



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$500.00 + \$20.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$500.00 + \$20.00 ACRE) ¹
- ☐ FINAL PLAT (\$500.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$500.00 + \$20.00 ACRE) ^{1 & 3}
- ☐ AMENDING OR MINOR PLAT (\$500.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$200.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$1,000.00 + \$20.00 ACRE) ^{1 & 2}
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$500.00) ²

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$200.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS [RESIDENTIAL] (\$200.00) ²
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS [COMMERCIAL] (\$1,000.00) ²

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$1,000.00 + \$20.00 ACRE) ^{1 & 3}
- ☒ SPECIFIC USE PERMIT [RESIDENTIAL] (\$200.00 + \$20.00 ACRE) ^{1 & 2 & 3}
- ☐ SPECIFIC USE PERMIT [COMMERCIAL] (\$1,000.00 + \$20.00 ACRE) ^{1 & 2 & 3}
- ☐ PLANNED DEVELOPMENT DISTRICT (\$1,500.00 + \$20.00 ACRE) ^{1 & 3}
- ☐ PD DEVELOPMENT PLANS (\$1,500.00 + \$20.00 ACRE) ^{1 & 3}

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$2,500.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.
³ AN ADDITIONAL FEE OF \$150.00 WILL BE REQUIRED FOR THE COST OF NOTIFICATIONS.

GENERAL NOTE: THE CITY OF ROCKWALL PLANNING AND ZONING DEPARTMENT ACCEPTS PAYMENT BY CHECK ONLY EITHER IN PERSON OR BY MAIL. THE CITY OF ROCKWALL WILL NEVER REQUEST PAYMENT BY WIRE TRANSFER THROUGH EMAIL.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 176 Diana Drive, Rockwall, Texas

SUBDIVISION Rockwall Lake Properties No 2

LOT 748-A BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD75

CURRENT USE SF-7

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER Robert Wheeler

☒ APPLICANT Pascual Mojica

CONTACT PERSON Robert Wheeler

CONTACT PERSON Pascual Mojica

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Robert Wheeler [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF July, 2026. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND DISSEMINATE INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

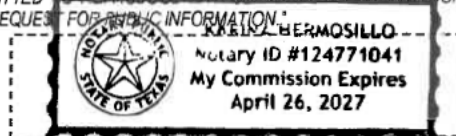
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF July, 2026.

