



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$500.00 + \$20.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$500.00 + \$20.00 ACRE) ¹
- ☐ FINAL PLAT (\$500.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$500.00 + \$20.00 ACRE) ^{1 & 3}
- ☐ AMENDING OR MINOR PLAT (\$500.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$200.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$1,000.00 + \$20.00 ACRE) ^{1 & 2}
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$500.00) ²

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$200.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS [RESIDENTIAL] (\$200.00) ²
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS [COMMERCIAL] (\$1,000.00) ²

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$1,000.00 + \$20.00 ACRE) ^{1 & 3}
- ☐ SPECIFIC USE PERMIT [RESIDENTIAL] (\$200.00 + \$20.00 ACRE) ^{1, 2 & 3}
- ☒ SPECIFIC USE PERMIT [COMMERCIAL] (\$1,000.00 + \$20.00 ACRE) ^{1, 2 & 3}
- ☐ PLANNED DEVELOPMENT DISTRICT (\$1,500.00 + \$20.00 ACRE) ^{1 & 3}
- ☐ PD DEVELOPMENT PLANS (\$1,500.00 + \$20.00 ACRE) ^{1 & 3}

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$2,500.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

³: AN ADDITIONAL FEE OF \$150.00 WILL BE REQUIRED FOR THE COST OF NOTIFICATIONS.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS _____

SUBDIVISION **E TEAL SURVEY**

LOT _____

TRACT
4-26

BLOCK _____

ABSTRACT
NO. 207

GENERAL LOCATION **UNDEVELOPED LOT BETWEEN MEDICAL DRIVE AND FM 3097**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-9**

CURRENT USE **VACANT LOT**

PROPOSED ZONING **PD-9**

PROPOSED USE **EMERGENCY GROUND AMBULANCE SERVICES**

ACREAGE **5.1527 AC**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER **JWS Land, Ltd.**

☒ APPLICANT **Kimley-Horn and Associates, Inc.**

CONTACT PERSON **Kelly Cannell**

CONTACT PERSON **Logan Lindsley, PE**

ADDRESS _____

ADDRESS _____

CITY, STATE & ZIP _____

STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kelly Cannell [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,257.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF JULY, 2026. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

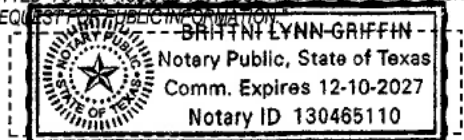
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF July, 2026

