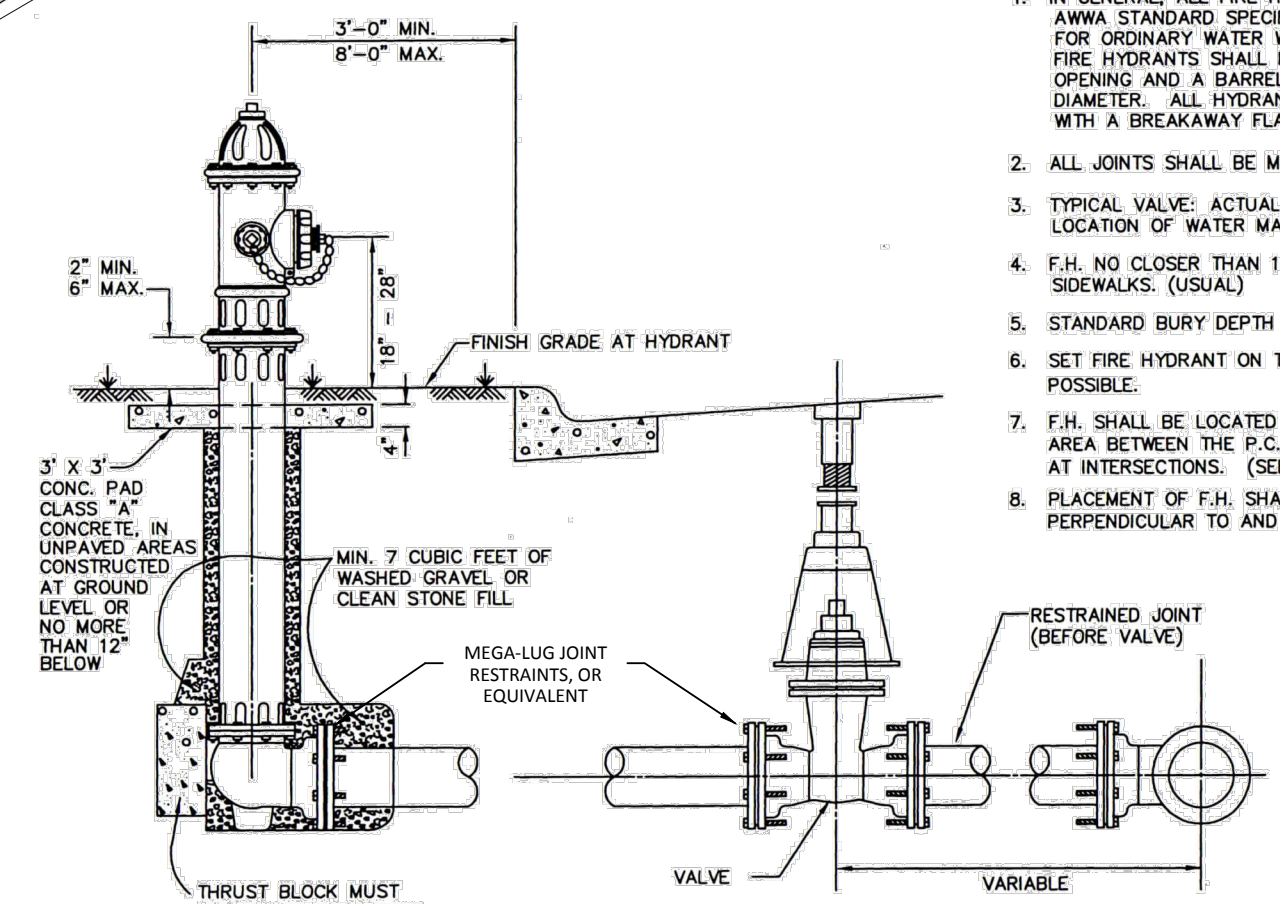
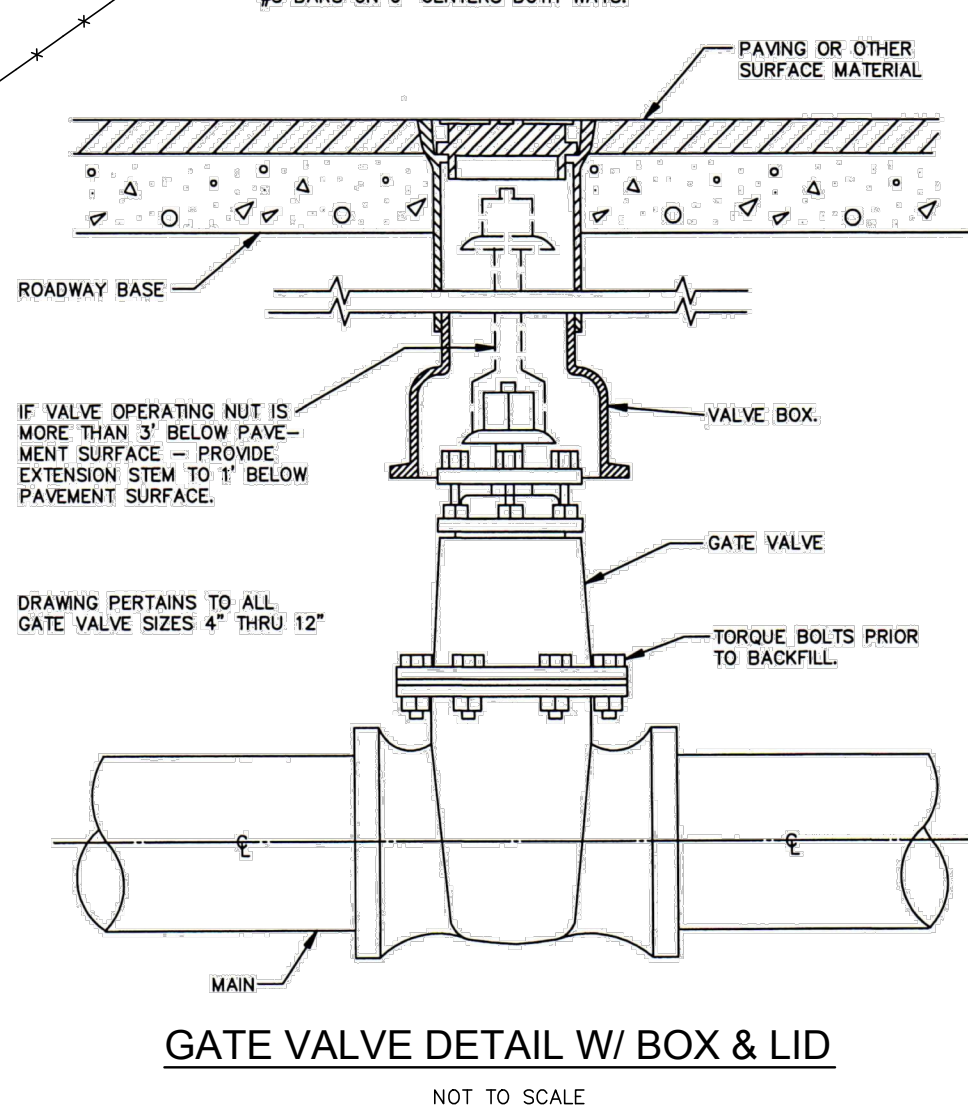
LEGEND

PP	POWER POLE & OVERHEAD LINE	—	DRAINAGE SWALE
OH/E	PROPERTY LINE & PROPERTY CORNER	S	EXISTING SEWER MAIN
—	EASEMENT AND/OR BUILDING LINE	W	EXISTING WATER MAIN
—	PROPOSED CONTOUR LINE & ELEVATION	—	SILT FENCE
—	EXISTING CONTOUR LINE & ELEVATION	FH	EXISTING FIRE HYDRANT, WATER VALVE AND SEWER MANHOLE
		MH	EXISTING TREE TO REMAIN

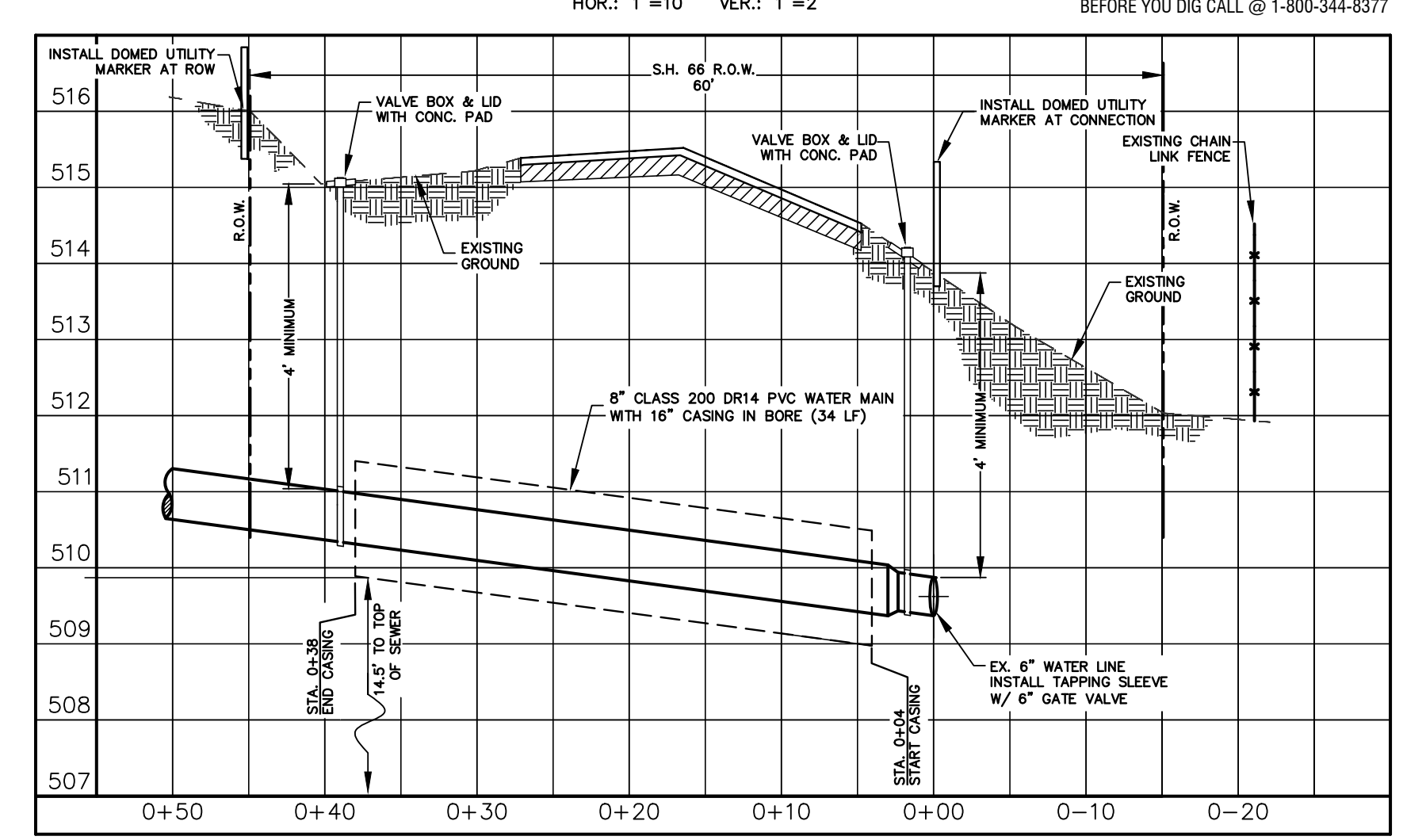
PROFILE 'A' - NTMWD 21" W.L. CROSSING
HOR.: 1"=10' VER.: 1"=2'



NOTE:
IN UNPAVED AREAS, INSTALL 2' x 2' x 6" CONCRETE VALVE PAD FLUSH WITH THE TOP OF VALVE BOX. REINFORCE WITH #3 BARS ON 6" CENTERS BOTH WAYS.