OWNER'S SIGNATURE

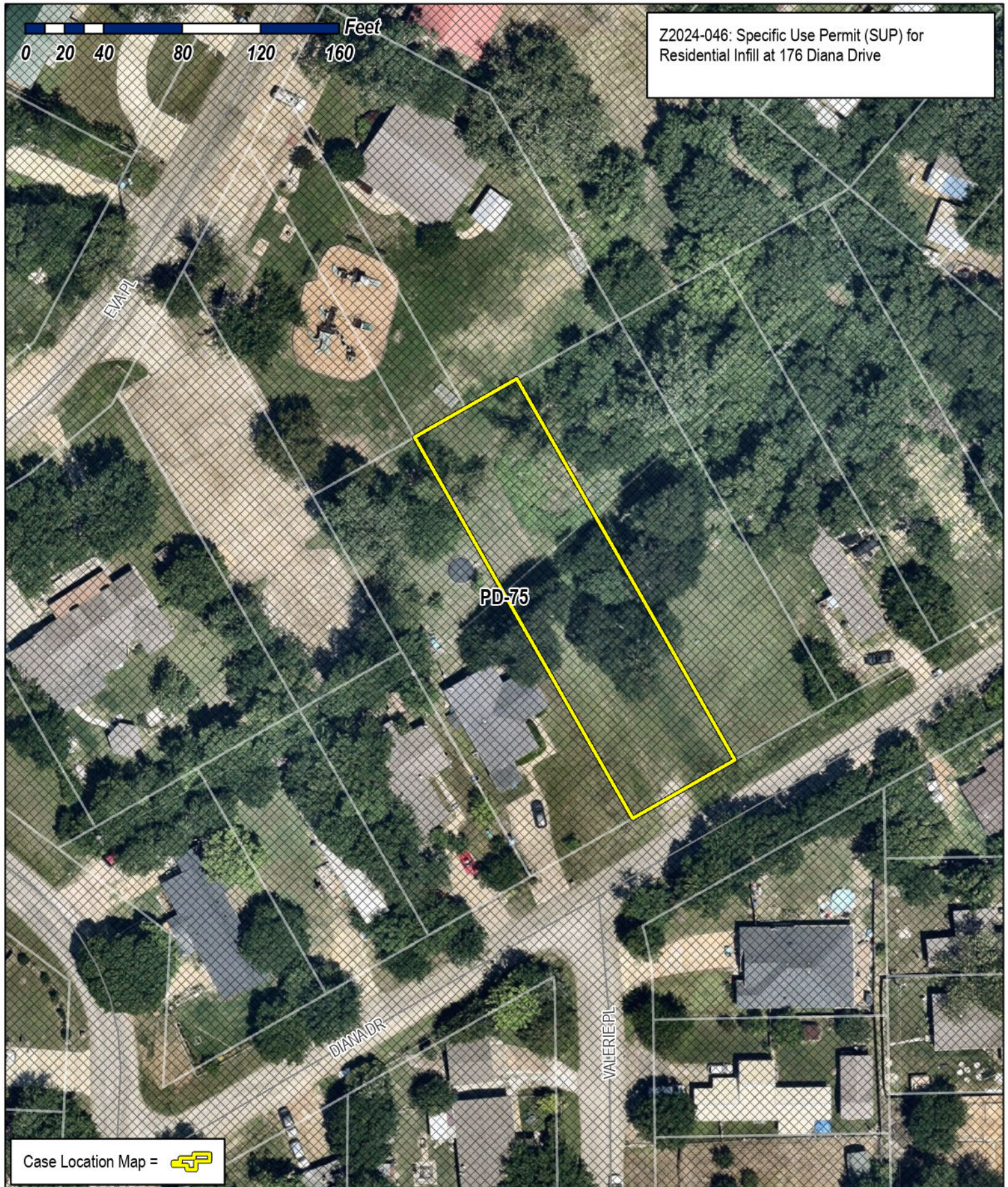
Robert Wheeler

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Kam Horn



MY COMMISSION EXPIRES April 26, 2027



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

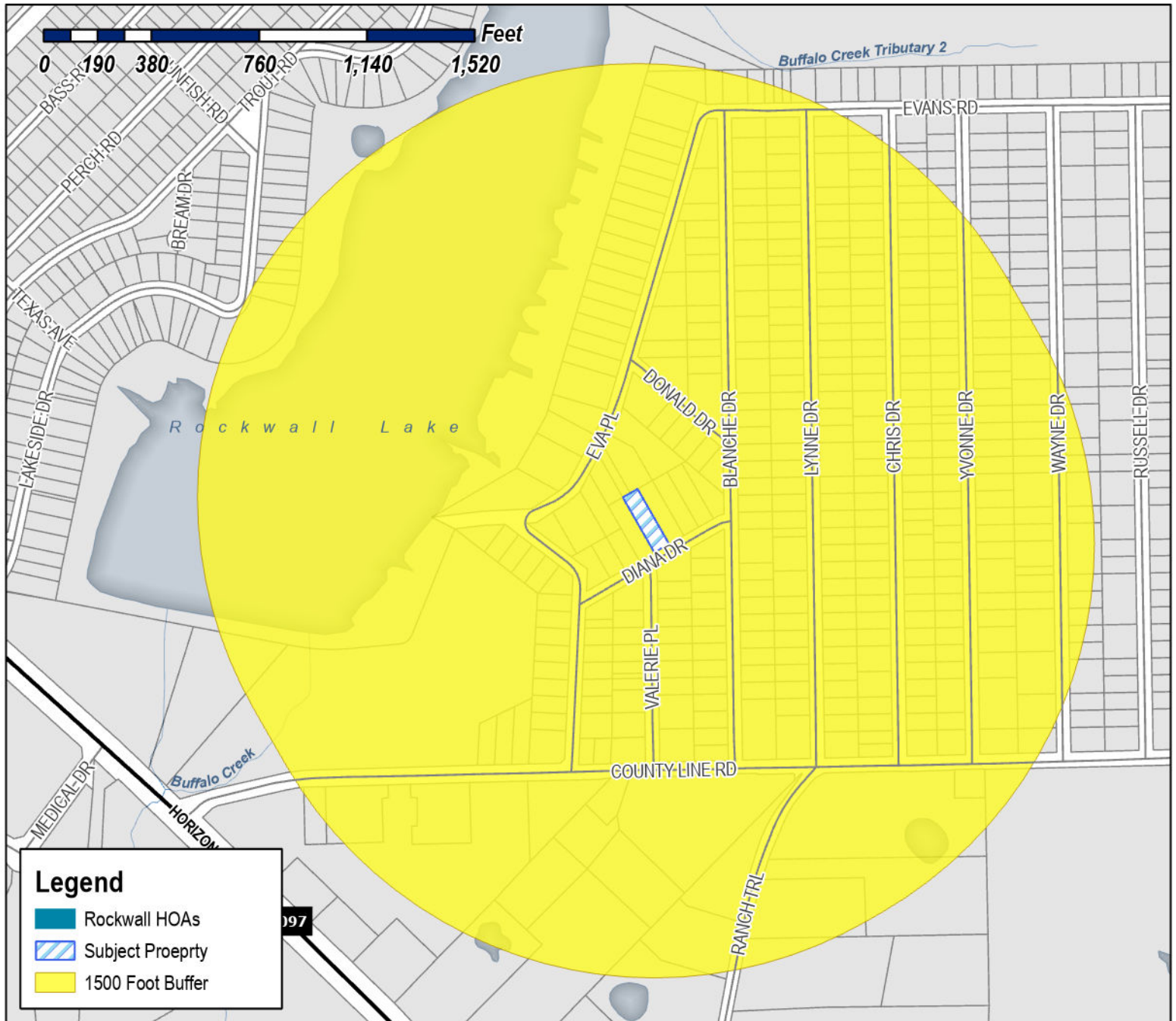




City of Rockwall

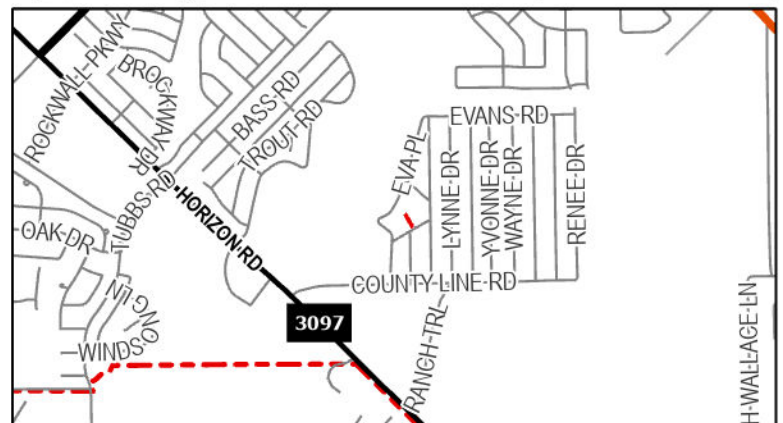
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Case Number: Z2026-046
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development 75
(PD-75) District
Case Address: 176 Diana Drive