OWNER'S SIGNATURE

Kelly Cannell

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Brittany Griffin



MY COMMISSION EXPIRES 12-10-2027



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

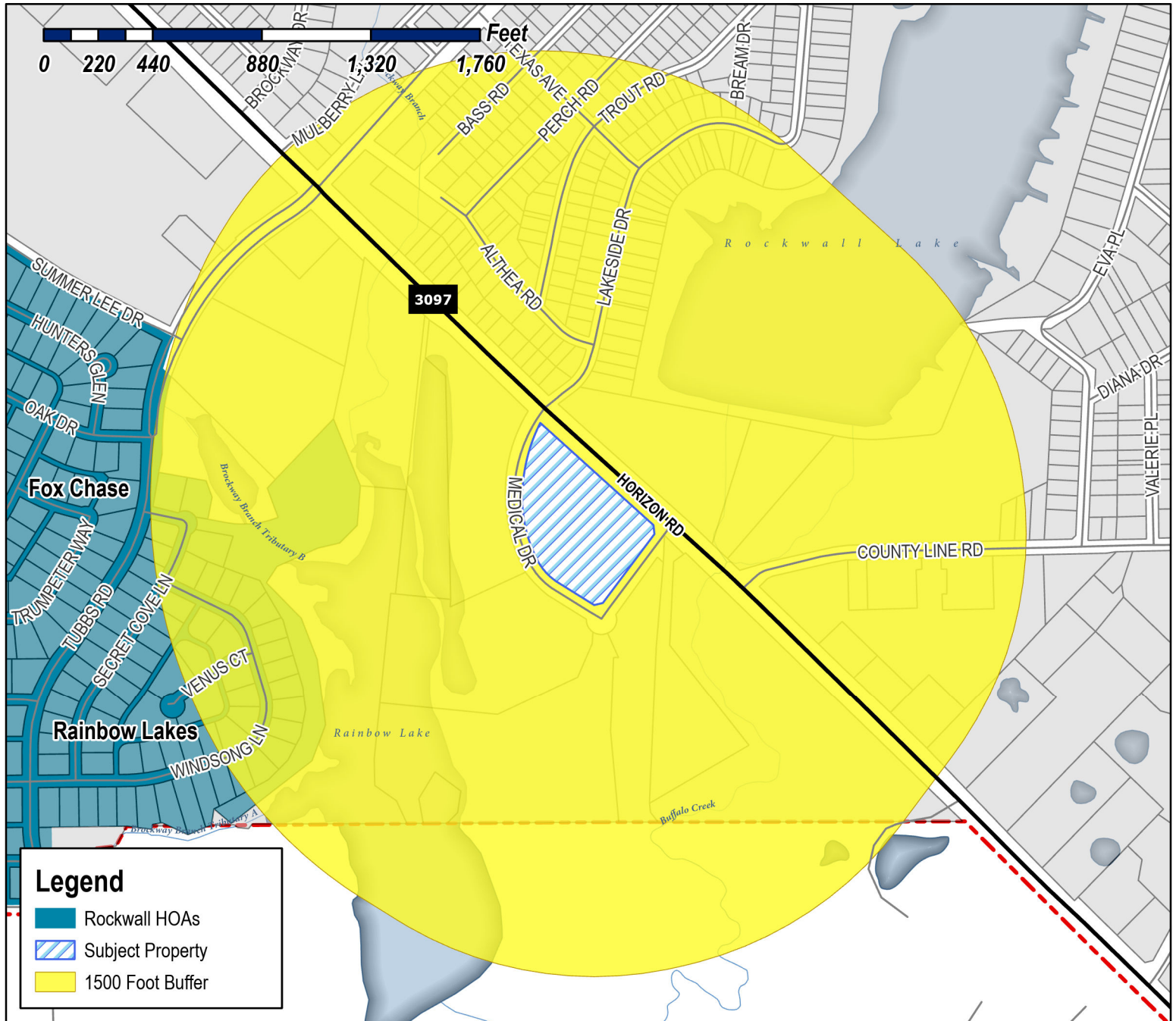




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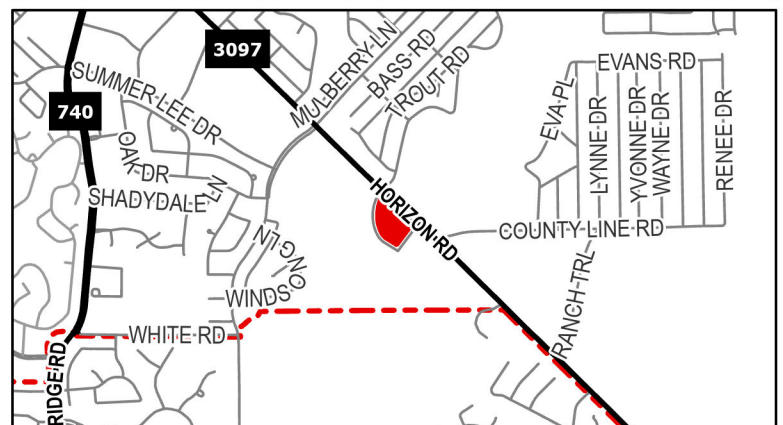
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Case Number: Z2026-045
Case Name: SUP for a Medical Office Exceeding the Maximum Building Size in a General Retail District
Case Type: Zoning
Zoning: General Retail (GR) District
Case Address: Medical Drive