PROFILE 'B' - HWY 66 CROSSING
HOR.: 1"=10' VER.: 1"=2'



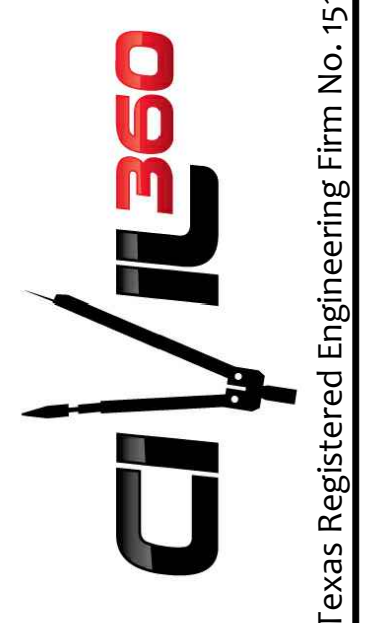
- NOTES:**
- IN GENERAL, ALL FIRE HYDRANTS SHALL CONFORM TO AWWA STANDARD SPECIFICATIONS FOR FIRE HYDRANTS FOR ORDINARY WATER WORKS SERVICE, C-502. FIRE HYDRANTS SHALL HAVE A 5 1/4" MIN. VALVE OPENING AND A BARREL APPROXIMATELY 7" INSIDE DIAMETER. ALL HYDRANTS SHALL BE EQUIPPED WITH A BREAKAWAY FLANGE.
 - ALL JOINTS SHALL BE MECHANICAL AND RESTRAINED.
 - TYPICAL VALVE: ACTUAL VALVE LOCATION WILL DEPEND ON LOCATION OF WATER MAIN.
 - F.H. NO CLOSER THAN 18" TO EXISTING OR PROPOSED SIDEWALKS (USUAL).
 - STANDARD BURY DEPTH 4' FEET.
 - SET FIRE HYDRANT ON THE LOT LINE EXTENDED WHEN POSSIBLE.
 - F.H. SHALL BE LOCATED MINIMUM 1 FT. OUTSIDE OF THE AREA BETWEEN THE P.C.'S OF THE CORNER TURNING RADII AT INTERSECTIONS. (SEE PLAN VIEW).
 - PLACEMENT OF F.H. SHALL BE WHERE PUMPER NOZZLE IS PERPENDICULAR TO AND FACING THE NEAREST CURB.



DATE:	MoY, 2014
DESIGNED BY:	MRH
DRAWN BY:	MRH
CHECKED BY:	MRH

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ROCKWALL SOLAR VILLAGE
for FIFTY GREEN HOMES, LLC
WATER LAYOUT & DETAILS

PROJECT NO.
DEV003-13

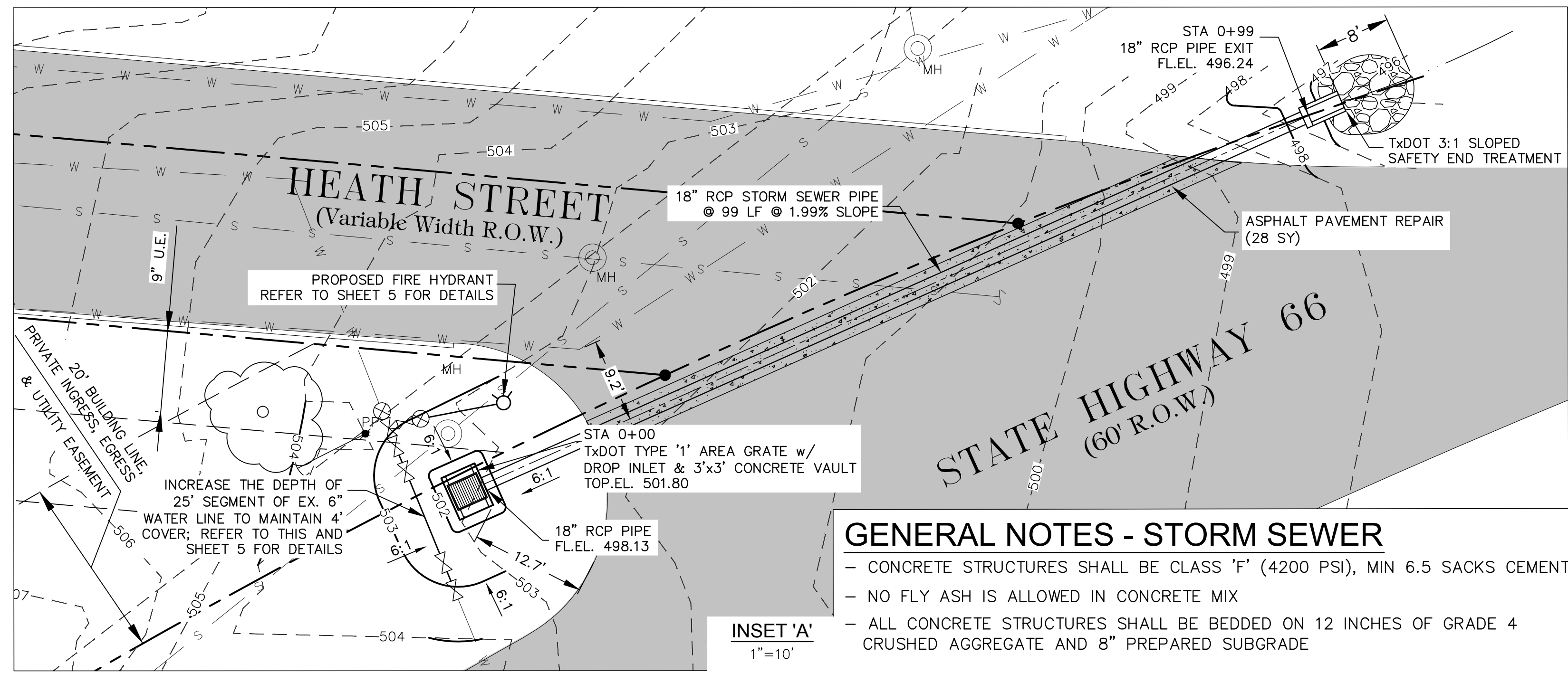
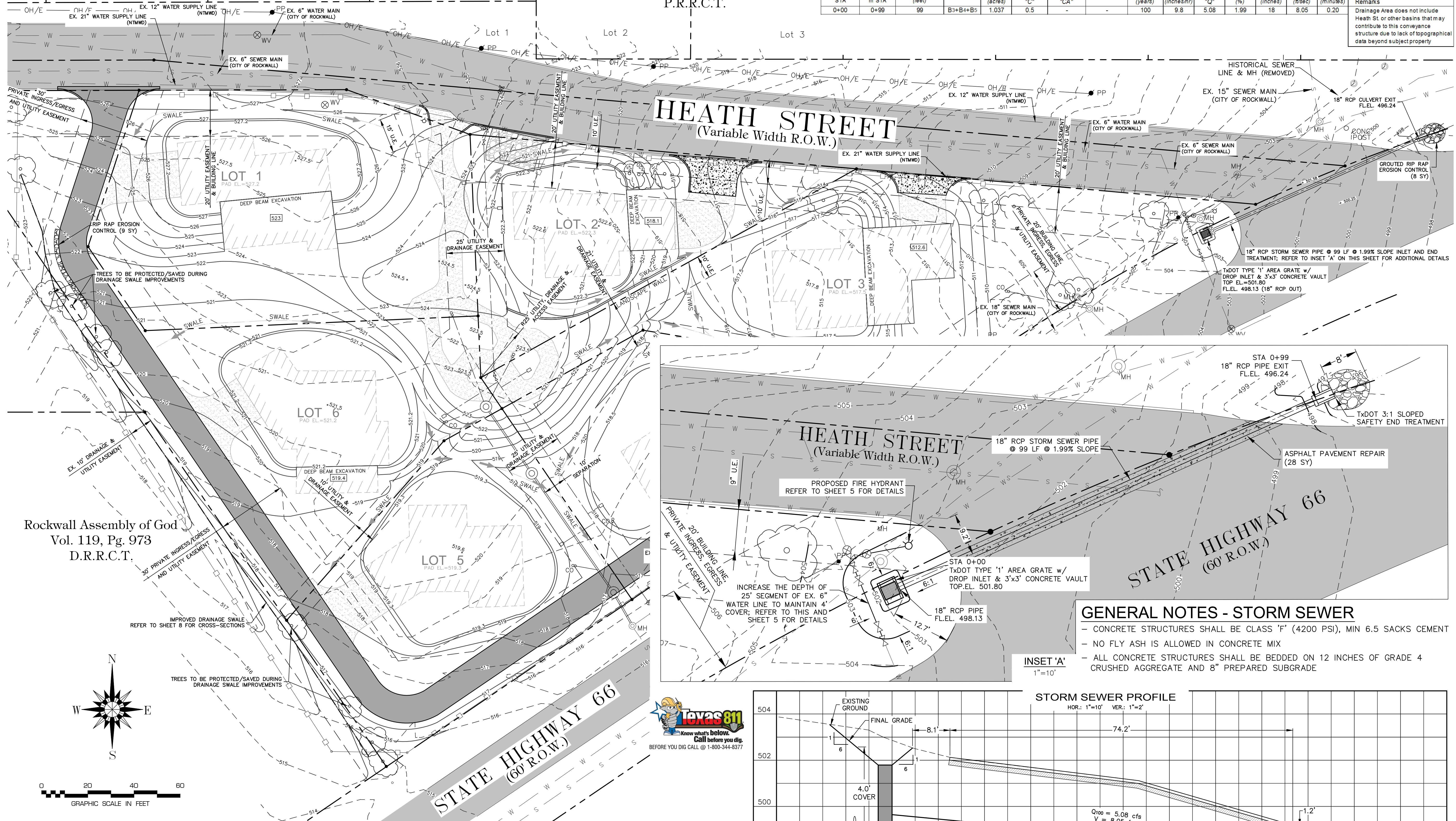
DRAWING NO.
5 of 8

Hal Phelps Addition
Cab. A, Slide 11
P.R.R.C.T.

Caruth Lake, Phase 5 Addition
Cab. D, Slide 29
P.R.R.C.T.