Date Saved: 7/17/2026
For Questions on this Case Call (972) 771-7745

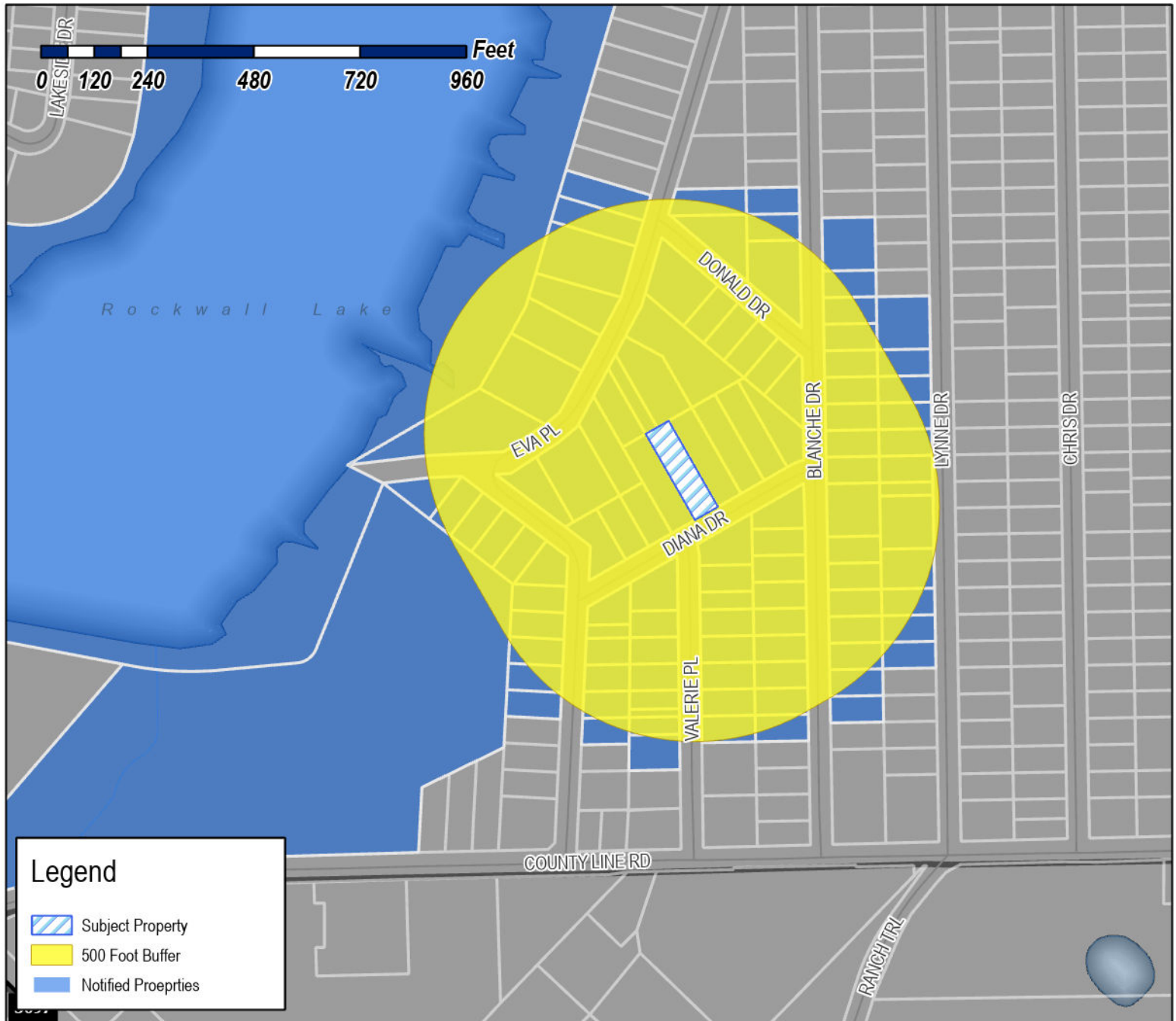




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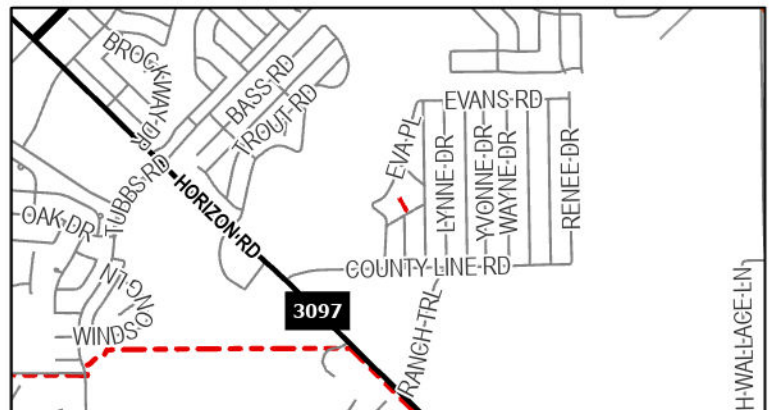
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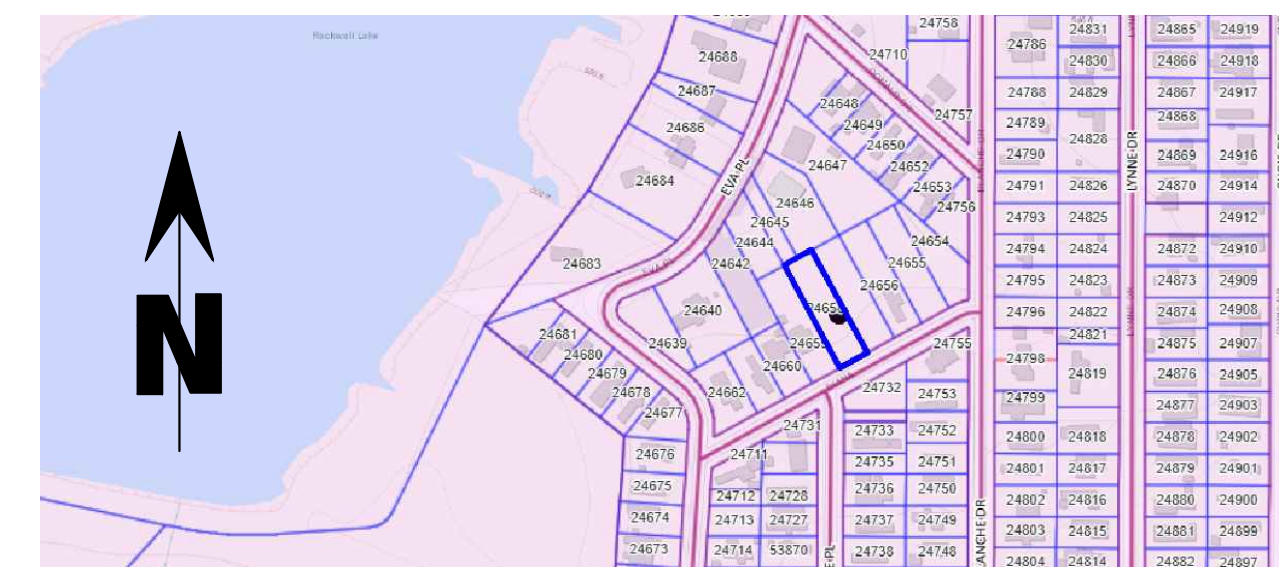
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(PD-75) District
Case Address: 176 Diana Drive

Date Saved: 7/17/2026

For Questions on this Case Call: (972) 771-7745



ZONING	PD-75
LEGAL DESCRIPTION	ROCKWALL LAKE EST #2, LOT 748A
TYPE	V-(B)
CLIMATE ZONE	ZONE 3A (WARM HUMID)
PROJECT DESCRIPTION	ONE STORY SINGLE FAMILY RESIDENCE 4 BEDROOMS, 2.5 BATHROOMS TWO CAR ATTACHED GARAGE

