



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$500.00 + \$20.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$500.00 + \$20.00 ACRE) ¹
- ☐ FINAL PLAT (\$500.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$500.00 + \$20.00 ACRE) ^{1&3}
- ☐ AMENDING OR MINOR PLAT (\$500.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$200.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$1,000.00 + \$20.00 ACRE) ^{1&2}
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$500.00) ²

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$200.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS [RESIDENTIAL] (\$200.00) ²
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS [COMMERCIAL] (\$1,000.00) ²

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$1,000.00 + \$20.00 ACRE) ^{1&3}
- ☐ SPECIFIC USE PERMIT [RESIDENTIAL] (\$200.00 + \$20.00 ACRE) ^{1,2&3}
- ☐ SPECIFIC USE PERMIT [COMMERCIAL] (\$1,000.00 + \$20.00 ACRE) ^{1,2&3}
- ☐ PLANNED DEVELOPMENT DISTRICT (\$1,500.00 + \$20.00 ACRE) ^{1&3}
- ☐ PD DEVELOPMENT PLANS (\$1,500.00 + \$20.00 ACRE) ^{1&3}

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$2,500.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

³: AN ADDITIONAL FEE OF **\$150.00** WILL BE REQUIRED FOR THE COST OF NOTIFICATIONS.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1204 MARILYN WAYNE LANE**

SUBDIVISION **MAYTONA RANCH ESTATES** LOT **17** BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **AG**

CURRENT USE **SINGLE FAMILY**

PROPOSED ZONING **SF 16**

PROPOSED USE **SINGLE FAMILY**

ACREAGE **.65** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF **HB3167** THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER **LEON + GRACIE WALKER** ☒ APPLICANT

CONTACT PERSON **LEON WALKER**

CONTACT PERSON

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **Leon Walker** [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

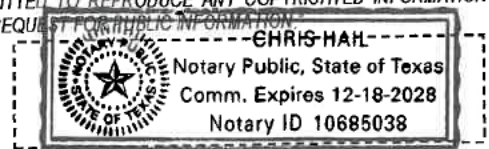
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$**2,500.00** TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE **16** DAY OF **July** **2026**. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE **16** DAY OF **July** **2026**