STORM SEWER CALCULATIONS

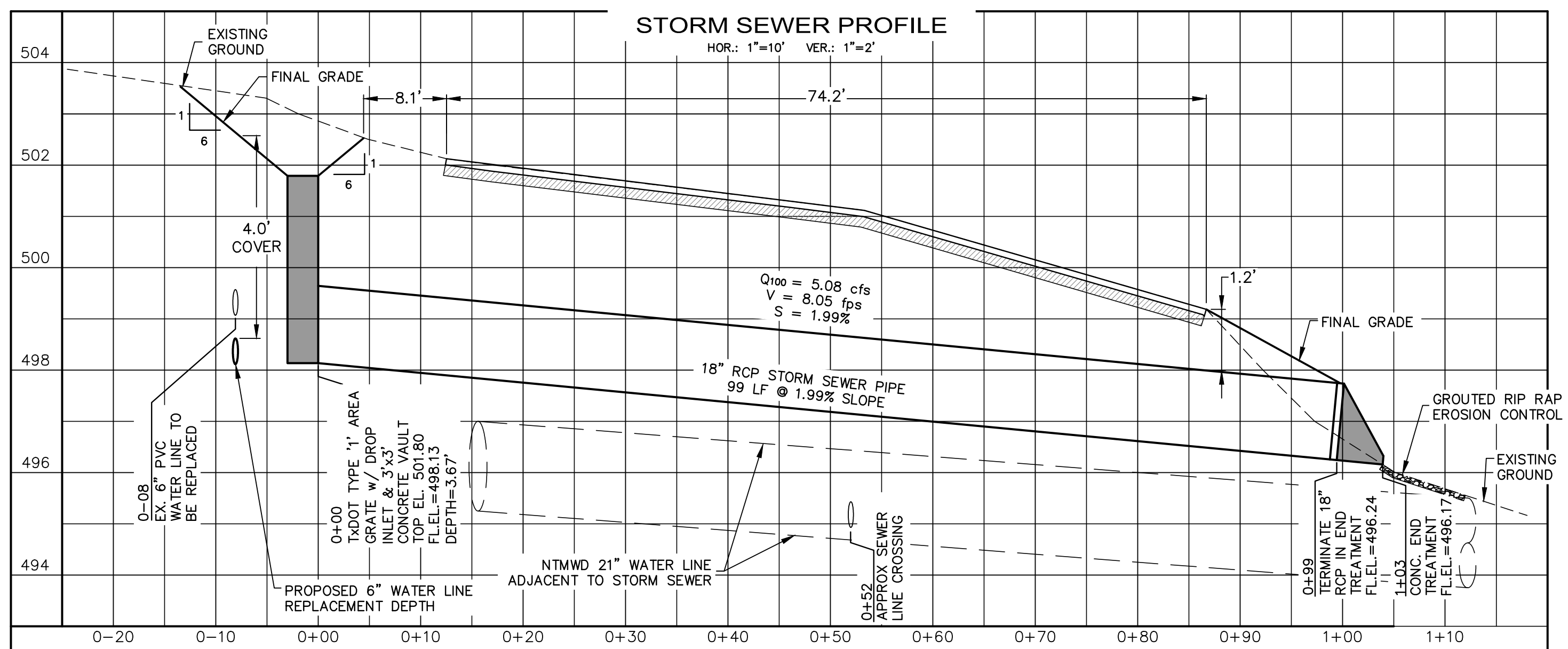
RUNOFF COLLECTION POINT Inlet or MH		Distance Between Collection Points (feet)	INCREMENTAL DRAINAGE AREA			Accumulated CA	Design Storm Frequency (years)	Intensity (Inches/hr)	Runoff "Q" (%)	Slope (%)	Storm Sewer Pipe Size (Inches)	Velocity (ft/sec)	Flow Time in Pipe (minutes)	Remarks
Upstream STA	Downstream m STA		Area No.	Drainage Area (acres)	Runoff Coefficient "C"									
0+00	0+99	99	B3+B4+B5	1.037	0.5	-	100	9.8	5.08	1.99	18	8.05	0.20	Drainage Area does not include Heath St or other basins that may contribute to this conveyance structure due to lack of topographical data beyond subject property



GENERAL NOTES - STORM SEWER

- CONCRETE STRUCTURES SHALL BE CLASS 'F' (4200 PSI), MIN 6.5 SACKS CEMENT
- NO FLY ASH IS ALLOWED IN CONCRETE MIX
- ALL CONCRETE STRUCTURES SHALL BE BEDDED ON 12 INCHES OF GRADE 4 CRUSHED AGGREGATE AND 8" PREPARED SUBGRADE

INSET 'A'
1"=10'



LEGEND

- PP POWER POLE & OVERHEAD LINE
- OH/E OVERHEAD LINE
- PROPERTY LINE & PROPERTY CORNER
- - - EASEMENT AND/OR BUILDING LINE
- - - PROPOSED CONTOUR LINE & ELEVATION
- - - EXISTING CONTOUR LINE & ELEVATION
- S DRAINAGE SWALE
- S EXISTING SEWER MAIN
- W EXISTING WATER MAIN
- SILT FENCE
- FH EXISTING FIRE HYDRANT
- WV WATER VALVE
- MH WATER AND SEWER MANHOLE
- EXISTING TREE TO REMAIN



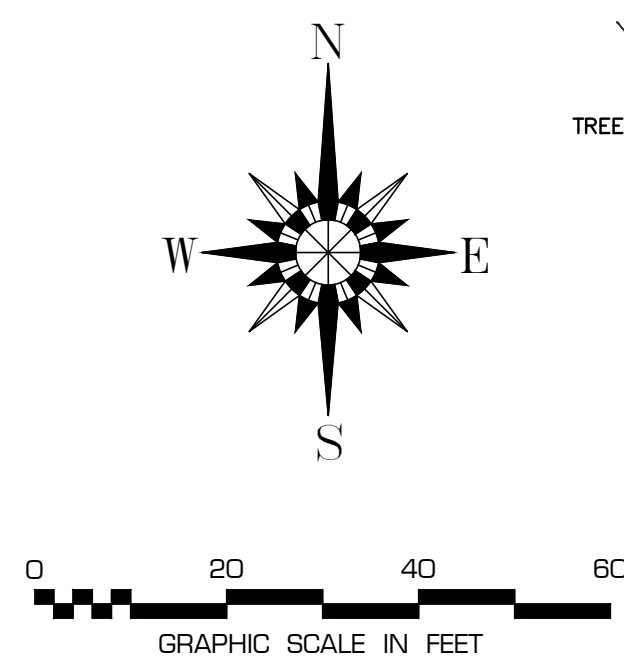
DATE: May, 2014
DESIGNED BY: MRH
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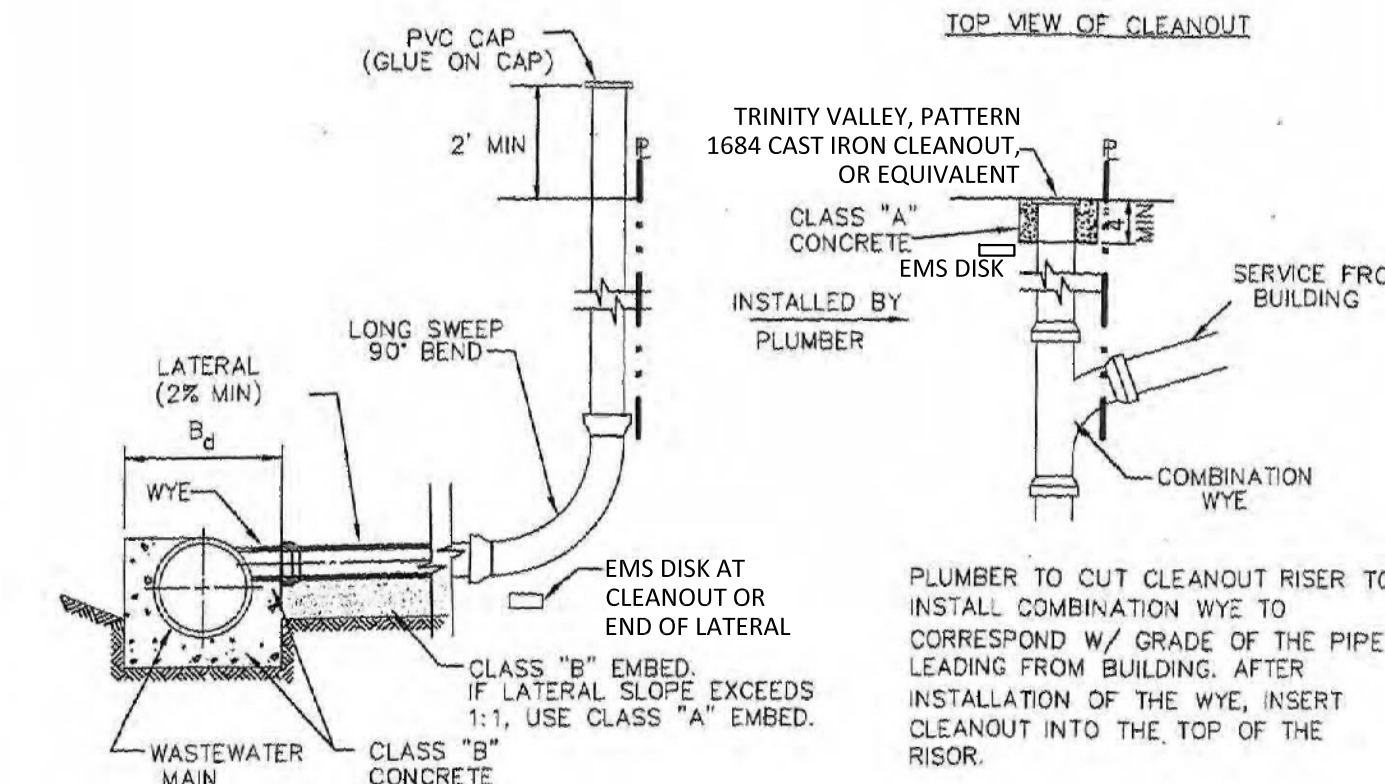
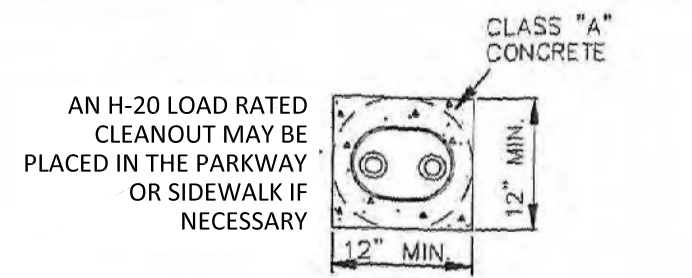
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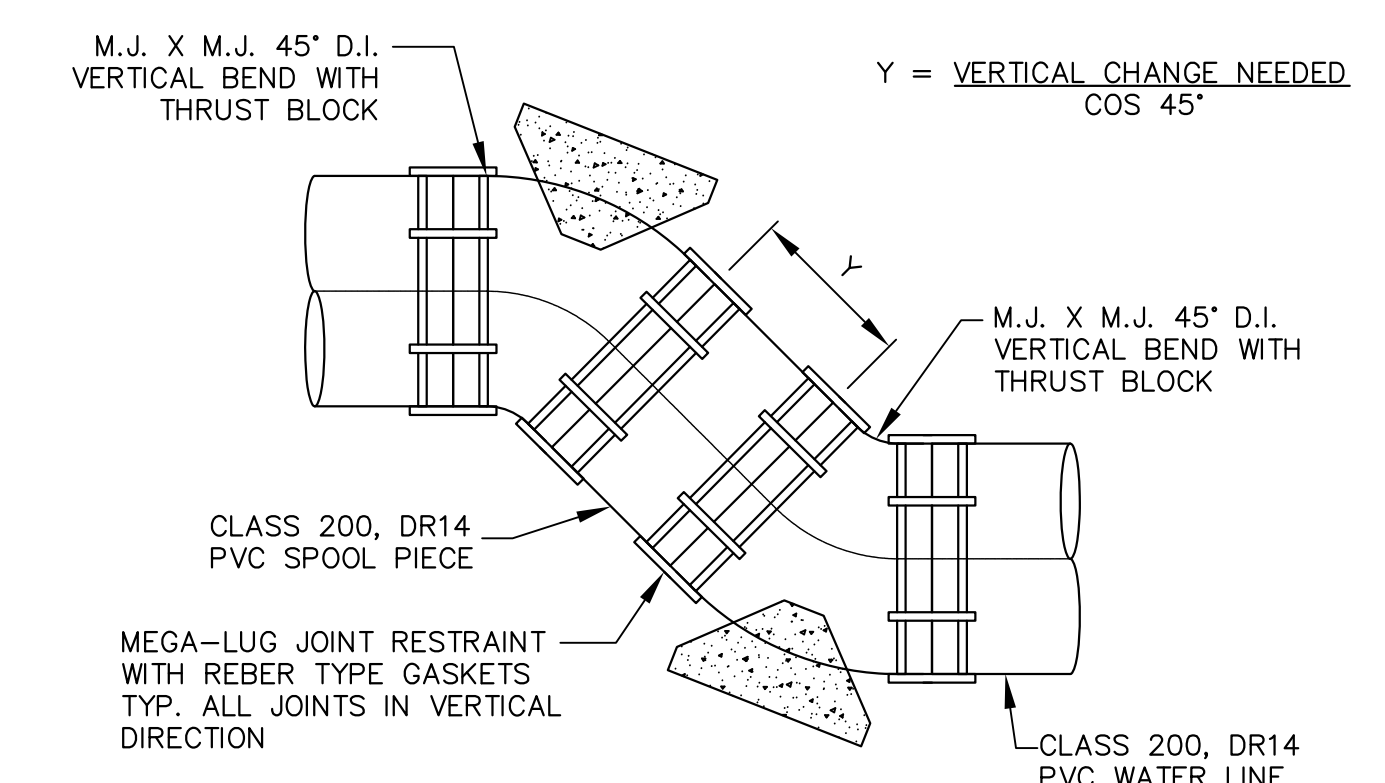
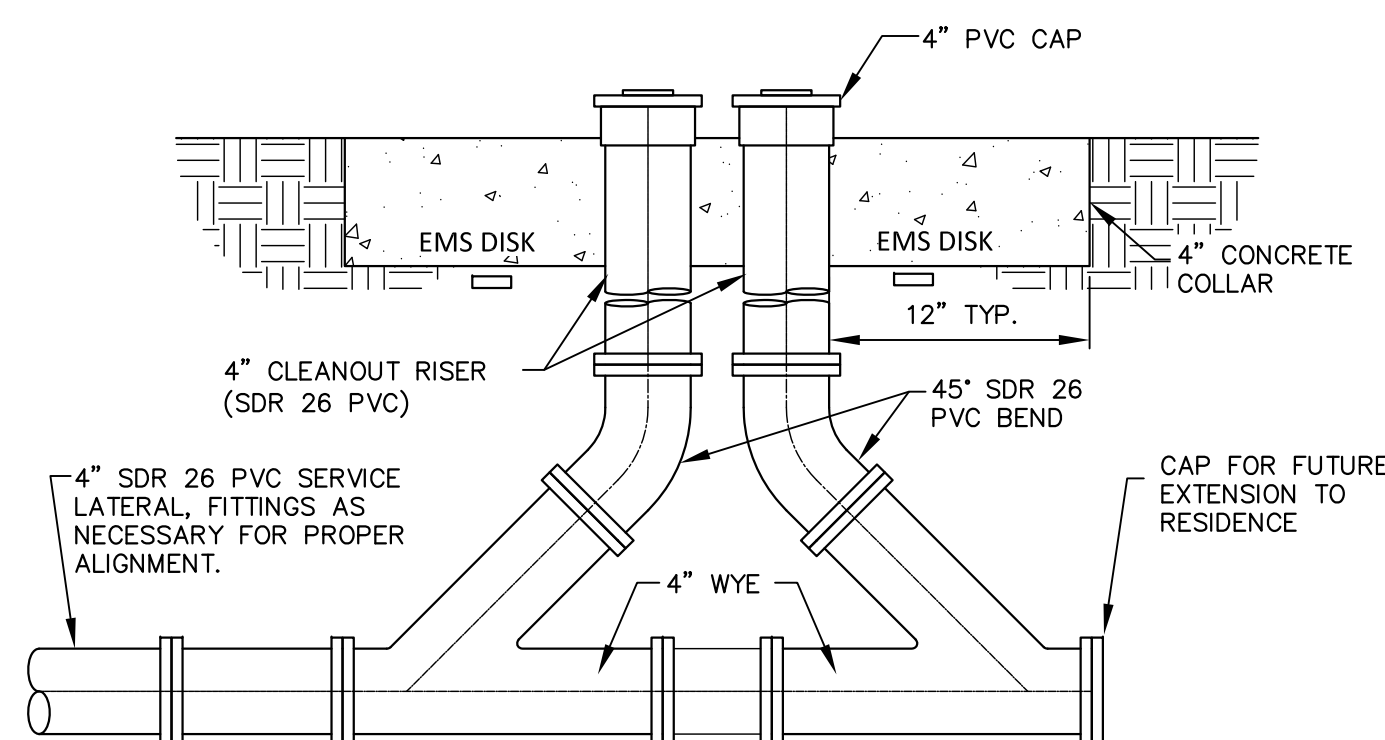
ROCKWALL SOLAR VILLAGE
for
R FIFTY GREEN HOMES, LLC
PROJECT NO.
DEV003-13
DRAWING NO.
6 of 8
STORM SEWER PLAN & PROFILE