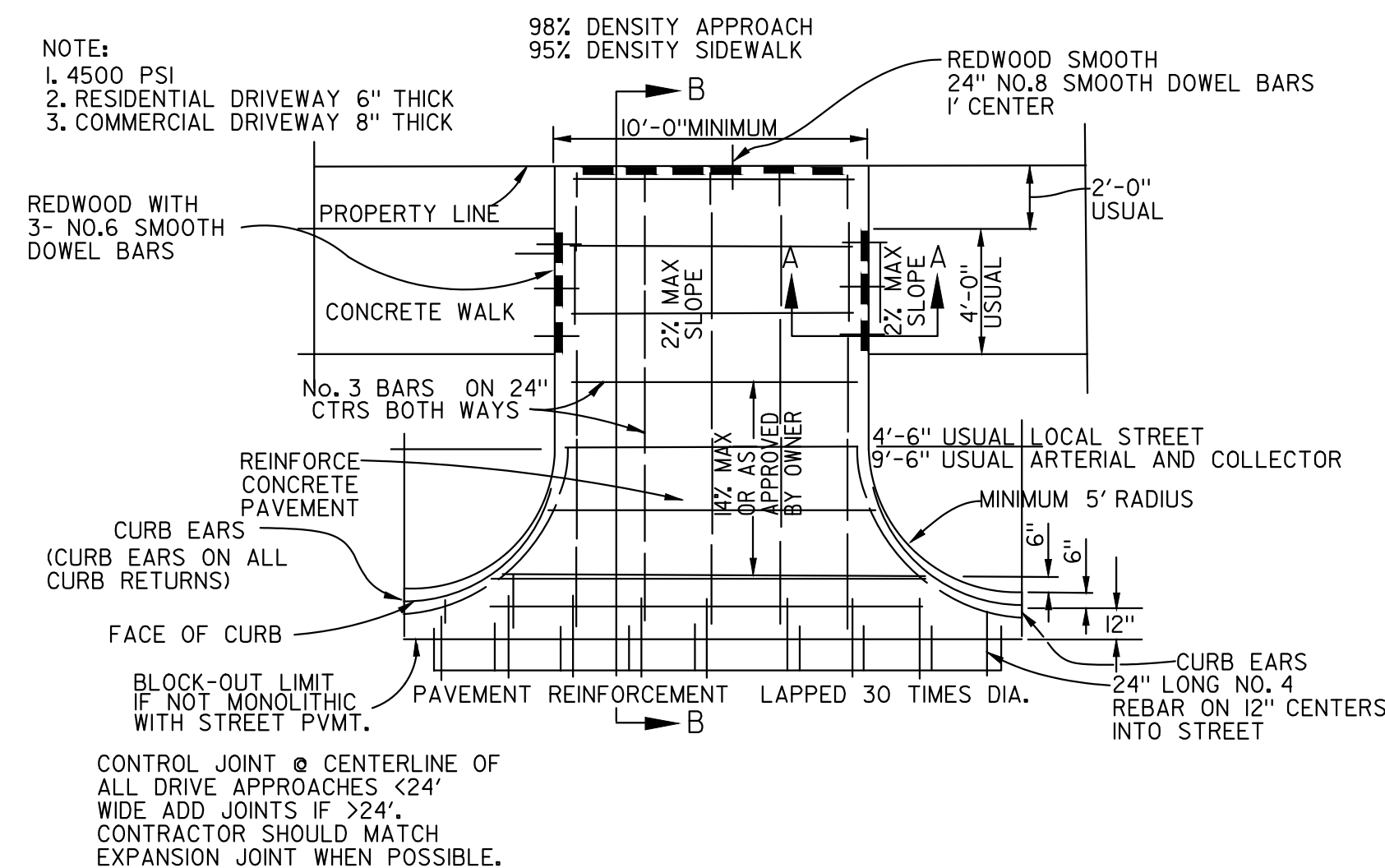
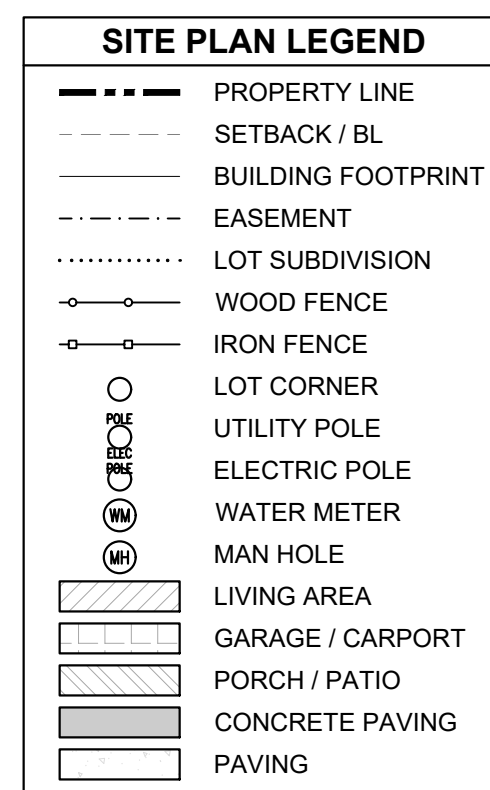


C2.01	2	VICINITY MAP
		NTS

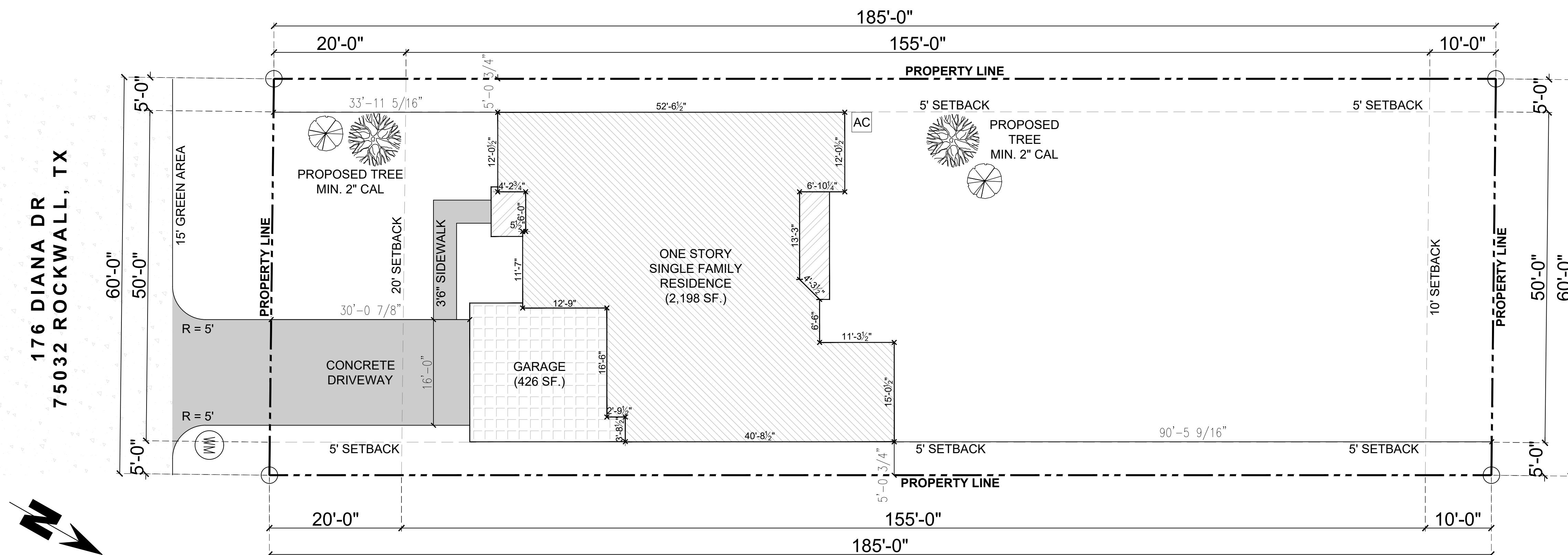
LIVING AREA (AC)		NON CONDITION AREA	
FIRST LEVEL	2,198 SF.	GARAGE	426 SF.
		COVD. PORCH	35 SF.
		COVD. PATIO	69 SF.

TOTAL LIVING AREA (AC)	2,198 SF.	LOT AREA	11,099 SF.
TOTAL UNDER ROOF	2,728 SF.	NON ROOF AREA	8,371 SF.
FOOTPRINT	2,728 SF.	% OF LOT	24.58 %

ZONING INFO
PD-75
Front Yard 20'
Side Yard 5'
Rear Yard 10'
HT 32'
Lot Cov 45%



DRIVEWAY PAVING DETAILS



C2.01	1	SITE PLAN
		1" = 10' - 0"

**ROCKWALL LAKE
EST #2, LOT 748A**

NOTE: All new residential homes require a drive approach and sidewalk installation. Unless an existing compliant drive approach and sidewalk are already present on the lot, Drive approach, sidewalk and right of way (ROW) permits to be pulled simultaneously. Minimum of two site trees required. Please refer to the city site tree specifications to comply with the applicable jurisdictional requirements. Should a fence permit need to be added to your drawings, an additional fee will apply. Please contact our customer service team at 214-946-4300.