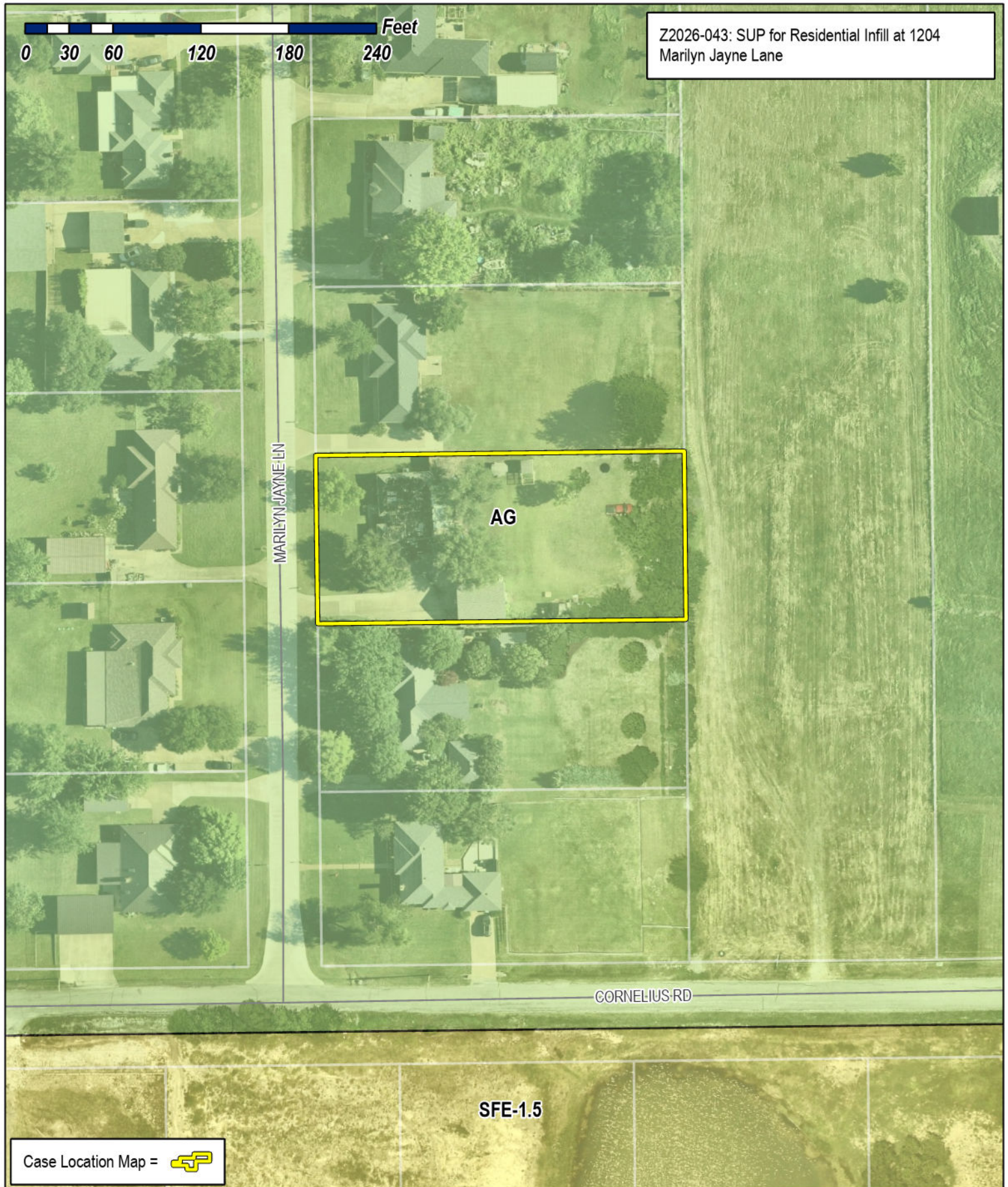
OWNER'S SIGNATURE

Leon Walker

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES **12/18/2028**



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

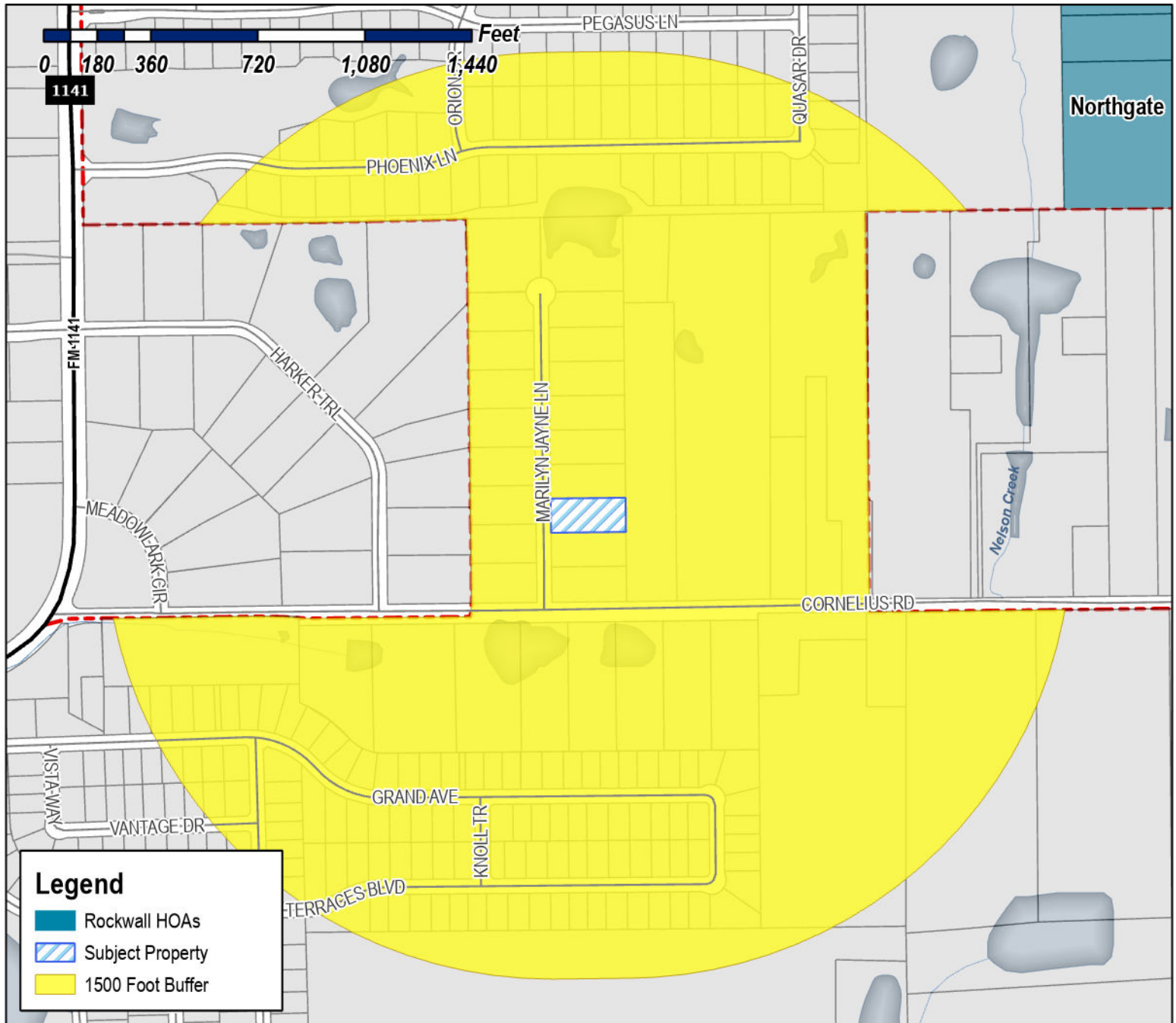




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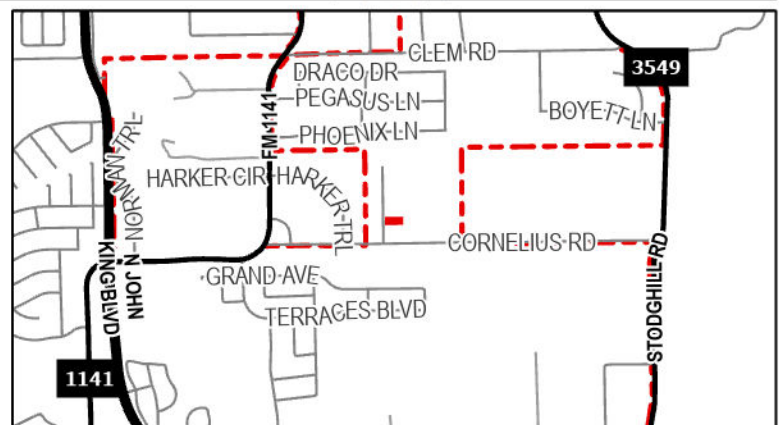
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Case Number: Z2026-043
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 1204 Marilyn Jayne Lane