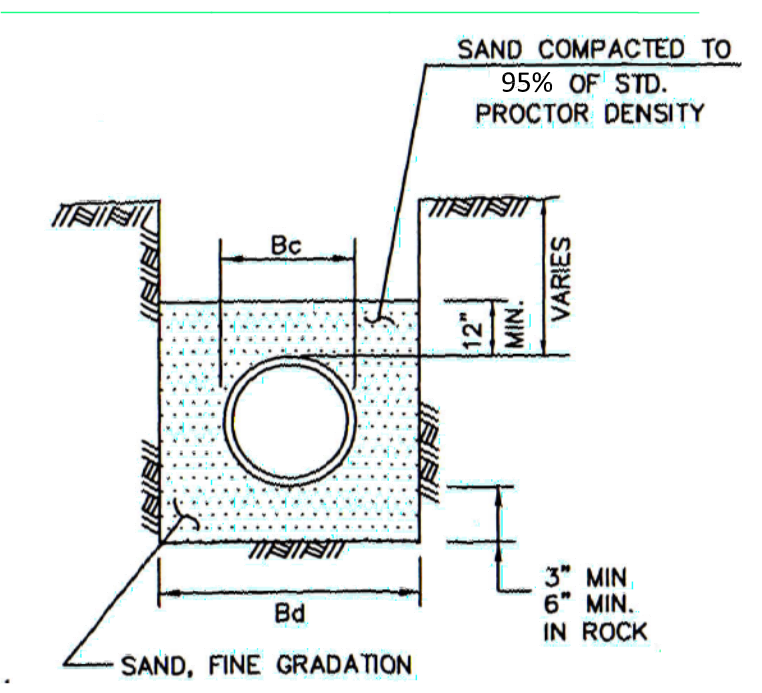
CLASS	BAGS CEMENT PER C.Y.	MIN. STRENGTH 28-DAY PSI
A	5	3000
B	4	2000



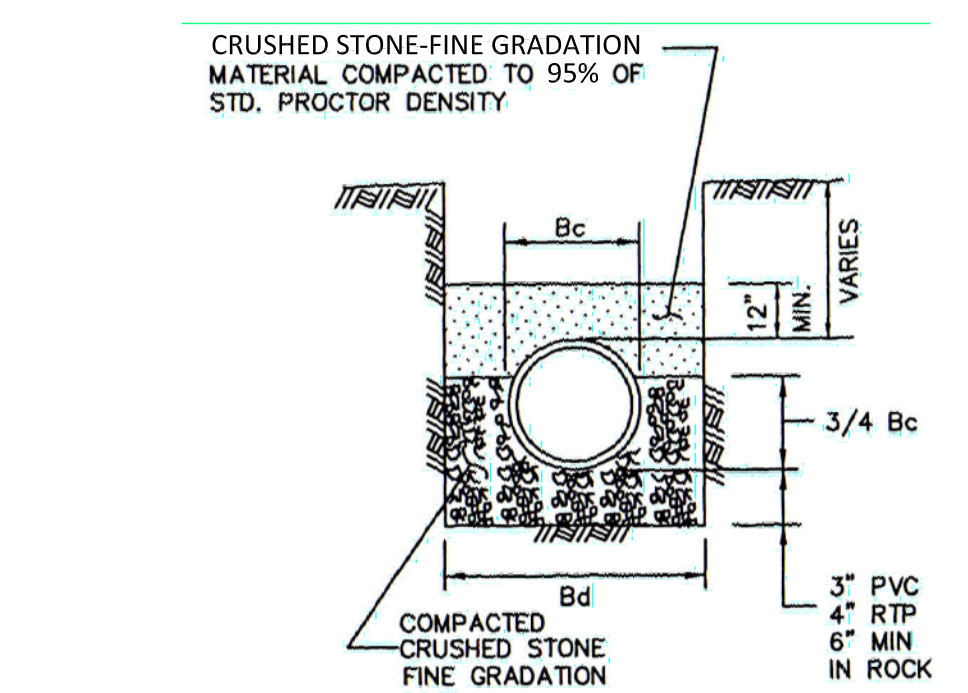
WASTEWATER LATERAL CONNECTION & DOUBLE CLEANOUT
NOT TO SCALE