SEAL

PROJECT/PLAN ID
176 DIANA DR

DATE: **7/16/26**

DRAWN BY: **NC**

CHECKED BY: **ER**

DESCRIPTION:

ONE STORY
SINGLE FAMILY RESIDENCE;
4 BEDROOMS, 2.5 BATHROOMS
TWO CAR ATTACHED GARAGE

SCALE:
1" = 10' - 0"

SHEET TITLE:
SITE PLAN

SHEET #: **C2.01**

FILE NAME:
C2.01 SITE PLAN

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GENERAL NOTES:

1. ALL WORK INCLUDING WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF LOCAL BUILDING CODES, REGULATIONS, LAWS AND ORDINANCES.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY MEASUREMENTS TAKEN AT THE JOB SITE, AND SHALL TAKE ANY AND ALL OTHER MEASUREMENTS NECESSARY TO VERIFY THE DRAWINGS AND OR PERFORM HIS WORK PROPERLY. FIELD VERIFY DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE PREMISES AT THE END OF EACH WORK DAY OR AS APPROVED BY THE OWNER. ALL SUCH MATERIALS SHALL BE DISPOSED OF, OFF SITE IN A LEGAL MANNER. THE WORK AREA OF OPERATION SHALL BE MAINTAINED CLEAN AT ALL TIMES.
4. CONTRACTOR IS RESPONSIBLE FOR HIS WORK DURING CONSTRUCTION. STORAGE, TRANSIT, INSTALLATION AND FINAL OWNER ACCEPTANCE. UPON COMPLETION, THE CONTRACTOR SHALL CLEAN, REPAIR AND REFINISH ALL DAMAGES TO THE SATISFACTION OF THE OWNER AS PART OF THE CONTRACT.
5. CONTRACTOR SHALL SCHEDULE AND EXECUTE ALL WORK TO PREVENT DAMAGE TO BUILDING, FINISHES AND SITE IMPROVEMENTS. CONTRACTOR SHALL PERFORM WORK TO MAINTAIN ALL BUILDINGS IN SAFE CONDITION TO ALLOW BUILDING/OWNER INSPECTIONS AT ANY GIVEN TIME. CONTRACTOR IS TO MAINTAIN AND PRESERVE ANY MATERIALS AT THE JOB SITE ANY DAMAGE CAUSED BY THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOT BE AT THE OWNERS EXPENSE.
6. WHEN MANUFACTURERS OF MATERIAL AND/OR FIXTURES USED ON THIS PROJECT REQUIRE MAINTENANCE, INSTALLATION MANUALS OR DIRECTIONS NOT COVERED IN THE SPECIFICATIONS DETAILED ON THE DRAWINGS. THE CONTRACTOR SHALL FURNISH DIRECTIONS AND SHALL ISSUE APPROPRIATE COPIES TO HIS SUBCONTRACTORS AND OTHER AFFECTED PARTIES.
7. CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL FOUNDATION, FRAMING, AND ANY PHASE OF THE PROJECT REQUIRING A PROFESSIONAL ENGINEER OR LICENSE TRADE PROFESSIONAL.
8. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, IT IS THE BUILDER/OWNER RESPONSIBILITY TO VERIFY ANY EASEMENTS, FLOOD PLAINS, SUBSTANDARD UTILITIES, DEED RESTRICTIONS, HOA , CONSERVATION, HISTORICAL OR PLAN DEVELOPMENT DISTRICTS THAT MAY IMPACT THIS PROJECT PRIOR TO CONSTRUCTION OR SUBMITTAL FOR A BUILDING PERMITS.
9. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE WARRANTY OF THE CONSTRUCTION AND ALL OR ANY CHANGES MADE PRIOR TO OR DURING CONSTRUCTION.



176 DIANA DR
ROCKWALL, TX 75032



SHEET INDEX

- G0.00

COVER SHEET
- C2.01

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- A1.01

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- A1.02

DIMENSIONS PLAN
- A3.00

DOOR & WINDOW SCHEDULE
- A5.01

3D ELEVATION
- A5.02

3D ELEVATION

BEFORE YOU BUILD

Call 811 to locate and mark underground utilities on the referenced property before commencing all types of work.
Confirm all utility/drainage easements.
Confirm all meets and bounds for your lot (using survey).
Confirm all applicable HOA, Historic, Conservation and Deed restrictions.

Please contact the appropriate entity before installation of utilities if you have any detailed inquiries regarding connections and processes:
Atmos CS Call 1(888)286-6700
Oncor CS Call 888-313-6862
OncorEmergencies Call 888-313-4747

Inspection Check list Phase One

Termite Treatment (Contact third party)
Form Board Survey (contact your surveyor)
Uffer Inspection (Electrical Contractor must validate and schedule)
Plumbing Rough (Plumbing Contractor must validate and schedule)
Foundation Inspection (Builder Responsibility)

Inspection Check List Phase Two

Electrical Rough in (Electrical Contractor must schedule)
Mechanical A/C Furnace and duct work must be installed
Plumbing Top out (Plumbing Contractor must schedule)
Energy Inspection (insulation,doors,windows)IECC Energy Code
Framing inspection (all tardes must pass green tag prior to closing any walls)

Inspection Check List Phase Three

Electrical Final (Electrical Contractor must schedule)
Mechanical Final (Mechanical Contractor must schedule)
Plumbing Final (Plumbing contractor must schedule)
Customer Service/Zoning Final (if applicable)
Building Final (all appliances,ac compressor,must be installed)

BUILDING CODE

01 IRC 2021 INTERNATIONAL RESIDENTIAL CODE

PROJECT AREA CALCULATION			
LIVING AREA (AC)		NON CONDITION AREA	
FIRST LEVEL	2,198 SF.	GARAGE	426 SF.
		COVD. PORCH	35 SF.
		COVD. PATIO	69 SF.
LOT AREA CALCULATION			
TOTAL LIVING AREA (AC)	2,198 SF.	LOT AREA	11,099 SF.
TOTAL UNDER ROOF	2,728 SF.	NON ROOF AREA	8,371 SF.
FOOTPRINT	2,728 SF.	% OF LOT	24.58 %

DISCLAIMER

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND.

NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

DISCLAIMER

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, CCI HOUSEPLANS WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

IT IS THE BUILDER/OWNER RESPONSIBILITY TO VERIFY ANY EASEMENTS OR DEED RESTRICTIONS THAT MAY IMPACT THIS PROJECT PRIOR TO CONSTRUCTION.

SEAL

PROJECT/PLAN ID

176 DIANA DR

DATE:

7/16/26

DRAWN BY:

NC

CHECKED BY:

ER

DESCRIPTION:

ONE STORY
SINGLE FAMILY RESIDENCE;
4 BEDROOMS, 2.5 BATHROOMS
TWO CAR ATTACHED GARAGE

SCALE:

NTS

SHEET TITLE:

COVER PAGE

SHEET #:

G0.00

FILE NAME:

G0.00_COVER_SHEET

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SCALE:
NTS

SHEET TITLE:
3D ELEVATION

SHEET #:
A5.01

FILE NAME:
A5.01_3D ELEVATIONS



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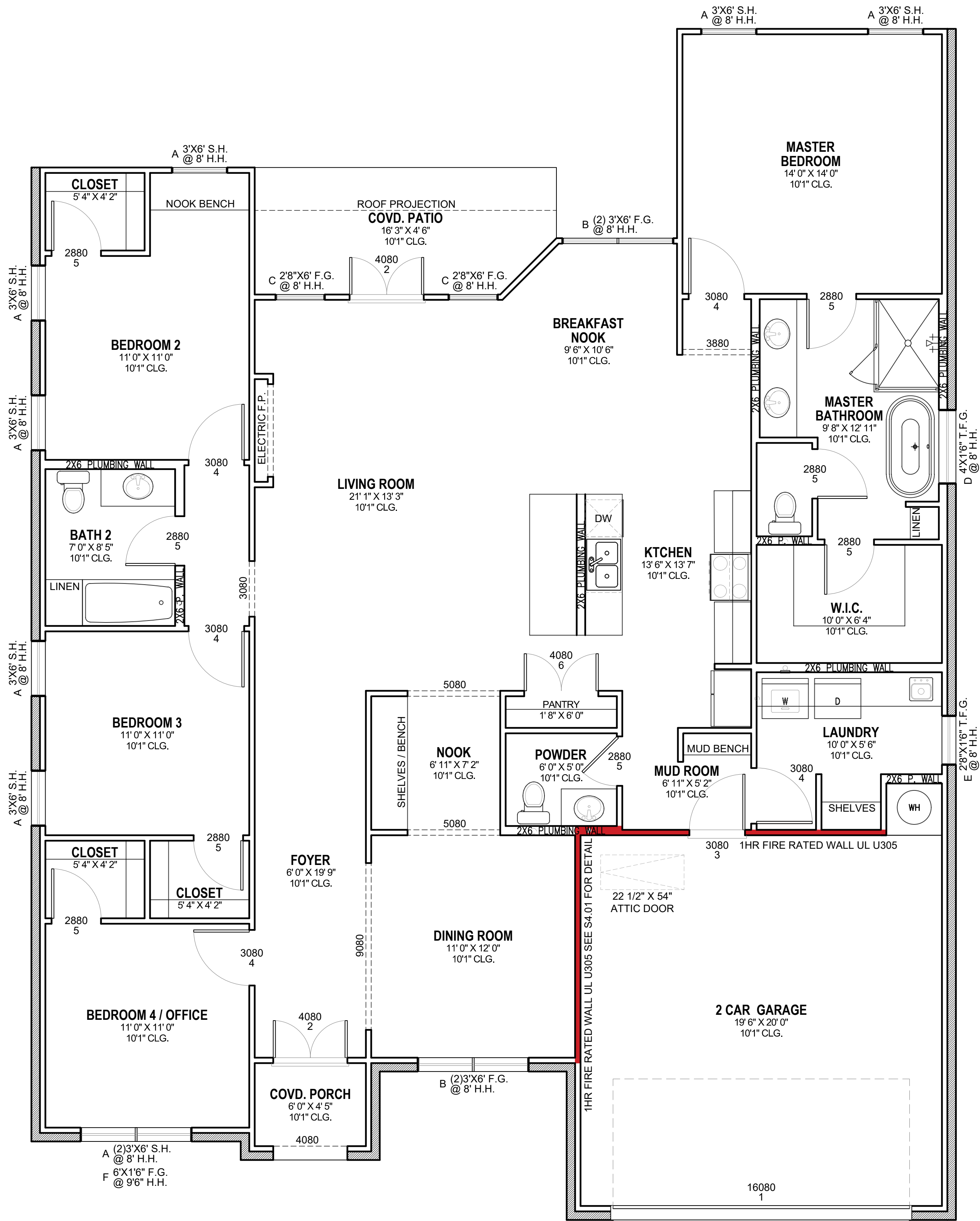
SHEET #:
A5.02

FILE NAME:
A5.02_3D ELEVATIONS

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DESIGN IN ACCORDANCE WITH INTERNATIONAL
RESIDENTIAL CODE

[R304.1] – Minimum Room Areas (≥70 Sq Ft)
[R305.1] – Ceiling Height (≥7'-0")
[R310.1] – Emergency Escape & Rescue Openings
(Bedrooms)
[R311.7] – Stairways
[R302.5] – Garage Separation
[R314, R315] – Smoke/CO Alarms
[R311.2] – Egress Door Requirements
[R308.4] – Safety Glazing At Required Locations
[N1102.1.1 (R402.1.1)] – Thermal Performance For
Fenestration
[R311.2] – Means Of Egress
[R302.5] – Garage Separation
[R312.1–312.2] – Guards And Handrails



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DESCRIPTION:

ONE STORY
SINGLE FAMILY RESIDENCE;
4 BEDROOMS, 2.5 BATHROOMS
TWO CAR ATTACHED GARAGE

SCALE:

1/4" = 1' - 0"

SHEET TITLE:

FLOOR PLAN

SHEET #:

A1.01

FILE NAME:

A1.01_FLOOR PLAN

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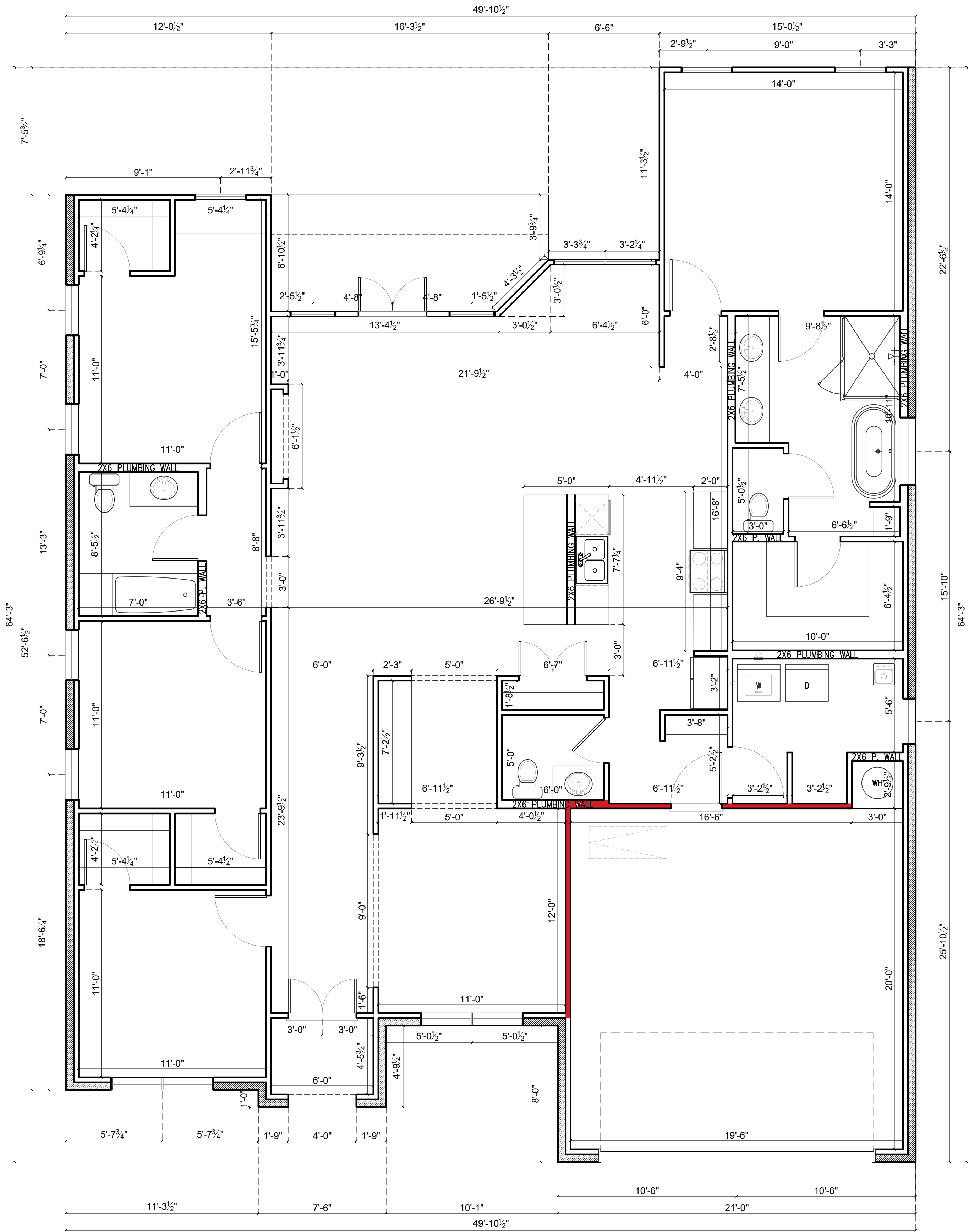
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A1.01