Date Saved: 7/17/2026

For Questions on this Case Call (972) 771-7745

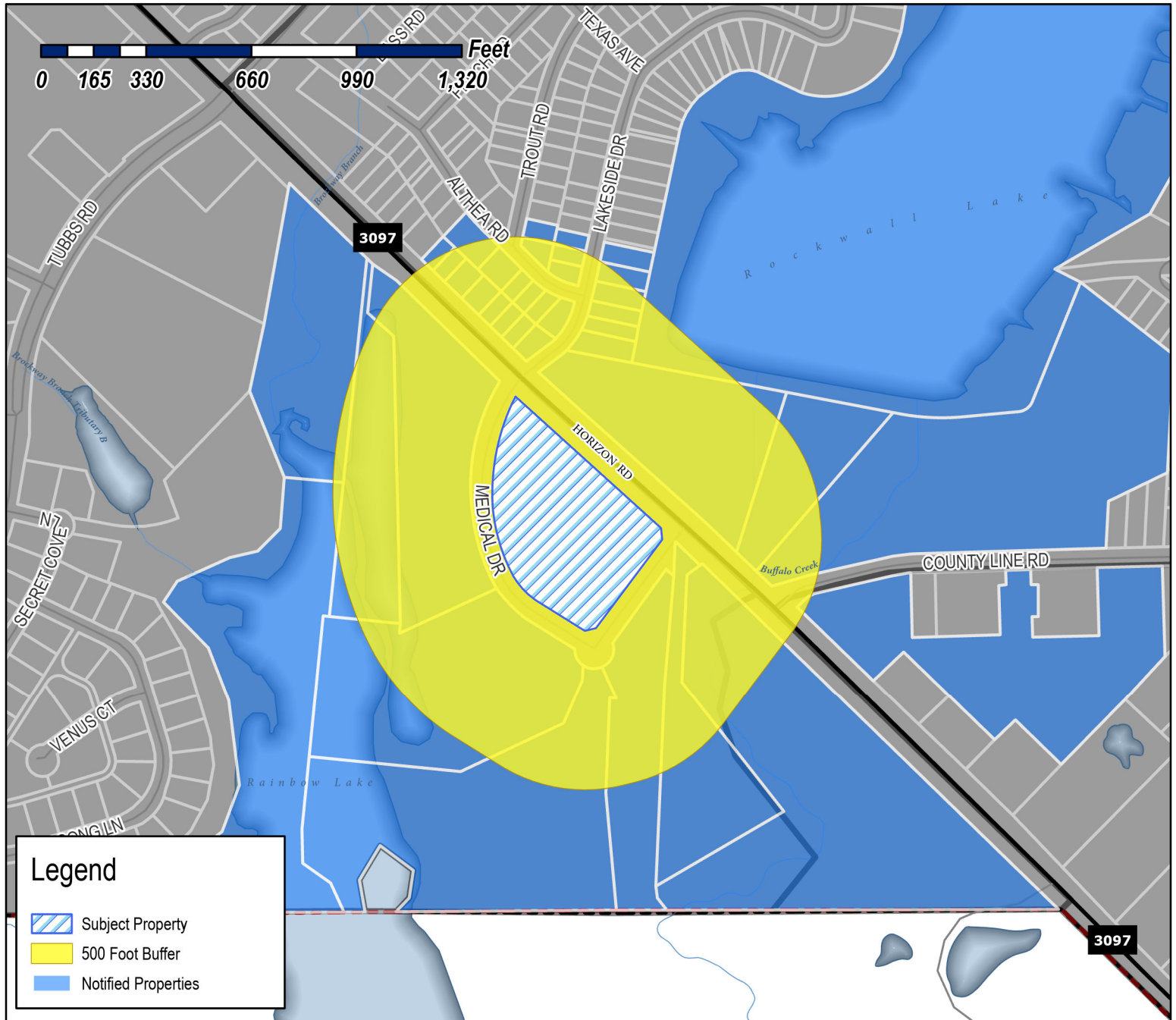




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RESIDENT
108 ALTHEA RD
ROCKWALL, TX 75032