Date Saved: 7/17/2026

For Questions on this Case Call (972) 771-7745

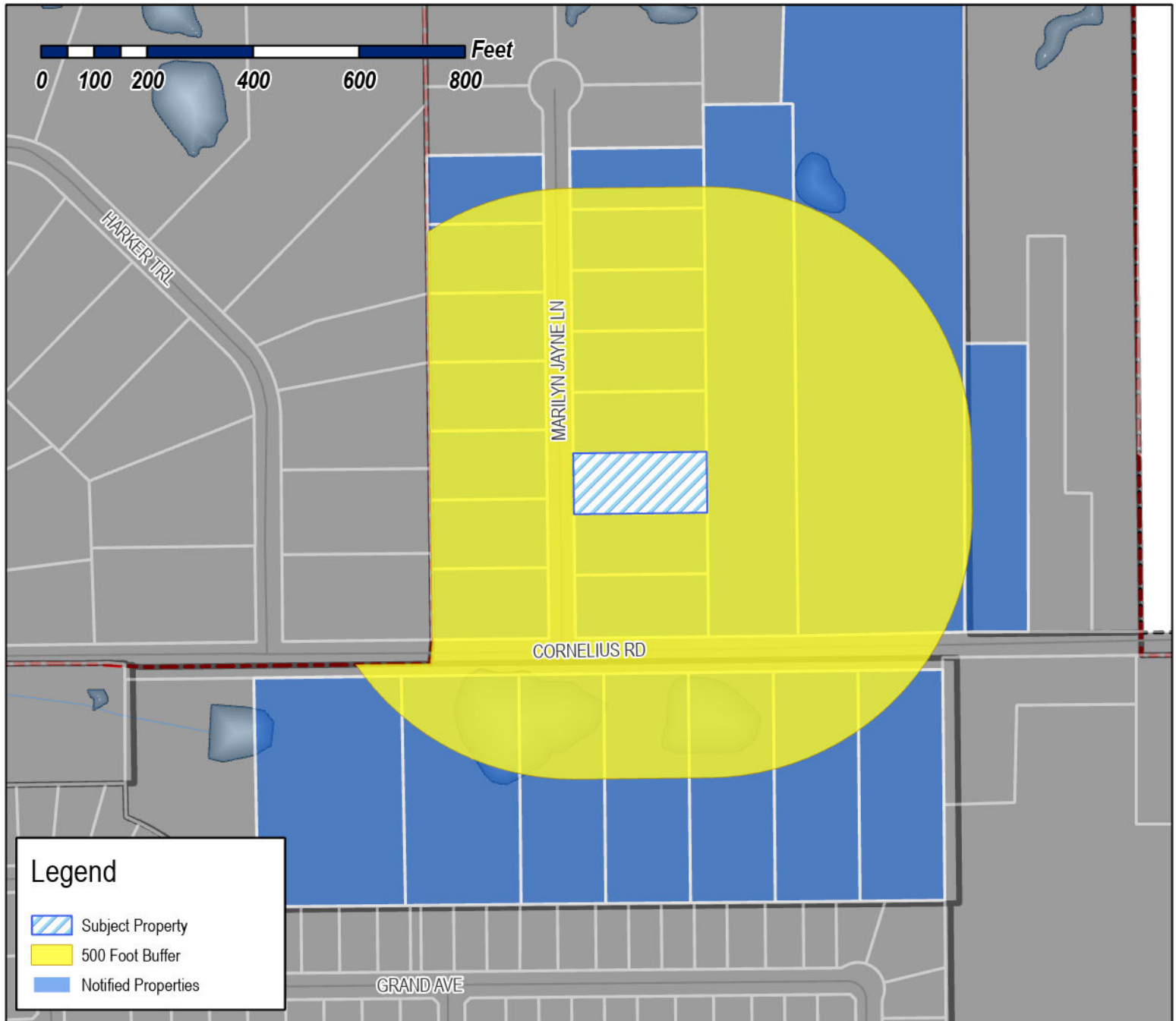




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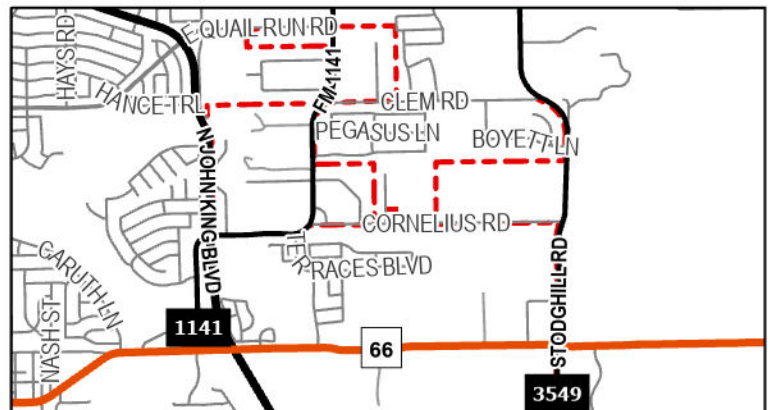
Legend