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1 DIMENSION PLAN
A1.02 1/4" = 1' - 0"

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DIMENSIONS PLAN

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A1.02

FILE NAME:

A1.02_DIMENSIONS PLAN

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GREEN/ENERGY CODE COMPLIANCE OUTLINE 2021 IECC

1. WATER EFFICIENCY:
- 1.1. ALL LAV, FAUCETS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER.

1.2. ALL SHOWER HEADS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER.

1.3. ALL TOILETS TO BE 1.3 GAL. PER FLUSH OR DUAL FLUSH OR WATER SENSE.
2. STORM WATER:
- 2.1. 70% OF NON-ROOF AREA MUST BE LANDSCAPED, HAVE PERMEABLE PAVING AND SLOPED FOR RUNOFF TO FILTRATION FEATURE.
3. POLY SEAL:
- 3.1. WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK.

3.2. SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK.

3.3. ALL PENETRATIONS OF TOP PLATE/CEILING INTO ATTIC, MUST BE SEALED WITH FOAM OR CAULK.

3.4. ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK.

3.5. BLOWER DOOR TESTING IS MANDATORY, NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS.

3.6. DUCT TIGHTNESS TESTING IS MANDATORY, TESTED AT 25 PASCALS, TOTAL LEAKAGE, LESS THAN OR EQUAL TO 4FT³/MIN PER 100 SQUARE FOOT OF CONDITIONED FLOOR AREA.

3.6.1. EXCEPT, WHEN THE DUCTS AND AIR HANDLERS ARE ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE.
4. INSULATION:
- 4.1. 2/12 OR GREATER SLOPED ROOFS MUST BE ENERGY STAR QUALIFIED OR MAY USE A RADIANT BARRIER OR USE SPRAY FOAM INSULATION AT THE ROOF DECK OR BE A VEGETATED ROOF.

4.2. ALL PIER AND BEAM/RAISED FLOORS MUST BE INSULATED WITH R-19 INSULATION OR HIGHER.

4.2.1. EXCEPT, UNVENTED CRAWL SPACE WALLS MUST BE INSULATED R-5 CONTINUOUS OR R-13 CAVITY INSULATION, WITH VAPOR BARRIER OVER EXPOSED EARTH.

4.3. ALL EXTERIOR WALLS MUST BE INSULATED WITH R-20 CAVITY OR R-13 CAVITY WITH R-5 CONTINUOUS INSULATION OR HIGHER.

4.4. CEILINGS MUST BE INSULATED WITH R-49 IF THERE IS ATTIC SPACE AND R-30 IF NO ATTIC SPACE (CATHEDRAL) AND THAT IS LIMITED TO 500 SQ. TOTAL OR 20% OF CEILING WHICHEVER IS LESS.

4.5. ATTIC ACCESS LADDERS AND OR HATCHES, MUST BE INSULATED THE SAME AS THE ATTIC AND HAVE WEATHER SEAL.
5. HVAC/SERVICE WATER:
- 5.1. ALL DUCTS IN UNCONDITIONED SPACE/ATTICS MUST USE R-8 DUCTING.

5.2. MECHANICAL SYSTEM PIPING CARRYING FLUID OVER 104°OR BELOW 55° MUST BE INSULATED WITH R-13 INSULATION.
6. WINDOWS AND DOORS:
- 6.1. MUST HAVE A U-FACTOR OF .32 OR LESS.

6.2. MUST HAVE A SHGC OF .25 OR LESS.
7. LIGHTNING:
- 7.1. ALL CAN LIGHTS MUST BE AIR-TIGHT TYPE.

7.2. MINIMUM OF 75% OF LIGHTNING MUST BE EFFICIENCY (ANYTHINGBUT INCANDESCENT).

GENERAL NOTES:

1. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
2. ALL WORK MUST BE DONE ACCORDING TO MANUFACTURE'S SPECIFICATIONS & INDUSTRY STANDARDS.
3. ALL WORK MUST BE DONE ACCORDING TO ALL CONCERNED CODE & REGULATIONS.
4. A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL CONSTRUCTION DETAILS.
5. CONTRACTOR TO FIELD VERIFY BUILDING ELEVATIONS AND EXISTING UTILITIES.
6. VERIFY CLEARANCES ARE REQUIRED FOR ALL EQUIPMENT.
7. BEFORE PROCEEDING WITH ANY WORK OR ORDERING ANY MATERIALS, THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND LOCATIONS OF BUILDING COMPONENT AND THEIR INTERRELATIONSHIP AT THE BUILDING SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.
8. CONTRACTOR AND/OR SUBCONTRACTOR IS ULTIMATELY RESPONSIBLE FOR VERIFYING AND MAKING ADJUSTMENTS TO ANY DISCREPANCIES BETWEEN THE PLANS AND THE BUILDING SITE.
9. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
10. SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES , THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
11. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT, UNLESS OTHERWISE NOTED.
12. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES, VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
13. U.N.O. ALL DOORS TO BE 6'-8" HIGH.
14. U.N.O. ALL ANGLED WALLS TO BE AT 45° DEGREES.
15. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
16. U.N.O. HEADER HEIGHTS SHALL BE AS FOLLOWS:
8" PLATE: 6'-10"
9" PLATE: 7'-10"
10" PLATE: 8'-10"
17. ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
18. PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF ARE REQUIRED PER PLANS AND CODE
20. ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
21. SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.

DESIGN IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE

- a. [R304.1] – MINIMUM ROOM AREAS (≥70 SQ FT)
- b. [R305.1] – CEILING HEIGHT (≥7'-0")
- c. [R310.1] – EMERGENCY ESCAPE & RESCUE OPENINGS (BEDROOMS)
- d. [R311.7] – STAIRWAYS
- e. [R302.5] – GARAGE SEPARATION
- f. [R314, R315] – SMOKE/CO ALARMS
- g. [R311.2] – EGRESS DOOR REQUIREMENTS
- h. [R308.4] – SAFETY GLAZING AT REQUIRED LOCATIONS
- i. [N1102.1.1 (R402.1.1)] – THERMAL PERFORMANCE FOR FENESTRATION
- j. [R311.2] – MEANS OF EGRESS
- k. [R302.5] – GARAGE SEPARATION
- l. [R312.1–312.2] – GUARDS AND HANDRAILS

DISCLAIMER:
The door and window dimensions and details provided herein are representative and intended for general planning purposes only. They do not constitute final specifications or material selections for the residence. Actual product types, finishes, brands, and installation details are subject to change based on design development, client preferences, budgetary adjustments, and availability at the time of construction.