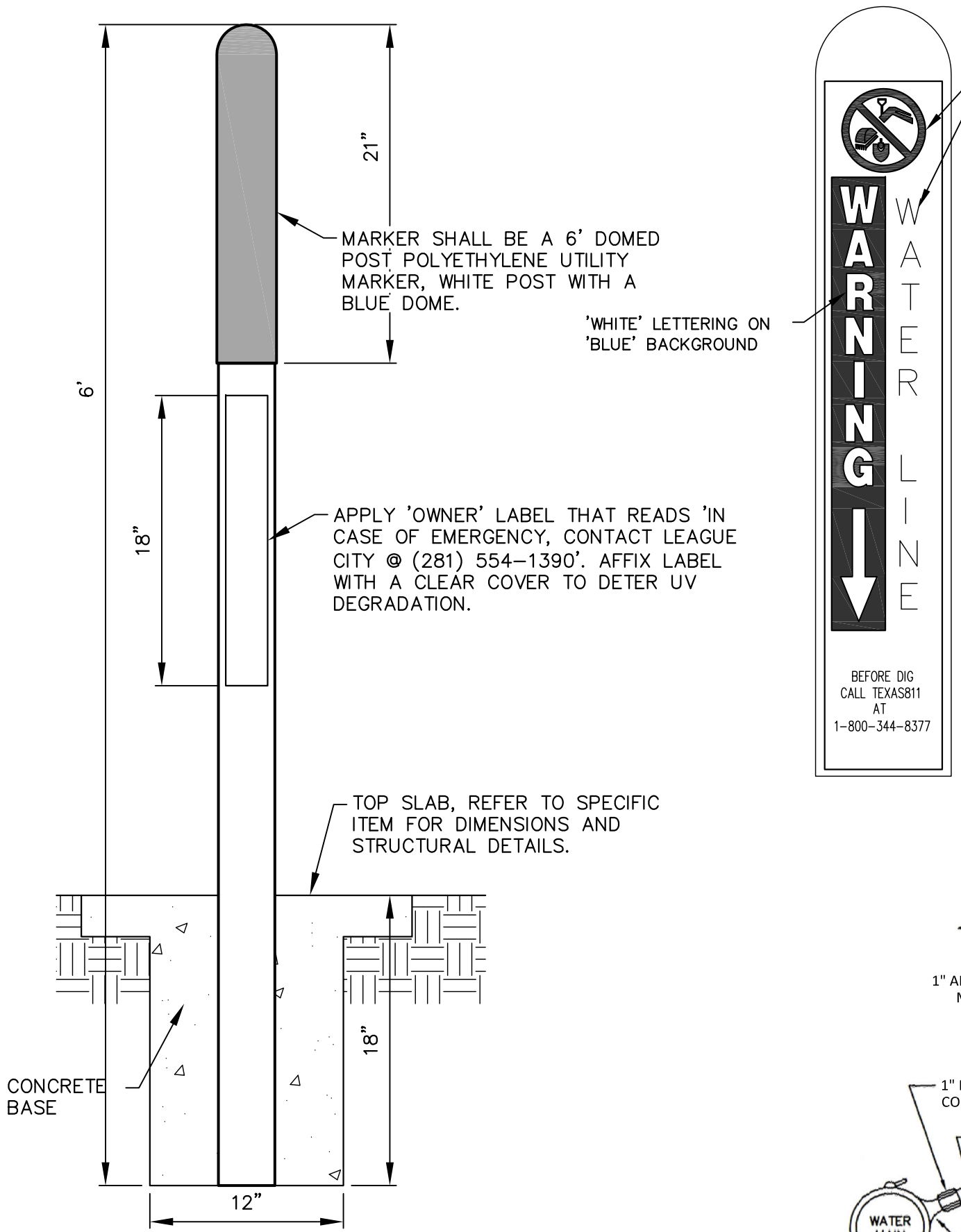
WATER LINE VERTICAL BEND DETAIL
NOT TO SCALE



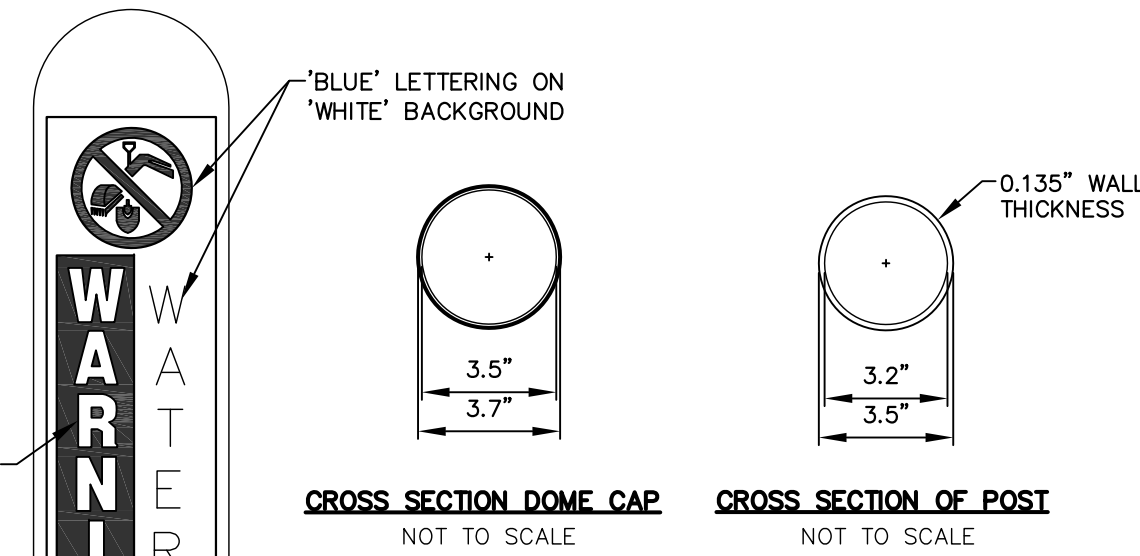
WATER LINE TRENCH DETAIL
CLASS 'B-3'
NOT TO SCALE



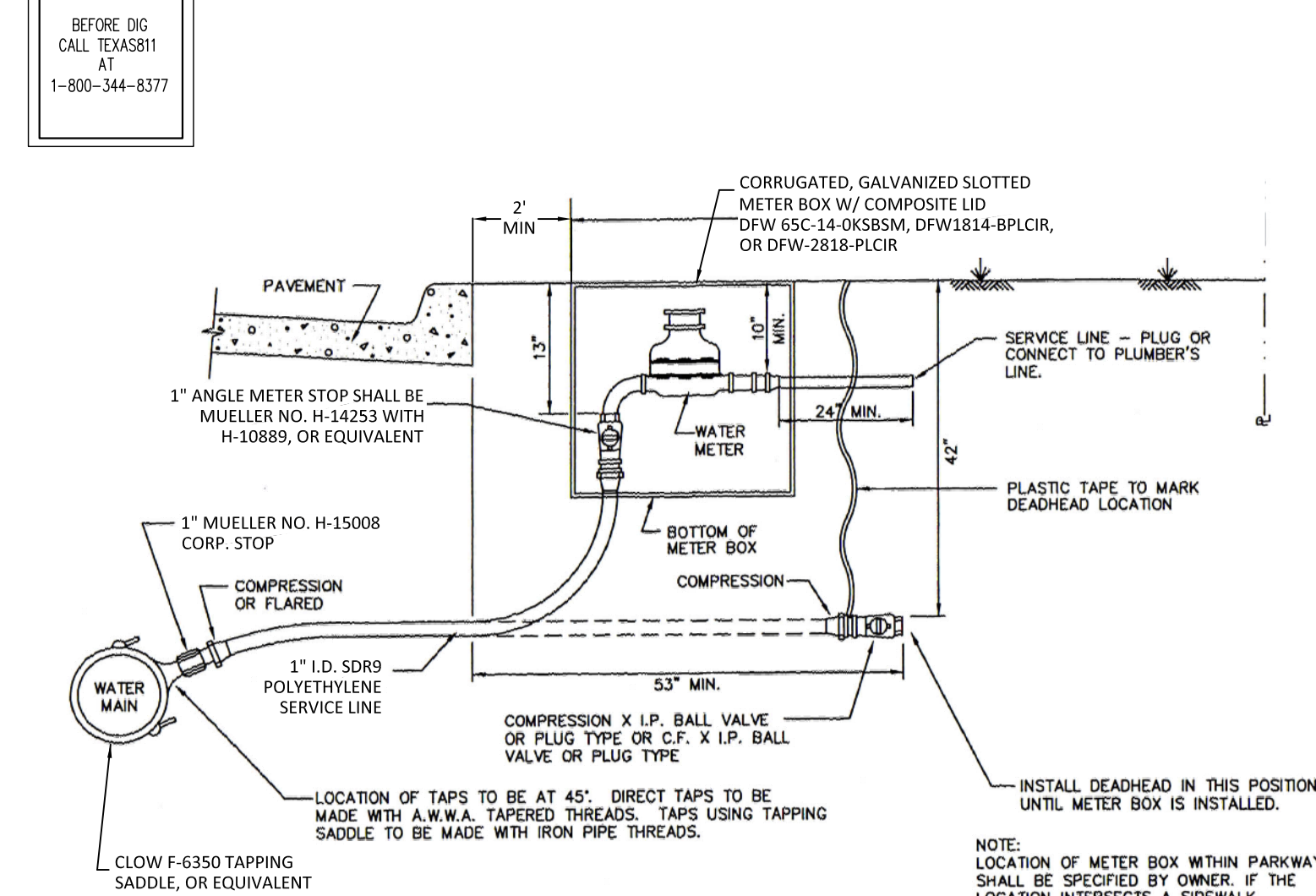
PVC SEWER TRENCH DETAIL
CLASS 'B-2'
NOT TO SCALE



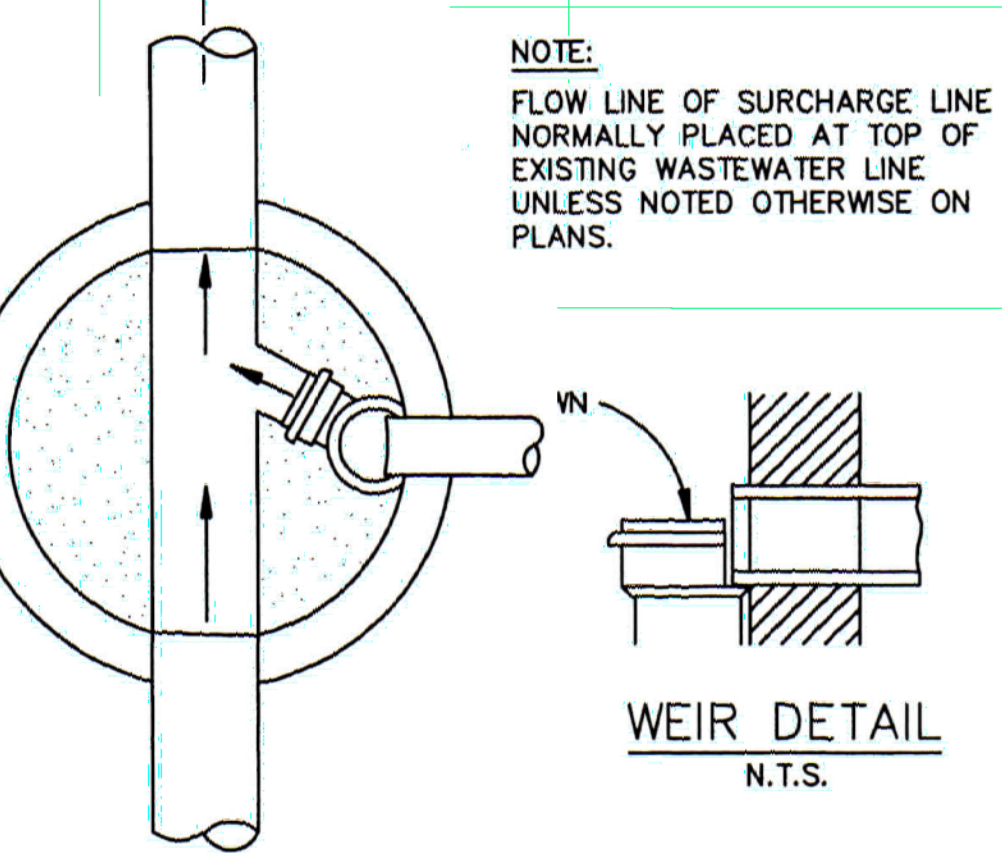
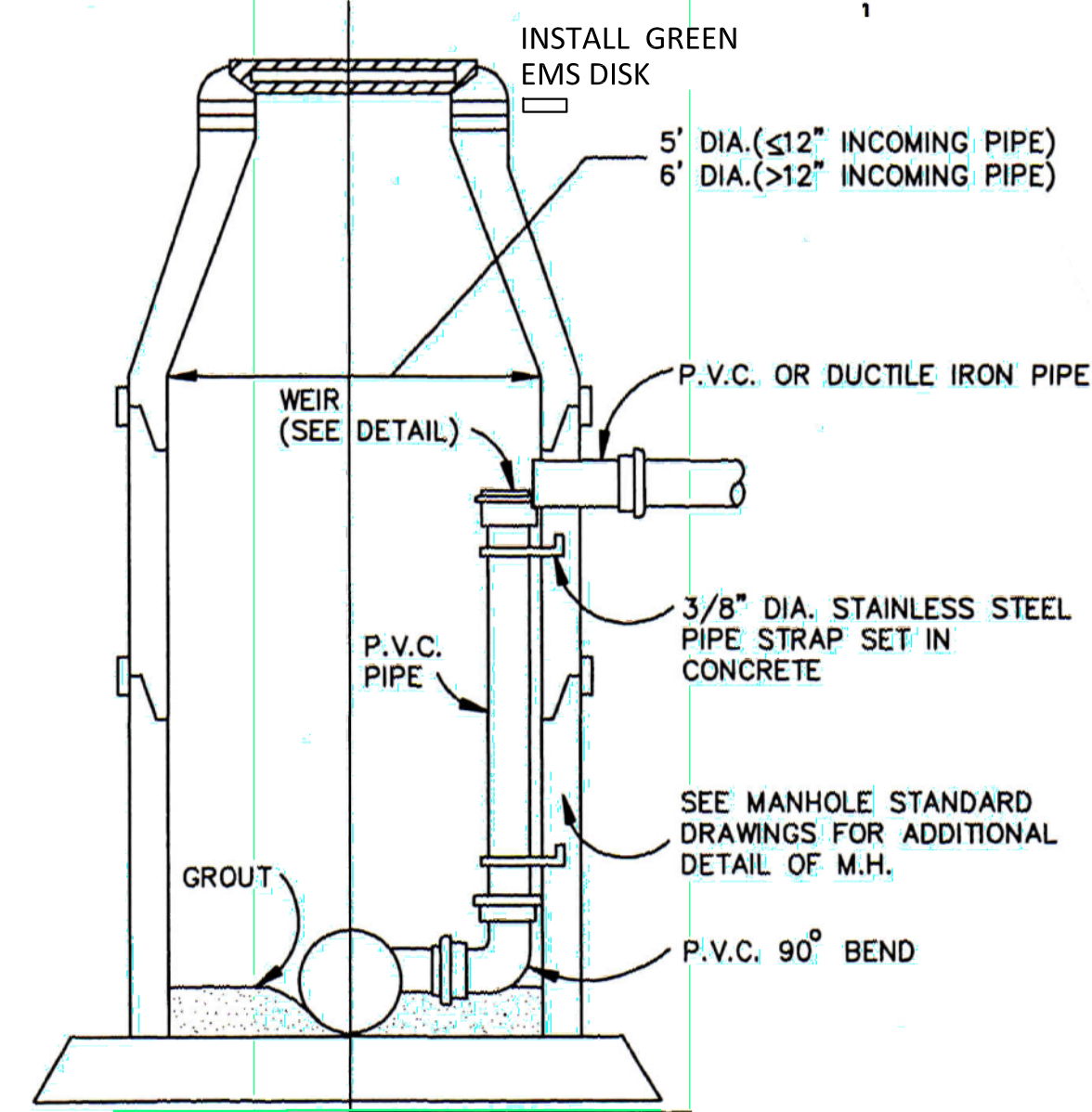
DOMED POST UTILITY MARKER DETAIL
NOT TO SCALE