- Subject Property
- 500 Foot Buffer
- Notified Properties

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Date Saved: 7/17/2026

For Questions on this Case Call: (972) 771-7745



THOMAS STEPHEN R & SHARON C
1200 MARILYN JAYNE DR
ROCKWALL, TX 75087

RANDY AND KAY WILSON REVOCABLE TRUST
RANDY SCOTT WILSON AND KAY MARIE
WILSON- CO TRUSTEES
1201 MARILYN JAYNE
ROCKWALL, TX 75087

JAMES BRIAN & KIMBERLY
1202 MARILYN JAYNE DR
ROCKWALL, TX 75087

SMITH DANIEL T
1203 MARILYN JAYNE DR
ROCKWALL, TX 75087

WALKER GRACIE & LEON
1204 MARILYN JAYNE DR
ROCKWALL, TX 75087

JAMES DAVID L
1205 MARILYN JAYNE DRIVE
ROCKWALL, TX 75087

COOK ROBERT M ETUX
1206 MARILYN JAYNE DR
ROCKWALL, TX 75087

CANTRELL CARL DEAN
1207 MARILYN JAYNE DR
ROCKWALL, TX 75087

RODRIGUEZ CONRADO JR
1208 MARILYN JAYNE DR
ROCKWALL, TX 75087

BARTON FORRIS WOODROW JR & DIXIE D
1209 MARILYN JAYNE DR
ROCKWALL, TX 75087

EMRA JOHN AND SHERYL AND
PAUL AND KATIE EMRA
1210 MARILYN JAYNE LANE
ROCKWALL, TX 75087

RYLANDER GREGORY L & PAMELA J
1211 MARILYN JAYNE
ROCKWALL, TX 75087

RESIDENT
1212 MARILYN JAYNE LN
ROCKWALL, TX 75087

RESIDENT
1213 MARILYN JAYNE LN
ROCKWALL, TX 75087

RESIDENT
1214 MARILYN JAYNE LN
ROCKWALL, TX 75087

HARGROVE TODD & TONDA
1381 LEEWARD DR
ROCKWALL, TX 75087

SINGH GAGANPREET K AND PAWANPREET
151 STEVENSON DR
FATE, TX 75087

POLK BAILEY & BROOKE
333 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
375 CORNELIUS RD
ROCKWALL, TX 75087

PARMAR ANKIT
401 CORNELIUS RD
ROCKWALL, TX 75087

VATS AKHIL
451 CORNELIEUS RD
ROCKWALL, TX 75087

RESIDENT
487 CORNELIUS RD
ROCKWALL, TX 75087

FLEMING HALLIE B
508 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
520 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
525 CORNELIUS RD
ROCKWALL, TX 75087

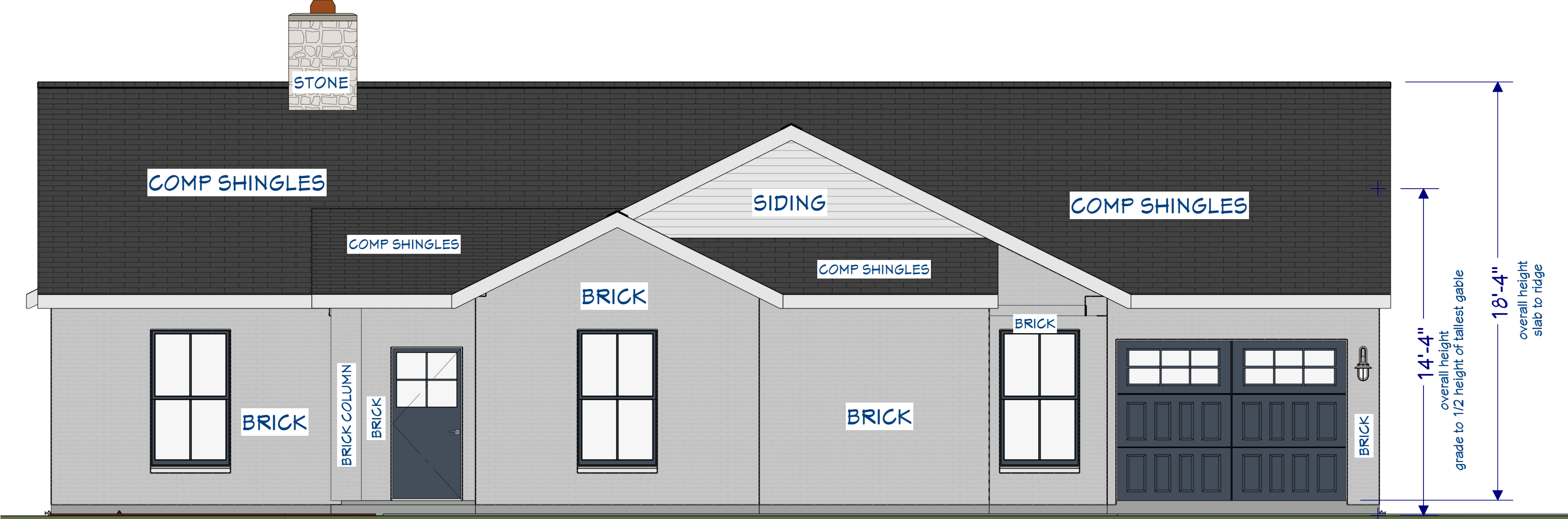
RESIDENT
555 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
600 CORNELIUS RD
ROCKWALL, TX 75087