1

DR & WIN SCHEDULE

A3.00

NTS

Door Schedule				
Key	Opening Size		Description	Count
	Width	Height		
1	16'-0"	8'-0"	GARAGE DOOR	1
2	4'-0"	8'-0"	EXTERIOR TEMPERED GLASS PANEL DOUBLE DOOR	2
3	3'-0"	8'-0"	INTERIOR FIRE RATED DOOR	1
4	3'-0"	8'-0"	INTERIOR WOOD SOLID DOOR	5
5	2'-8"	8'-0"	INTERIOR WOOD SOLID DOOR	8
6	4'-0"	8'-0"	INTERIOR WOOD SOLID DOUBLE DOOR	1

Window Schedule				
Key	Opening Size		Description	Count
	Width	Height		
A	3'-0"	6'-0"	SINGLE HUNG	9
B	3'-0"	6'-0"	FIXED GLASS	4
C	2'-8"	6'-0"	FIXED GLASS	2
D	4'-0"	1'-6"	TEMPERED FIXED GLASS	1
E	2'-8"	1'-6"	TEMPERED FIXED GLASS	1
F	6'-0"	1'-6"	FIXED GLASS	1
G	0'-8"	1'-6"	LOUVER	1
H	1'-0"	2'-0"	LOUVER	1

SEAL

PROJECT/PLAN ID

176 DIANA DR

DATE:

7/16/26

DRAWN BY:

NC

CHECKED BY:

ER

DESCRIPTION:

ONE STORY
SINGLE FAMILY RESIDENCE;
4 BEDROOMS, 2.5 BATHROOMS
TWO CAR ATTACHED GARAGE

SCALE:

NTS

SHEET TITLE:

DR-WN SCHEDULE

SHEET #:

A3.00

FILE NAME:

A3.00_DR-WN SCHED

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SURVEY PLAT: 176 DIANA DRIVE

LOT 734-A

LOT 735-A

LOT 736-A

LOT 749-A

LOT 748-A

LOT 747-A

(DIRECTIONAL CONTROL)

N 28°53'46" W 185.00' PLAT

N 61°06'13" E 60.00' PLAT

S 28°53'46" E 185.00' PLAT

S 61°06'13" W 60.00' PLAT

1/2"IRS FROM
WHICH BEAR 5/8"IRF
(S 27°01'39" E 0.80')

S61°06'13"W
283.02' TO 5/8" IRF(CRD)

METER POLE
FALLEN OVER

522.29' X

OHU

OHU

OHU

OHU

OHU

OHU

OHU

OHU

OHU

OHU

OHU

OHU

OHU

OHU

OHU

515.45'

516.50'

515.67'

525.16'

CRD

SITE BENCHMARK
"MAG" NAIL SET IN ASPHALT
PAVING ELEVATION = 527.37'

DIANA DRIVE

(50' RIGHT-OF-WAY)

LEGAL DESCRIPTION

Being Lot 748-A, of ROCKWALL LAKE PROPERTIES NO. 2, an Addition to Rockwall County, Texas, according to the Plat thereof, recorded in Cabinet A, Slide 121, Plat Records, Rockwall County, Texas.

NOTES

- 1) To the best of my knowledge and belief the easements recorded in Volume 51, Page 118, Volume 51, Page 121, Volume 55, Page 164, Volume 59, page 519, & Volume 83, Page 136 R.P.R.R.C.T. do not affect the property.
- 2) All elevations shown hereon are based RTK GPS observations and relative to each other only.

FLOOD

According to the Flood Insurance Rate Map, Community Panel No. 48397C 0040L, dated 09-26-2008. The subject property is located in Zone "X" & Zone "A". This information is obtained from FEMA.org Map Center, surveyor assumes no liability as to the accuracy of the FEMA website. Seller's disclosure should identify any existing flood insurance policies.

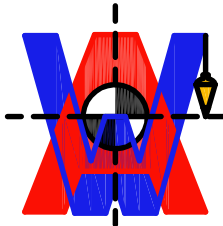
LEGEND

● 1/2" IR FOUND	⊙ X-FOUND	☒ TELE. BOX	⊙ BOLLARD POST	⦿ UTILITY POLE	— OHU — OVERHEAD UTILITY LINE	▤▥▦ COVERED AREA	▤▥▦ CONCRETE	▤▥▦ BUILDING LINE
○ 1/2" IR SET	⊙ X-SET	☐ CABLE BOX	⊙ SEPTIC COVER	⦿ WATER METER	— GUY WIRE ANCHOR	▤▥▦ ASPHALT	▤▥▦ GRAVEL	▤▥▦ EASEMENT
⊙ 5/8" IR FOUND	⊕ 1" IR FOUND	⊗ ELECTRIC BOX	⊙ SAN. SEW. MH.	⦿ GAS METER	— X — BARBED WIRE FENCE	▤▥▦ FIRE LANE STRIPE	▤▥▦ BRICK	▤▥▦ BOUNDARY
⊙ 3/8" IR FOUND	⊕ 1" IP FOUND	☐ BRICK COLUMN	⊗ IRRIGATION VALVE	⦿ A.C. PAD	— □ — IRON FENCE	▤▥▦ BRICK RET. WALL	▤▥▦ STONE	▤▥▦ HIGH BANK LINE
⦿ 60-D NAIL FOUND	⦿ POINT FOR CORNER	☐ STONE COLUMN	⦿ WATER VALVE	☒ TRANS. BOX	— ○ — CHAINLINK FENCE	▤▥▦ STONE RET. WALL	▤▥▦ WOOD DECK	▤▥▦ FEMA FLOOD LINE
⦿ PK NAIL SET	▤▥▦ CON. MONUMENT	⦿ STORM DRAIN MH.	⦿ FIRE HYDRANT	⦿ POOL EQUIP.	— // — WOOD FENCE	▤▥▦ CON. RET. WALL	▤▥▦ BUILDING WALL	⦿ HANDICAP SPACE
⦿ 1/2" IP FOUND	⦿ 3/4" IP FOUND	⦿ SAN. SEW. CO.	⦿ LIGHT POLE		— △ — PIPE RAIL FENCE	▤▥▦ STUC. RET. WALL	▤▥▦ TILE	

I, John S. Turner, Registered Professional Land Surveyor of the State of Texas, do certify that this Survey Plat is a true, correct and accurate representation of the property shown hereon as determined by survey on the ground under my supervision. The lines and dimensions of said property being indicated by the plat. The improvements are within the boundaries of the property lines at the distances indicated and there are no visible and apparent easements, encroachments, conflicts or protrusions, except as shown. This survey meets or exceeds the minimum standards required by the Texas Board of Professional Engineers and Land Surveyors.

This survey was performed exclusively for the parties in connection with the G. F. Number shown hereon and is licensed for a single use. This survey remains the property of the Surveyor. Unauthorized reuse is not permitted without the expressed written permission of the Surveyor. This survey is an original work protected by United States Copyright law and international treaties. All rights reserved. Do not make illegal copies.

John S. Turner
JOHN S. TURNER
RPLS 5310



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Professional Land Surveyors

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JOB# 26-0953
DATE 07-13-2026
CERTIFY TO: ROBERT WHEELER
DRAWN BY: TJS
G.F. NO. FR-2792-BW
TITLE CO: XX

"A professional company operating in your best interest"