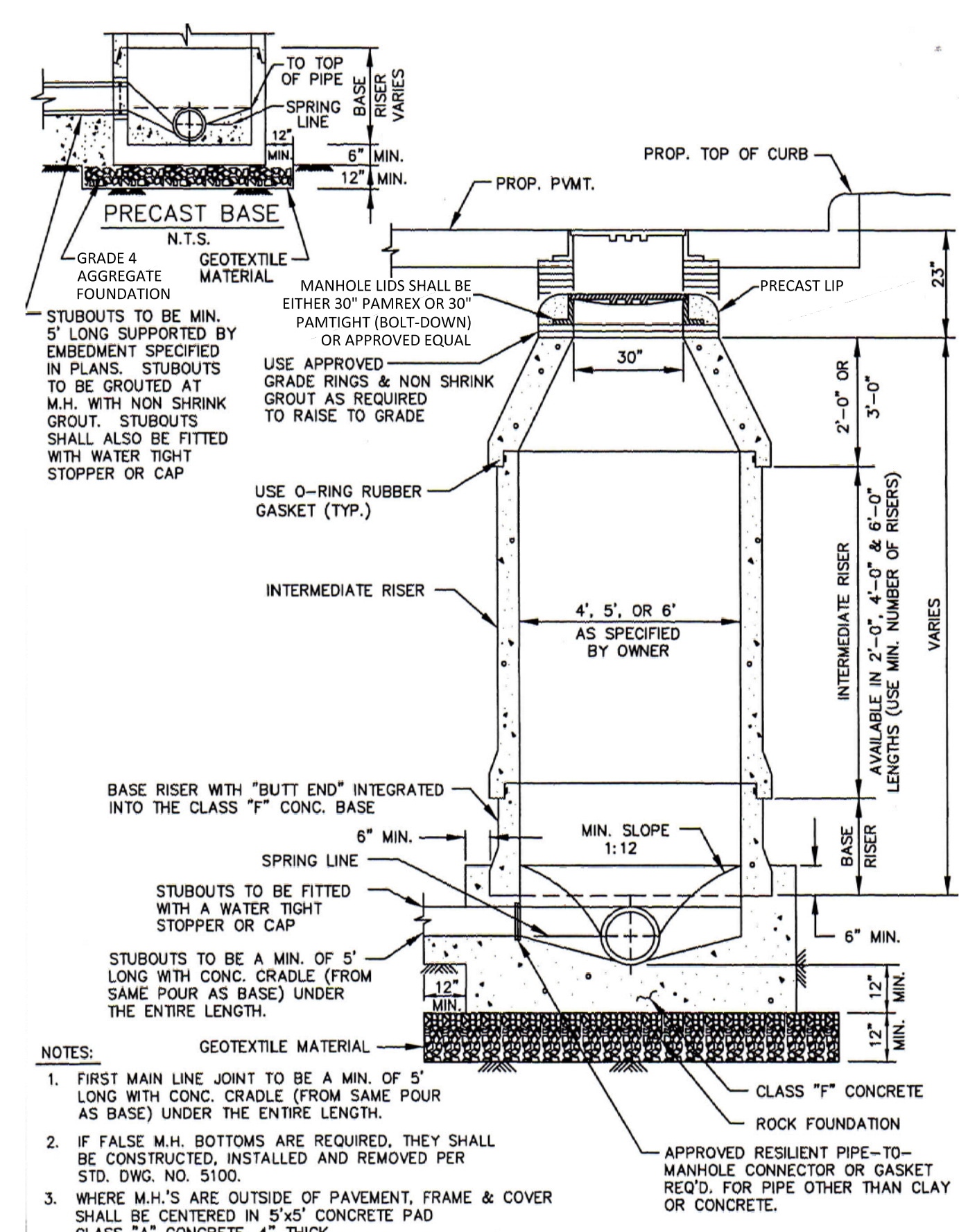
MARKER NOTES:
1. LABEL TO BE PERMANENTLY MOLDED INTO THE PRODUCT.
2. MARKER SHALL BE MANUFACTURED BY WILLIAM FRICK & COMPANY 1-866-669-7590, OR EQUIVALENT.
3. MARKER SHALL BE INSTALLED AT CENTERLINE OF PIPE OR ADJACENT TO STRUCTURE AS SHOWN ON PLANS.