PEWITT RONNY M & JENNIFER L
668 CORNELIUS RD
ROCKWALL, TX 75087

SOUTHALL MARK P & KATHY L
P. O. BOX 2214
ROCKWALL, TX 75087

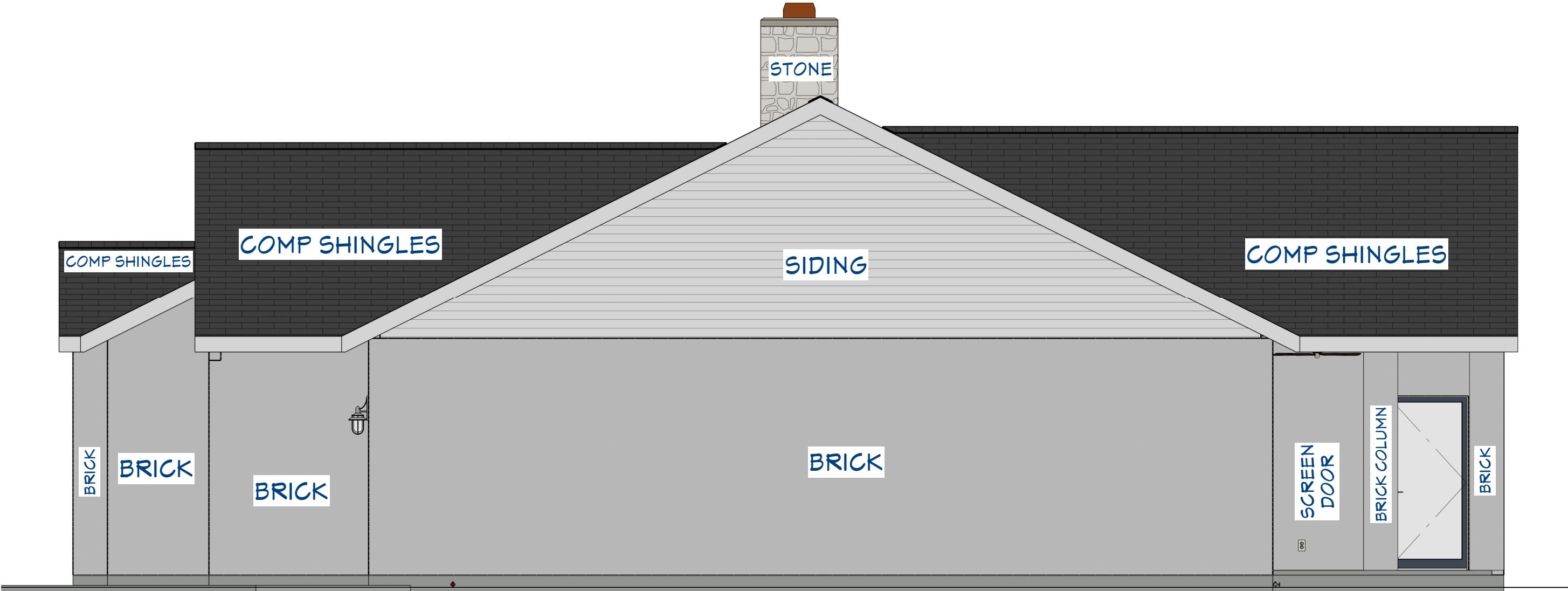
ESTATE OF MICHAEL L PEOPLES SR
ANDREA DANLEY - INDEPENDENT EXECUTOR
PO Box 154
Fate, TX 75132