SHARING SMILES LLC
108 CRYSTAL CT
RICHARDSON, TX 75081

HUCK AMBER L
111 TROUT ST
ROCKWALL, TX 75032

VU RUBY HONG-NGOC
11402 JOLA AVENUE
GARDEN GROVE, CA 92843

ESCOBAR SERGIO & ANABEL
118 ALTHEA RD
ROCKWALL, TX 75032

OJEDA ELIZABETH RODRIGUEZ
128 Althea Rd
Rockwall, TX 75032

SALAZAR JOSE & MARIA E
132 ALTHEA RD
ROCKWALL, TX 75032

WADE CHELSEA L
133 ALTHEA ROAD
ROCKWALL, TX 75032

RESIDENT
139 LAKESIDE DR
ROCKWALL, TX 75032

GUZMAN LUIS & YOLANDA
142 ALTHEA RD
ROCKWALL, TX 75032

RESIDENT
149 LAKESIDE DR
ROCKWALL, TX 75032

RESIDENT
152 ALTHEA RD
ROCKWALL, TX 75032

MCCORMICK SHAWN & NICOLE PERNA
157 LAKESIDE DR
ROCKWALL, TX 75032

RESIDENT
164 ALTHEA RD
ROCKWALL, TX 75032

RESIDENT
165 LAKESIDE DR
ROCKWALL, TX 75032

ESPINOSA DAVID AND ERIN
174 LAKESIDE DR
ROCKWALL, TX 75032

MAKARA MICHAEL AND LYNN
179 LAKESIDE DR
ROCKWALL, TX 75032

RESIDENT
182 LAKESIDE DR
ROCKWALL, TX 75032

PARIS BRIAN I AND LINDSEY
189 LAKESIDE DR
ROCKWALL, TX 75032

RAMIREZ EDDIE RAFAEL & CASSANDRA GAYLE
194 Lakeside Dr
Rockwall, TX 75032

KELLY EDDY DELMAR AND
REX ALLEN KELLY AND RUSSELL GENE KELLY
2324 E I-30
ROYSE CITY, TX 75189

ARP 2014-1 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT
23975 Park Sorrento Ste 300
Calabasas, CA 91302