WATER SERVICE INSTALLATION
NOT TO SCALE

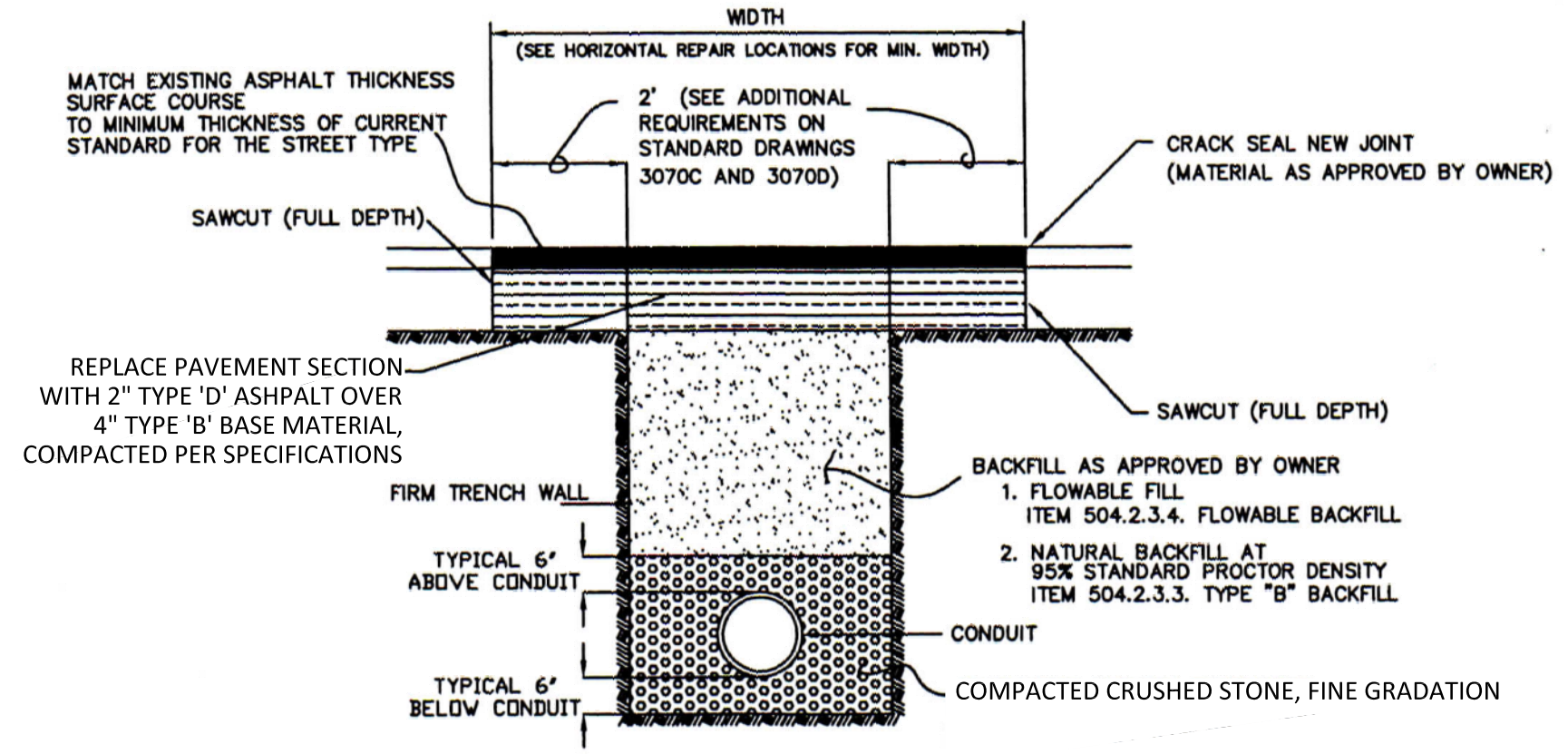


WASTEWATER MANHOLE - INSIDE DROP
NOT TO SCALE



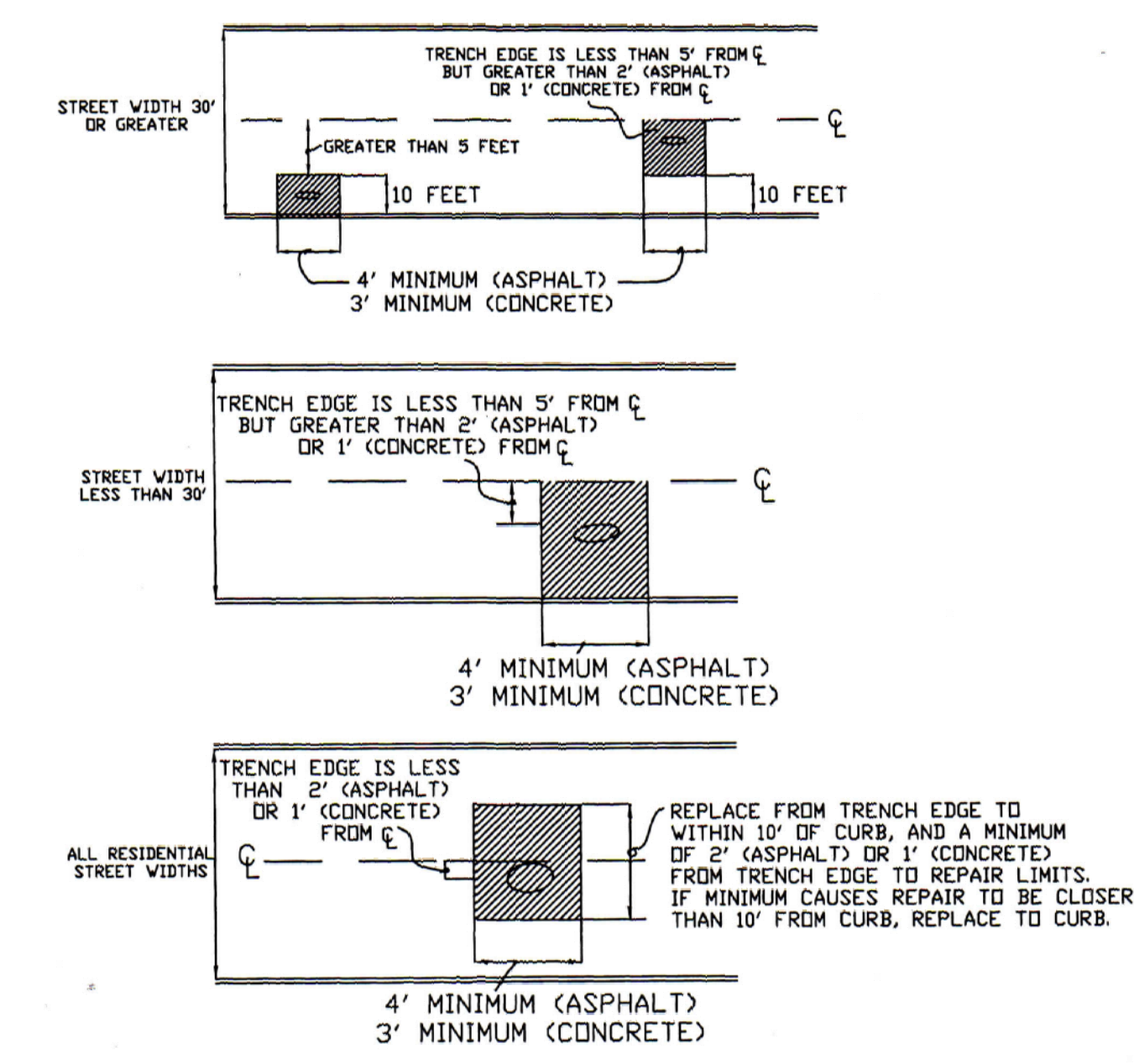
NOTES:
1. FIRST MAIN LINE JOINT TO BE A MIN. OF 5' LONG WITH CONC. CRADLE (FROM SAME POUR AS BASE) UNDER THE ENTIRE LENGTH.
2. IF FALSE M.H. BOTTOMS ARE REQUIRED, THEY SHALL BE CONSTRUCTED, INSTALLED AND REMOVED PER STD. DWG. NO. 5100.
3. WHERE M.H.'S ARE OUTSIDE OF PAVEMENT, FRAME & COVER SHALL BE CENTERED IN 5'x5' CONCRETE PAD CLASS 'A' CONCRETE, 4" THICK

TYPICAL PRECAST MANHOLE
NOT TO SCALE

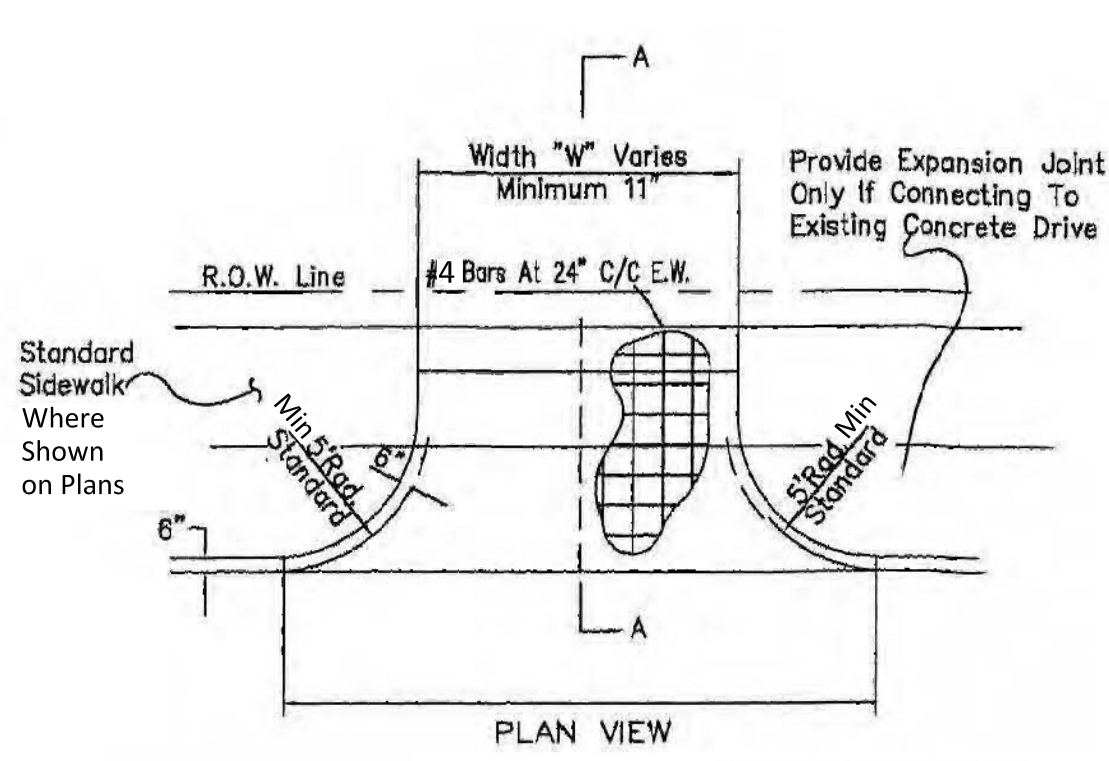


FULL DEPTH ASPHALT PAVEMENT REPAIR
NOT TO SCALE

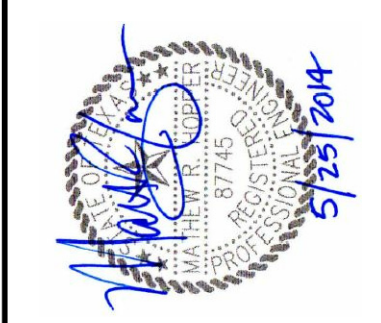
GENERAL NOTES:
1. REMOVE AND REPLACE A MINIMUM OF 4\"/>



PAVEMENT REPAIR - RESIDENTIAL STREET
NOT TO SCALE



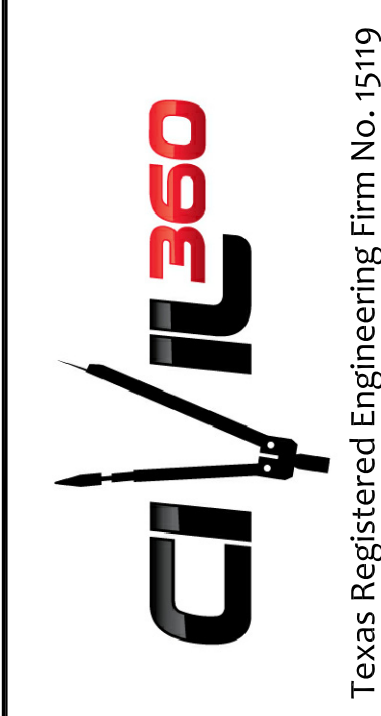
DRIVEWAY DETAILS
NOT TO SCALE



DATE: May, 2014
DESIGNED BY: MRH
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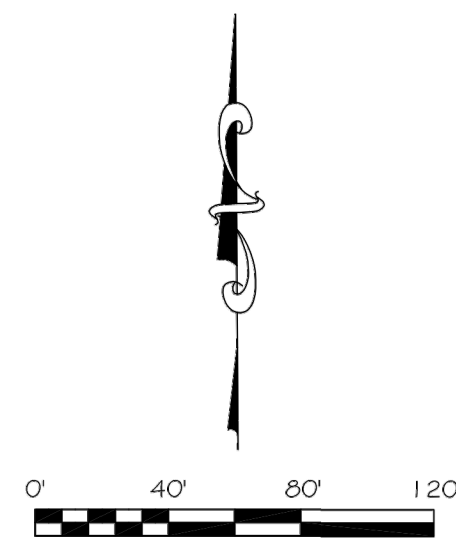