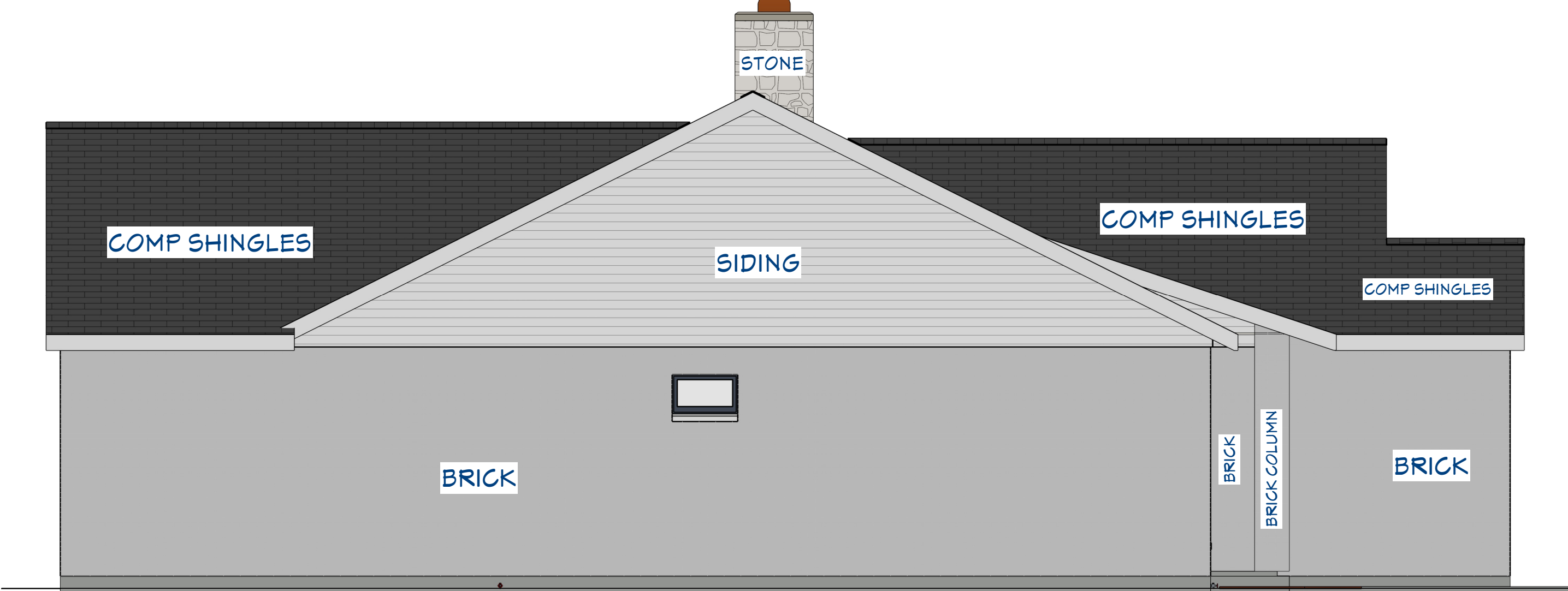
FRONT ELEVATION
94% masonry



REAR ELEVATION
80% masonry



RIGHT ELEVATION
75% masonry



LEFT ELEVATION
75% masonry



LAURA LOWE DESIGN
custom home design
since 1981
972-462-9300

HILLTOP HOMES

THE WALKER RESIDENCE
1204 Marilyn Jayne Drive
Lot 17, Maytona Ranch Estates
Rockwall County, Texas

DATE:

6-27-26

SCALE:

1/4"=1'0"

SHEET:

4
ELEVS

3



RENDERING - artist interpretation - not to scale

COPYRIGHT AND USAGE AGREEMENT

The designs contained in these drawings and the drawing themselves are copyrighted and are the sole property of Laura Lowe. They are subject to copyright protection under Federal law. These designs and drawings shall not be used for additions to, modifications of, or completion of drawings without written permission from Laura Lowe. These designs and drawings may not be used as a basis of any other project. Copies of these drawings and use of these drawings for construction are allowed only after client has received a license from Laura Lowe Design.

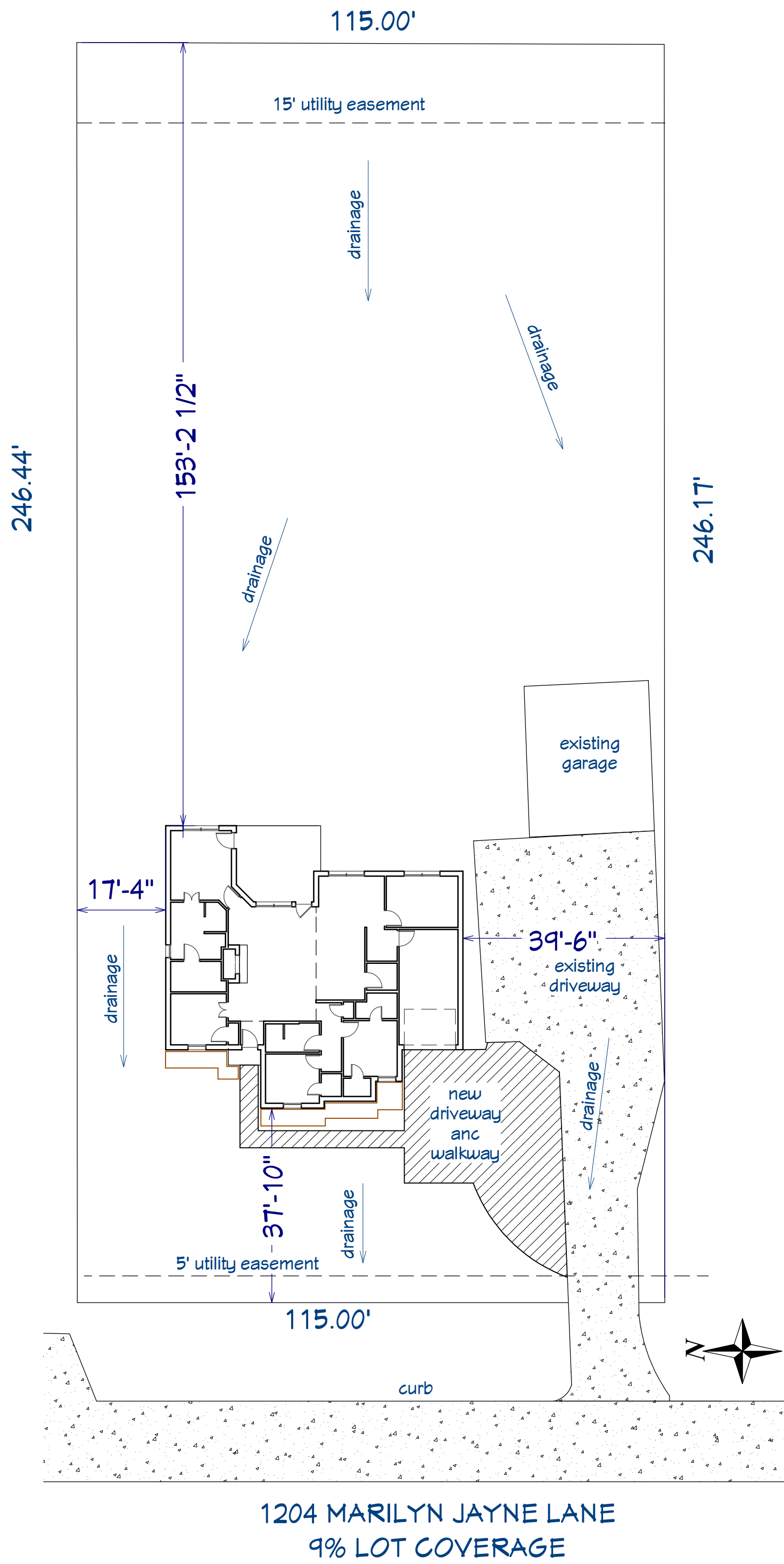
These drawings are provided to substantially complete this project. Customer is responsible for securing any additional drawings from needed subcontractors. Engineering of the foundation and structure does not fall within the scope of work provided by Laura Lowe Design. It is the responsibility of the builder or owner to secure these services.