CTR PARTNERSHIP LP
24901 Dana Point Harbor Dr Ste A200
Dana Point, CA 92629

NGUYEN THI THANH HAI
3418 HIGHGATE CT
SACHSE, TX 75048

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

CASTILLO SILVIA
4125 Horizon Rd
Rockwall, TX 75032

RESIDENT
4175 FM3097
ROCKWALL, TX 75032

RESIDENT
4215 FM3097
ROCKWALL, TX 75032

RESIDENT
4275 FM3097
ROCKWALL, TX 75032

RESIDENT
4325 FM3097
ROCKWALL, TX 75032

RESIDENT
4375 FM3097
ROCKWALL, TX 75032

RESIDENT
4425 FM3097
ROCKWALL, TX 75032

RESIDENT
4485 HORIZON RD
ROCKWALL, TX 75032

GAGNON STEVEN C ETUX SUZANNE
459 WINDING RIDGE LN
ROCKWALL, TX 75032

RESIDENT
4920 HORIZON RD
ROCKWALL, TX 75032

LOPEZ RICARDO C
519 E Interstate 30 PMB 306
Rockwall, TX 75087

RESIDENT
5242 MEDICAL DR
ROCKWALL, TX 75032

RESIDENT
5250 MEDICAL DR
ROCKWALL, TX 75032

RESIDENT
5335 FM3097
ROCKWALL, TX 75032

RAMOS JAIME & JUDITH
5411 VICTOR ST
DALLAS, TX 75214

2026 D MATTHEWS REVOCABLE TRUST
DONNA MATTHEWS - TRUSTEE
5550 HORIZON RD
ROCKWALL, TX 75032

NGUYEN TAMMY
7910 SARAHVILLE DR
DALLAS, TX 75252

NUNEZ LUZ ISELA
8655 Brookhollow Blvd Apt 8102
Frisco, TX 75034

NORTH TEXAS MUNICIPAL WATER DIST
P O BOX 2408
WYLIE, TX 75098

PAIGE RYAN PROPERTIES LLC
P. O. BOX 853
WYLIE, TX 75098

LEJ PARTNERS LTD
PO BOX 1499
PROSPER, TX 75078

NORTH TEXAS MUNICIPAL WATER DIST
PO BOX 2408
WYLIE, TX 75098

FOX CHASE DEVELOPMENT CORP
PO BOX 369
ROCKWALL, TX 75087

JWS LAND LTD
PO Box 6621
McKinney, TX 75071

GRUBBS DAVID G
PO BOX 852
ROCKWALL, TX 75087

Baylor Scott and White Health

301 N Washington Ave

Dallas, TX 75246

angelique.benschneider@bswhealth.org

July 17th, 2026

Planning and Zoning Department

City of Rockwall

385 S. Goliad Street, Rockwall, TX 75087

RE: Letter of Explanation for a Specific Use Permit

Dear Members of Planning and Zoning Commission and City Council,

Please accept this letter and the enclosed materials as our formal request for a Specific Use Permit (SUP) for a proposed ambulatory service center located at the undeveloped lot between Medical Drive and FM 3097.

To assist the city in evaluating this request, we provide the following project details and operational standards:

Property Information & Existing Conditions

- **Site Area:** 5.1527 acres.
- **Current Zoning:** PD-9.
- **Current Use:** Undeveloped Lot.
- **Surrounding Zoning & Uses:** The surrounding area is zoned PD-9 and PD-75. The properties to the north consist of Rockwall Lake and a single-family development, to the south an existing nursing home facility, to the east a wastewater treatment plant, and to the west an undeveloped lot. The proposed use will be compatible with these adjacent properties.

Proposed Use & Operations

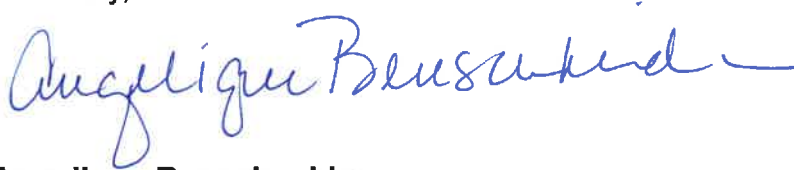
We are proposing to operate an ambulatory service center with the following operational parameters:

- **Hours of Operation:** 7:00 AM – 7:00 PM
- **Number of Employees:** 50 employees

- **Building Size & Height:** The proposed operation will be a 42,000 sq. ft. building, with a maximum height of 36 feet.

We believe this project is a responsible development that will enhance the area while adhering to the City's codes. Thank you for your time, consideration, and review of this SUP application. Please let us know if you require any additional information.