ROCKWALL SOLAR VILLAGE
for
R FIFTY GREEN HOMES, LLC
MISCELLANEOUS DETAILS

PROJECT NO.
DEV003-13

DRAWING NO.
7 of 8

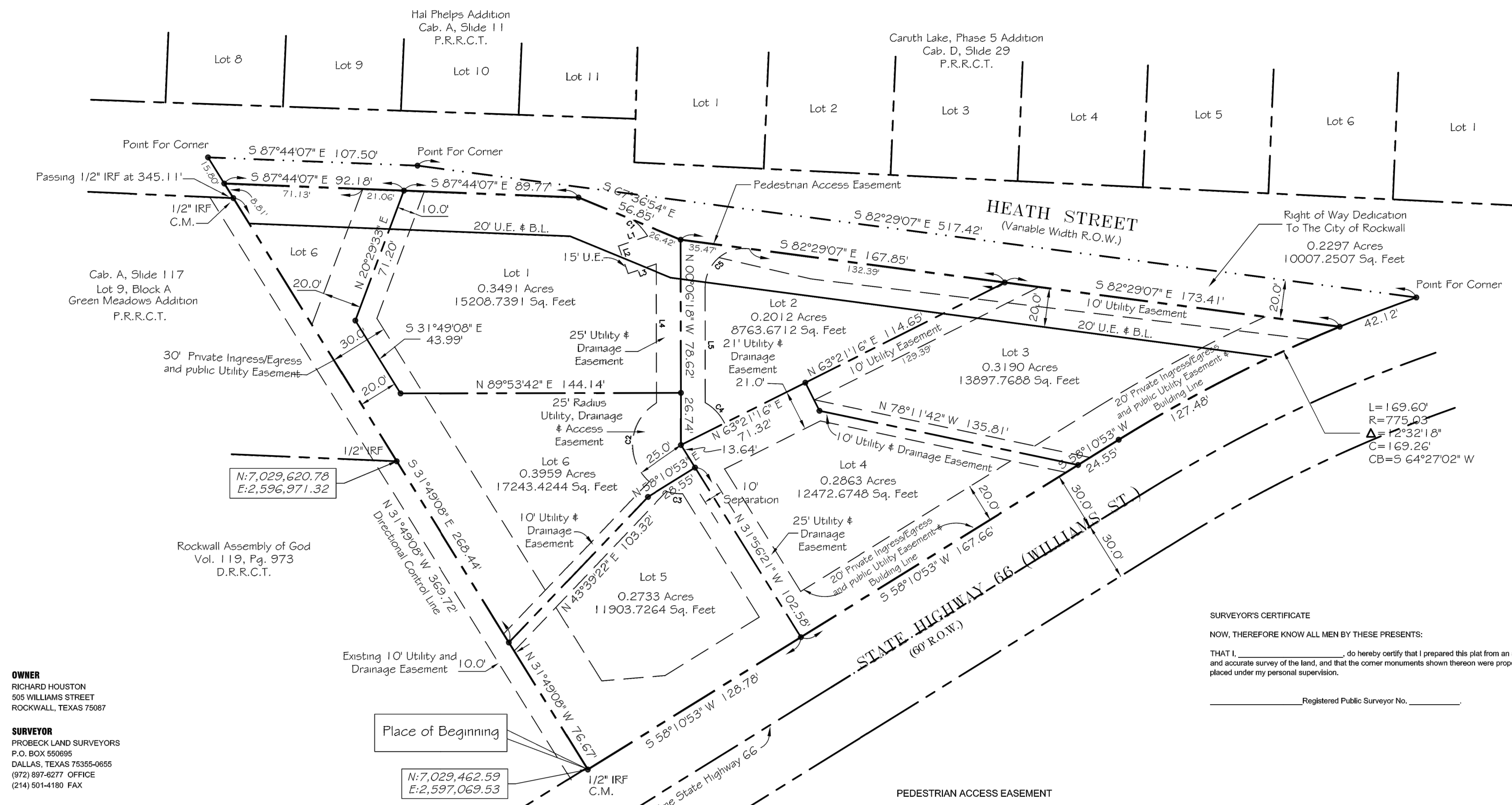
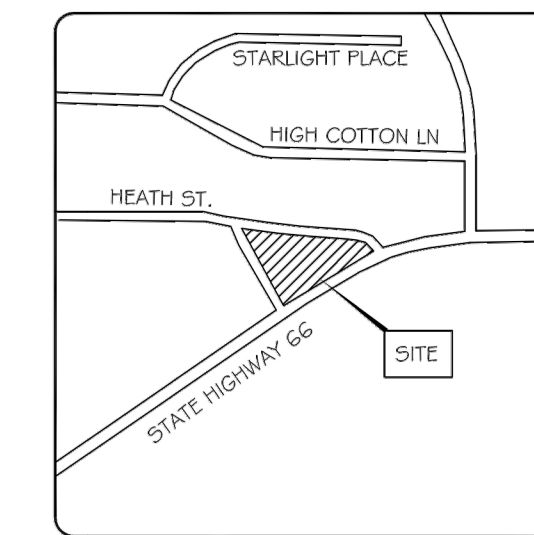




FLOODPLAIN STATEMENT:
 The property shown hereon is located in Zone "X", which is not in a flood hazard area according to Map No. 48397C004040L, dated September 26, 2008, of the National Insurance.

Rate Map Prepared by the Federal Emergency Management Agency (FEMA)

VICINITY MAP



OWNER
 RICHARD HOUSTON
 505 WILLIAMS STREET
 ROCKWALL, TEXAS 75087

SURVEYOR
 PROBECK LAND SURVEYORS
 P.O. BOX 550695
 DALLAS, TEXAS 75355-0695
 (972) 897-6277 OFFICE
 (214) 501-4180 FAX

LEGEND
 C.M. = CONTROLLING MONUMENT
 IRF = IRON ROD FOUND
 IRS = IRON ROD SET WITH ORANGE CAP
 STAMPED "RPLS 5187"
 UNLESS OTHERWISE NOTED.

GENERAL NOTES
 BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS 2.055 ACRE TRACT IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, N.A.D. 83/2010 EPOCH, NORTH CENTRAL ZONE (4202). ALL COORDINATES SHOWN ARE SURFACE AND MAY BE CONVERTED TO GRID BY DIVIDING BY THE CONVERSION FACTOR OF 1.000146135.

LINE	BEARING	DISTANCE
1	N 11°15'32" E	13.43
2	N 18°13'22" W	15.02
3	S 11°03'23" W	15.46
4	N 00°06'12" W	71.35
5	N 00°06'12" W	23.12

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
01	152.411	11.001	10.386	N 41°14'22" W	18°14'35"
02	25.000	47.267	46.611	S 05°04'42" W	105°57'20"
03	25.000	2.411	2.397	S 88°11'33" E	18°14'35"
04	25.000	14.667	14.339	N 48°22'31" W	33°22'31"
05	25.000	34.000	30.119	S 48°22'31" W	97°57'11"

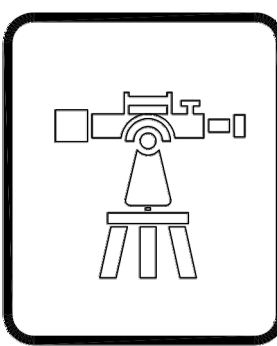
SURVEYOR'S CERTIFICATE
 NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
 THAT I, _____ do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

 Registered Public Surveyor No. _____

FINAL PLAT
SOLAR VILLAGE
LOTS 1-6, BLOCK A
BEING 2.055 ACRES OUT OF THE
REUBEN BALLARD SURVEY - ABSTRACT NO. 29
CITY OF ROCKWALL - ROCKWALL COUNTY, TEXAS
CASE NUMBER P2013-032

PROBECK LAND SURVEYORS
P.O. BOX 550695 ~ DALLAS, TEXAS 75355-0695
OFFICE (972) 897-6277 ~ FAX (214) 501-4180

FINAL PLAT
2.055 ACRES OUT OF THE
REUBEN BALLARD SURVEY, ABSTRACT NO. 29
ROCKWALL COUNTY, TEXAS



DATE: 06-04-14
 FIELD DATE: 10-15-13
 JOB NO.: 13-0001
 DRAWING: 13-0001
 PARTY CHIEF: GP
 SCALE: 1" = 40'
 GF #: N/A
 TITLE CO.: N/A
 LENDER: N/A
 OWNER:
 R FIFTY GREEN HOMES
 REVISIONS:
 SHEET 1 OF 2

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ROCKWALL SOLAR VILLAGE
 for
 R FIFTY GREEN HOMES, LLC

FINAL PLAT

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS R FIFTY GREEN HOMES, BEING THE OWNER OF A TRACT of land in the County of Rockwall, State of Texas, said tract being described as follows:

WHEREAS R FIFTY GREEN HOMES is the owner of all that certain lot, tract, or parcel of land lying and being situated in the Reuben Ballard Survey, Abstract Number 29, having a Patent date of February 23, 1854, Patent Number 112, Patent Volume 9, Certificate Number 889, File Number 001573, City of Rockwall, Rockwall County, Texas, and being all of a 2.055 acre tract of land conveyed by Douglas D. Morris To Douglas and Lynda Morris 2010 Revocable Trust by Warranty Deed dated July 15, 2011, as recorded in Volume 6502, Page 189, of the Deed Records of Rockwall, Rockwall County, Texas, and being that certain tract of land conveyed by Douglas Dwight Morris, as Trustee of the Douglas and Lynda Morris Revocable Trust and Billy Peoples, individually, to R Fifty Green Homes by General Warranty Deed dated October 24, 2013, as recorded in the Official Public Records of Rockwall, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for the southwest corner of the said R Fifty Green Homes tract and being the southeast corner of a called 6.300 acre tract of land conveyed to Rockwall Assembly of God as recorded in Volume 119, Page 973, of the Deed Records of Rockwall, Rockwall County, Texas, said 1/2" iron rod also being in the northwesterly right of way line of Williams Street, a.k.a. State Highway 66, being a (60' Foot Right of Way);

THENCE NORTH 31° 49' 08" WEST, leaving the northwesterly right of way line of said State Highway 66, with the southwesterly line of the said R Fifty Green Homes tract and with the northeasterly line of the said Rockwall Assembly of God tract, passing at a distance of 345.11 feet, a 1/2" iron rod found for the northeast corner of Lot 9, Block A, of Green Meadows Addition, an addition to the City of Rockwall according to the Map or Plat thereof recorded in Cabinet A, Slide 117, of the Plat Records of Rockwall, Rockwall County, Texas, and continuing a total distance of 369.72 feet, to a point for the northwest corner of the said R Fifty Green Homes tract, said point being in the centerline of Heath Street (Variable Width Right of Way);

THENCE NORTH 87° 44' 07" EAST, with the north line of the said R Fifty Green Homes tract, with the centerline of said Heath Street, a distance of 107.50 feet to a point for corner;

THENCE SOUTH 82° 29' 07" EAST, continuing with the north line of said R Fifty Green Homes tract and the centerline of said Heath Street, a distance of 517.42 feet, to a point for the northeast corner of the said R Fifty Green Homes tract, said point being the northwesterly right of way line of said State Highway 66, said point being the beginning of a non-tangent curve to the left, having a radius of 775.01 feet, a chord bearing of South 64° 27' 02" West, and a chord distance of 169.26 feet;

THENCE Southwesterly, with said curve to the left, with the southeasterly line of the said R Fifty Green Homes tract, and with the northwesterly right of way line of said State Highway 66, through a central angle of 12° 32' 18", an arc distance of 169.60 feet, to a 5/8" iron rod with an orange plastic cap stamped "PROBECK 5187" set for the corner;

THENCE SOUTH 58° 10' 53" WEST, continuing with the southwesterly line of the said R Fifty Green Homes tract, with the northwesterly right of way line of said State Highway 66, a distance of 321.00 feet, to the PLACE OF BEGINNING, and containing approximately 89,497 square feet, or 2.055 acres of land, there being 10,007 square feet or 0.229 acres within the roadway of Heath Street, leaving a net of 79,460 square feet or 1.824 acres or land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the SOLAR VILLAGE subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the SOLAR VILLAGE subdivision have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

Owner: Richard Houston
R-Fifty Green Homes

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____.

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

SURVEYORS CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I _____ do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Registered Public Surveyor No. _____

STATE OF TEXAS
COUNTY OF ROCKWALL

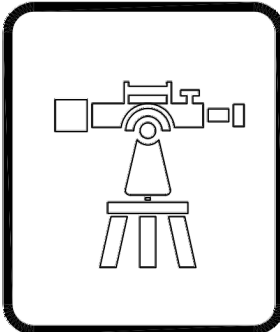
Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ Day of _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

Signature of Party with Mortgage or Lien Interest

**FINAL PLAT
SOLAR VILLAGE
LOTS 1-6, BLOCK A
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TITLE CO.: N/A
LENDER: N/A
OWNER: R FIFTY GREEN HOMES
REVISIONS:
SHEET 2 OF 2

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**FINAL PLAT
2.055 ACRES OUT OF THE
REUBEN BALLARD SURVEY, ABSTRACT NO. 29
ROCKWALL COUNTY, TEXAS**

ROCKWALL SOLAR VILLAGE
for
R FIFTY GREEN HOMES, LLC

FINAL PLAT

DRAWING NO.

2 of 2