Contractor must bring any areas of error or omission to the attention of Laura Lowe before construction or material purchases. Laura Lowe's and Laura Lowe Design's liability is limited to a maximum of an amount no larger than the fee paid for the plans.

Use of these plans is an agreement to the above stipulations.

GENERAL NOTES

This plan complies with the 2021 IRC.
Local codes will override these plans.
Structure must be adapted to meet all applicable codes.
Engineering of the foundation and structure does not fall within the scope of work provided by Laura Lowe Design



SITE PLAN NOTES

Do not pour foundation unless house has been verified to meet all front, rear, and side setback lines.
Builder to verify all current applicable easements.
Builder to slope lot to drain according to all applicable ordinances.
All flatwork to have control and expansion joints as required.
Provide steps to grade as needed.



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Rockwall County, Texas

DATE:

6-27-26

SCALE:

1" = 20'

SHEET:

PLOT
PLAN

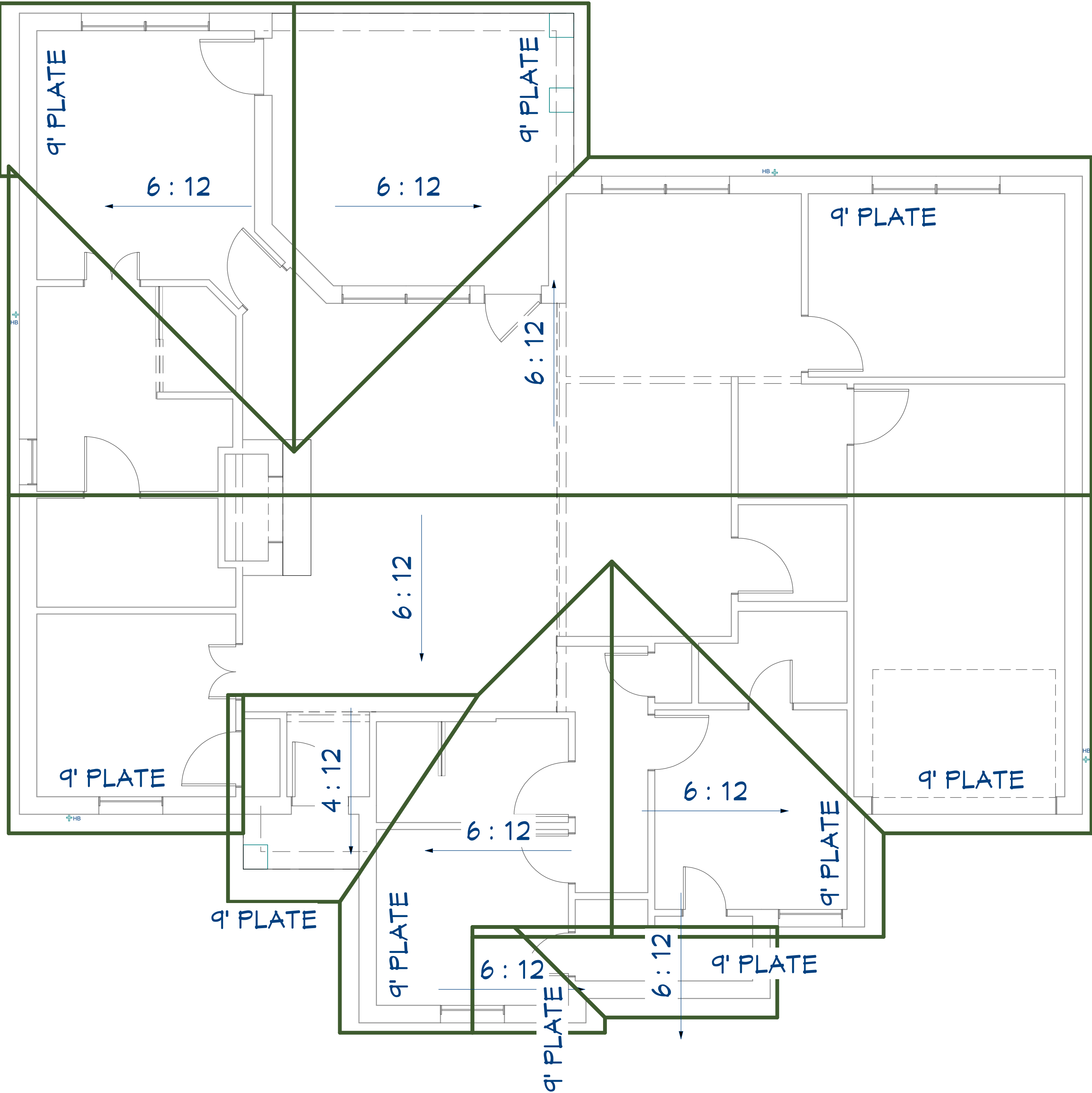
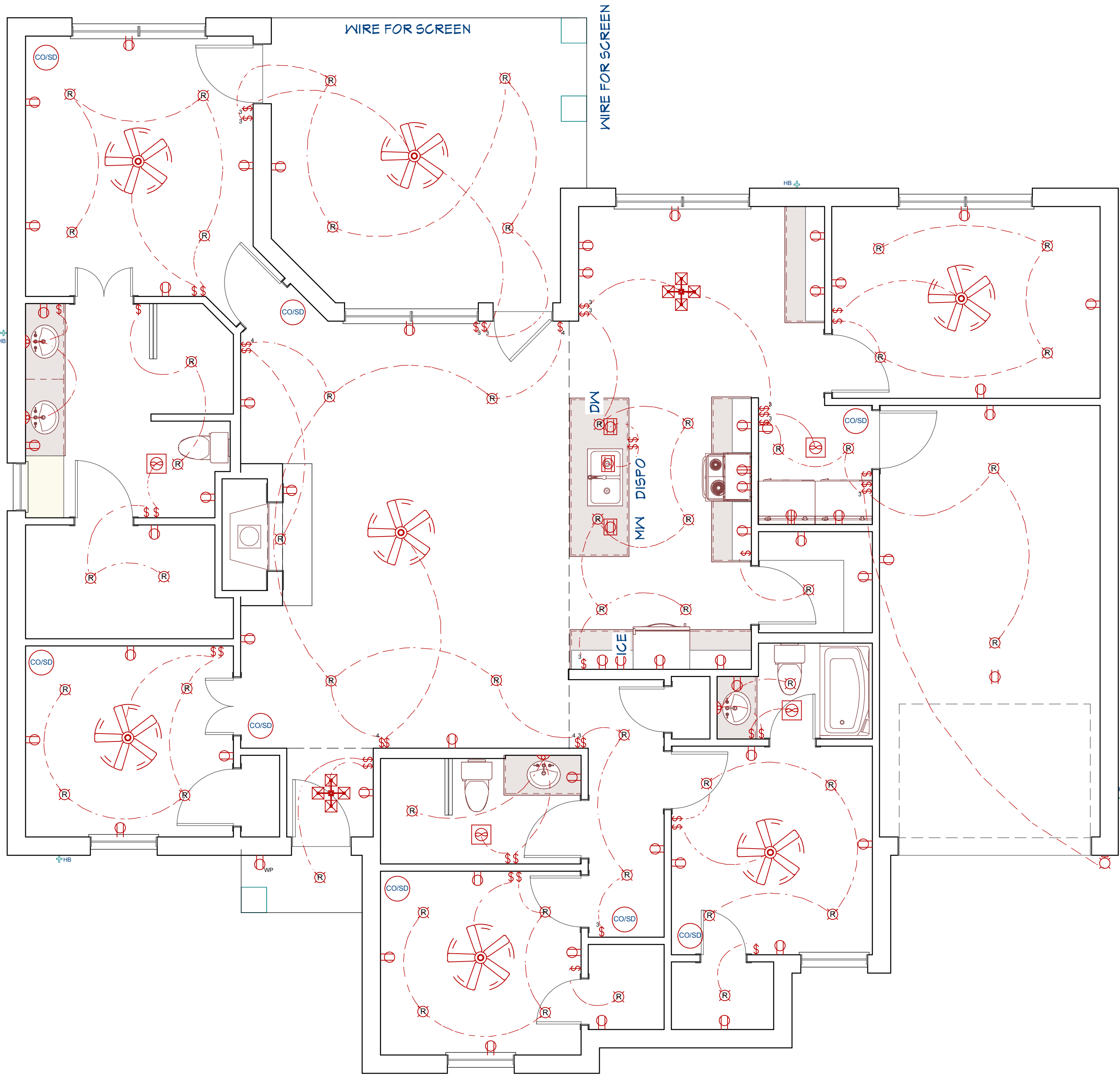
1

All heights listed are from slab.
EXTERIOR WALLS ARE 2X6
SH windows are NOT equal lite.
Ceilings are 9'0" unless otherwise noted.
Windows are at 7'6" head height unless otherwise noted.
Bedroom windows must not be higher than 42" from the floor.
Verify appliance selections and locations with client before construction.
Weatherstrip all exterior doors.
Door between attached garage and house to be 1 3/8" solid door and be self closing.
See fireplace manufacturer for fireplace and flue framing details.



ELECTRICAL PLAN NOTES

Electrician to verify location of utilities on property.
This plan is a general layout only. Consult homeowner for their specific requirements.
See owner for location of floor plugs.
See builder for location of phone, cable, and security.
Electrician to determine location and size of electrical panel box.
Smoke detectors and CO detectors shall be hard wired with battery backup.
GFI outlets to be placed as required by applicable codes.



ROOF PLAN NOTES

Provide crickets where needed for drainage.
Overhangs at rakes shall be 6" unless otherwise noted.
Overhangs at hip roofs shall extend to lower roof plan to 12" below plate unless noted otherwise.
Roof ventilation to be provided to meet applicable codes.
Block and brace roof as needed.



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ELECT
& ROOF

4