Sincerely,

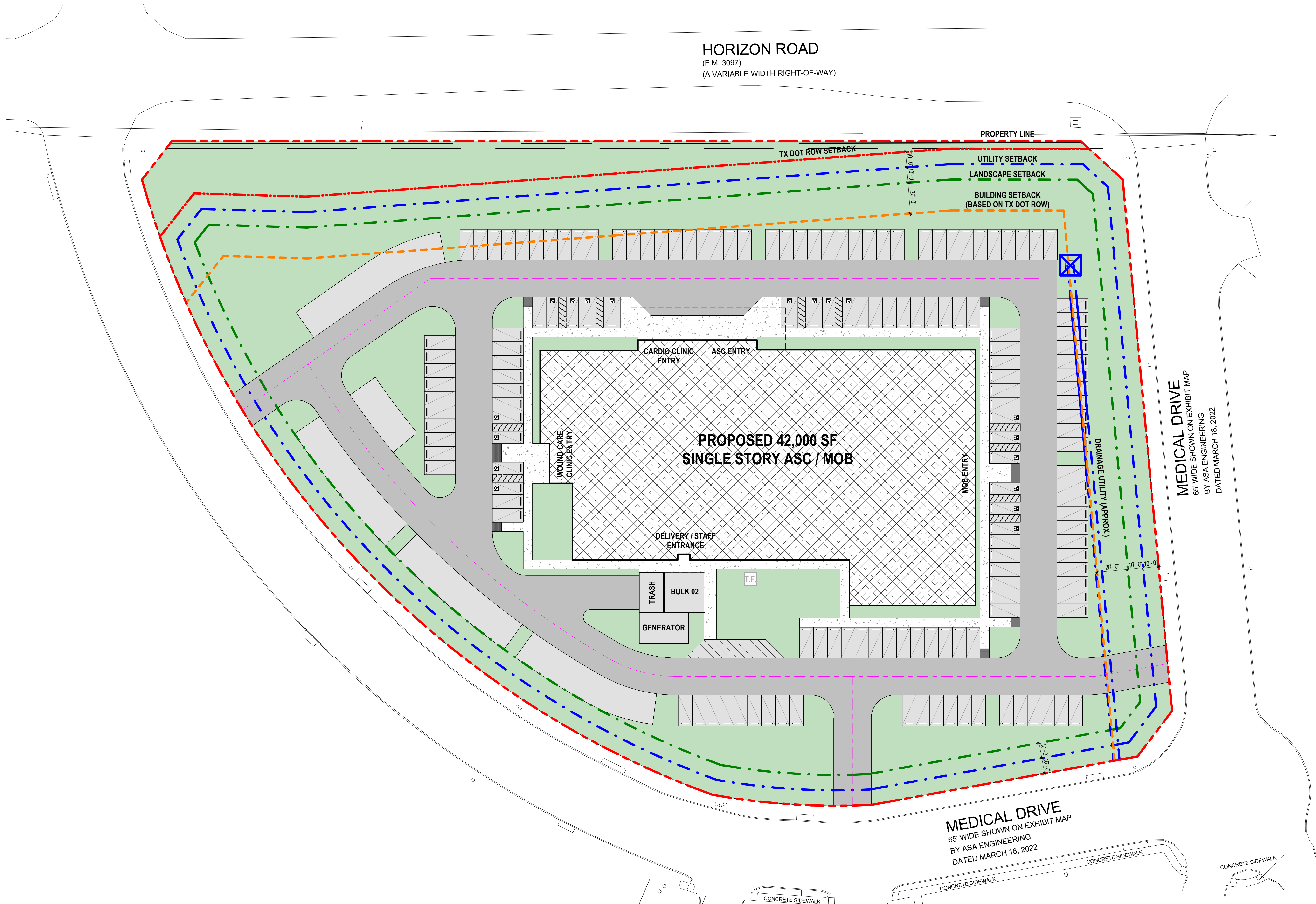


Angelique Benschneider

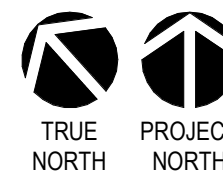
System VP

Baylor Scott and White Health

SITE AREA: 5.15 ACRES
DEVELOPABLE SITE AREA: 4.05 ACRES



01 PROPOSED ARCHITECTURAL SITE PLAN
1" = 30'-0"

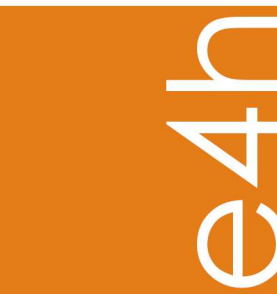


SEAL:
PROJECT NUMBER: 3125074
DATE: 07/17/2026
SHEET TITLE AND NUMBER:

AS1.01

FUTURE EXPANSION
ARCHITECTURAL SITE PLAN

HAMMES PARTNERS HEALTHCARE
BAYLOR SCOTT & WHITE - THE HEART HOSPITAL
ROCKWALL ASC & CLINIC
HORIZON RD. & MEDICAL DR.
ROCKWALL, TX 75032



ENVIRONMENTS
FOR HEALTH
ARCHITECTURE

888.781.8441 817.226.1917 801 Cherry St. Ste. 500, Fort Worth, TX 76102
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LEGAL DESCRIPTION

BEING a tract of land situated in the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas and being a part of the remainder of a called 34.212 acre tract of land described in Special Warranty Deed to JWS LAND LTD., recorded in Volume 4476, Page 271, Official Public Records, Rockwall County, Texas, and being all of Lot 1, Block D, Horizon Ridge Medical Park Edward, shown on Exhibit Map by ASA Engineering, dated March 18, 2022, and being more particularly described as follows:

BEGINNING at a 5/8" iron rod with a red plastic cap stamped "KHA" set at the northwest corner of a corner clip at the intersection of the northeast right-of-way line of Medical Drive (65' wide, shown on exhibit map by ASA Engineering, dated March 18, 2022), and the southeast right-of-way line of Horizon Road (also known as F.M. 3097, a called variable width right-of-way);

THENCE South 05°27'13" East, with said corner clip, passing at a distance of 1.70 feet, a 5/8" iron rod found for a TXDOT Survey Marker right-of-way monument, continuing a total distance of 37.12 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner, and being the southeast corner of said corner clip;

THENCE with said northwest right-of-way line of Medical Drive and with the east right-of-way line of Medical Drive, the following courses and distances:

South 36°54'18" West, a distance of 346.06 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

South 79°23'56" West, a distance of 37.01 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

North 58°06'25" West, a distance of 175.34 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner, said point being the beginning of a non-tangent curve to the right with a radius of 458.82 feet, a central angle of 12°53'07", and a chord bearing and distance of North 44°10'17" West, 102.97 feet;

In the said northwesterly direction, with said non-tangent curve to the right, an arc distance of 103.18 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner, said point being the beginning of a non-tangent curve to the right with a radius of 595.00 feet, a central angle of 54°23'24", and a chord bearing and distance of North 00°37'51" West, 543.85 feet;

In the said northwesterly direction, with said non-tangent curve to the right, an arc distance of 564.82 feet to a capped iron rod set for the west end of a corner clip at the intersection of the said east right-of-way line of Medical Drive and said southeast right-of-way line of Horizon Road;

THENCE North 79°55'15" East with said corner clip, passing at a distance of 29.06 feet, a 5/8" iron rod found for a TXDOT Survey Marker right-of-way monument, continuing in said northeasterly direction for a total distance of 31.56 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner, in said southwest right-of-way line of Horizon Road, said point

being the beginning of a non-tangent curve to the right with a radius of 5,779.58 feet, a central angle of 00°03'27", and a chord bearing and distance of South 47°47'00" East, a distance of 5.80 feet;

THENCE with said southwest right-of-way line of Horizon Road, the following courses and distances:

In the said southeasterly direction, with said non-tangent curve to the right, an arc distance of 5.80 feet to a 1/2 iron rod set for corner;

South 47°48'43" East, a distance of 582.91 feet to the **POINT OF BEGINNING** and containing 224,453 square feet or 5.1527 acres of land.

Bearing system based on the State Plane Coordinate System of 1983, Texas North Central Zone (4202), North American Datum of 1983 (2011).