



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$500.00 + \$20.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$500.00 + \$20.00 ACRE) ²
- ☐ FINAL PLAT (\$500.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$500.00 + \$20.00 ACRE) ^{1 & 2}
- ☐ AMENDING OR MINOR PLAT (\$500.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$200.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$1,000.00 + \$20.00 ACRE) ^{1 & 2}
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$500.00) ²

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$200.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS [RESIDENTIAL] (\$200.00) ²
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS [COMMERCIAL] (\$1,000.00) ²

ZONING APPLICATION FEES:

- ☒ ZONING CHANGE (\$1,000.00 + \$20.00 ACRE) ^{1 & 3}
- ☐ SPECIFIC USE PERMIT [RESIDENTIAL] (\$200.00 + \$20.00 ACRE) ^{1 & 3}
- ☐ SPECIFIC USE PERMIT [COMMERCIAL] (\$1,000.00 + \$20.00 ACRE) ^{1 & 3}
- ☐ PLANNED DEVELOPMENT DISTRICT (\$1,500.00 + \$20.00 ACRE) ^{1 & 3}
- ☐ PD DEVELOPMENT PLANS (\$1,500.00 + \$20.00 ACRE) ^{1 & 3}

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$2,500.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

³: AN ADDITIONAL FEE OF \$150.00 WILL BE REQUIRED FOR THE COST OF NOTIFICATIONS.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2890 South Goliad Street

SUBDIVISION J.R. Jonson Survey

LOT A portion of Tract 2-01 BLOCK Abstract No. 128

GENERAL LOCATION West corner of South Goliad Street and Rise Drive

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING "C" Commercial

CURRENT USE Vacant (previously trucking company)

PROPOSED ZONING "HC" Heavy Commercial

PROPOSED USE Industrial/outside storage use

ACREAGE 5.0

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER EPES Transport System LLC

☒ APPLICANT Alterra IOS Acquisitions LLC

CONTACT PERSON Tommy Truluck

CONTACT PERSON Jim Freeman and Jenna Lee

ADDRESS

ADDRESS

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Scott W. Zuidema [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1250.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF JULY, 2026 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF July, 2026

OWNER'S SIGNATURE

[Signature]

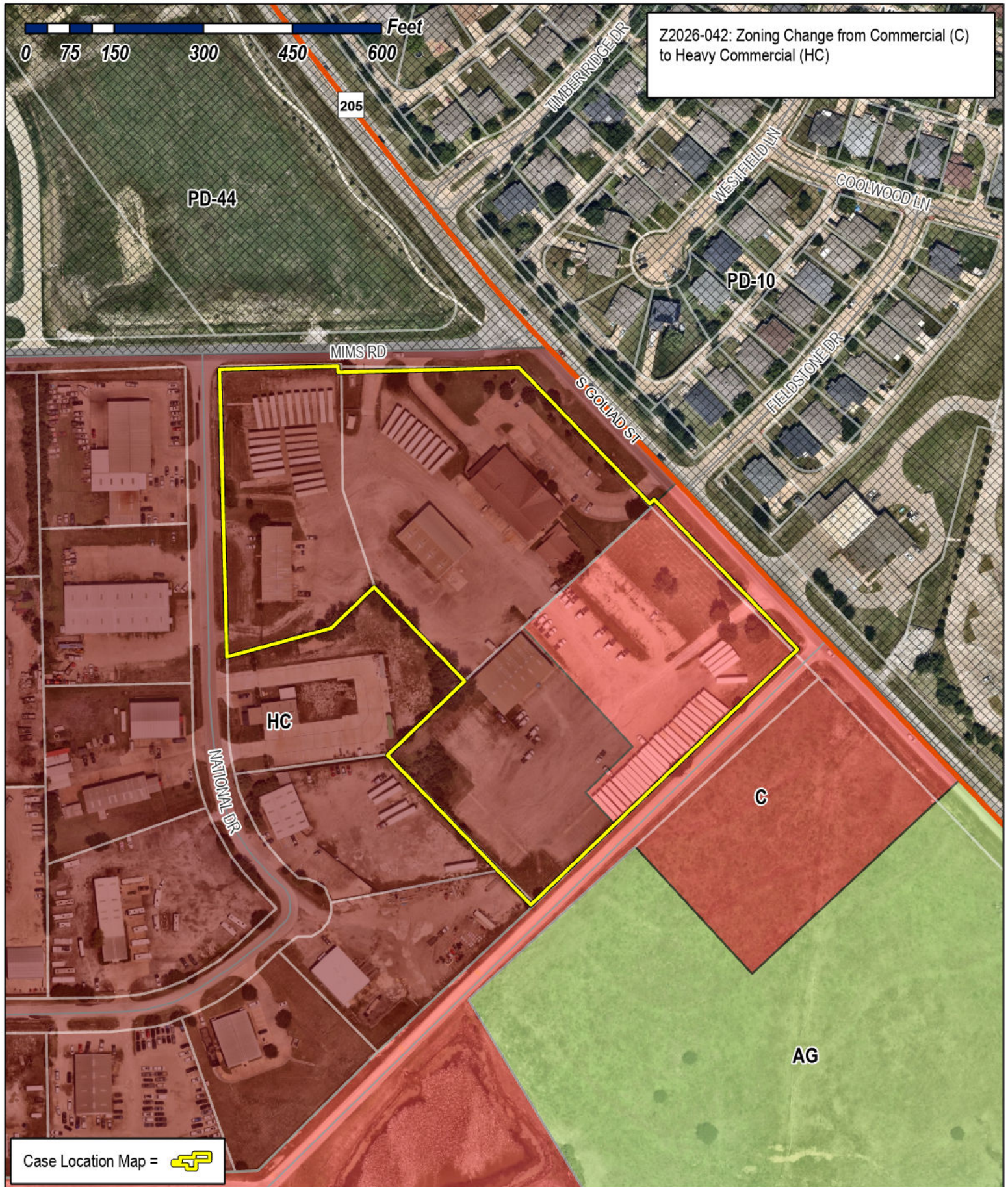
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Kathleen P. Janssen

DEVELOPMENT APPLICATION - CITY OF ROCKWALL - 385 SOUTH GOLIAD STREET - ROCKWALL, TX 75087 - P: (972) 772-3785

Berks County
My commission expires September 13, 2026
Commission number 1078321
Member, Pennsylvania Association of Notaries

MY COMMISSION EXPIRES 9-13-2026



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

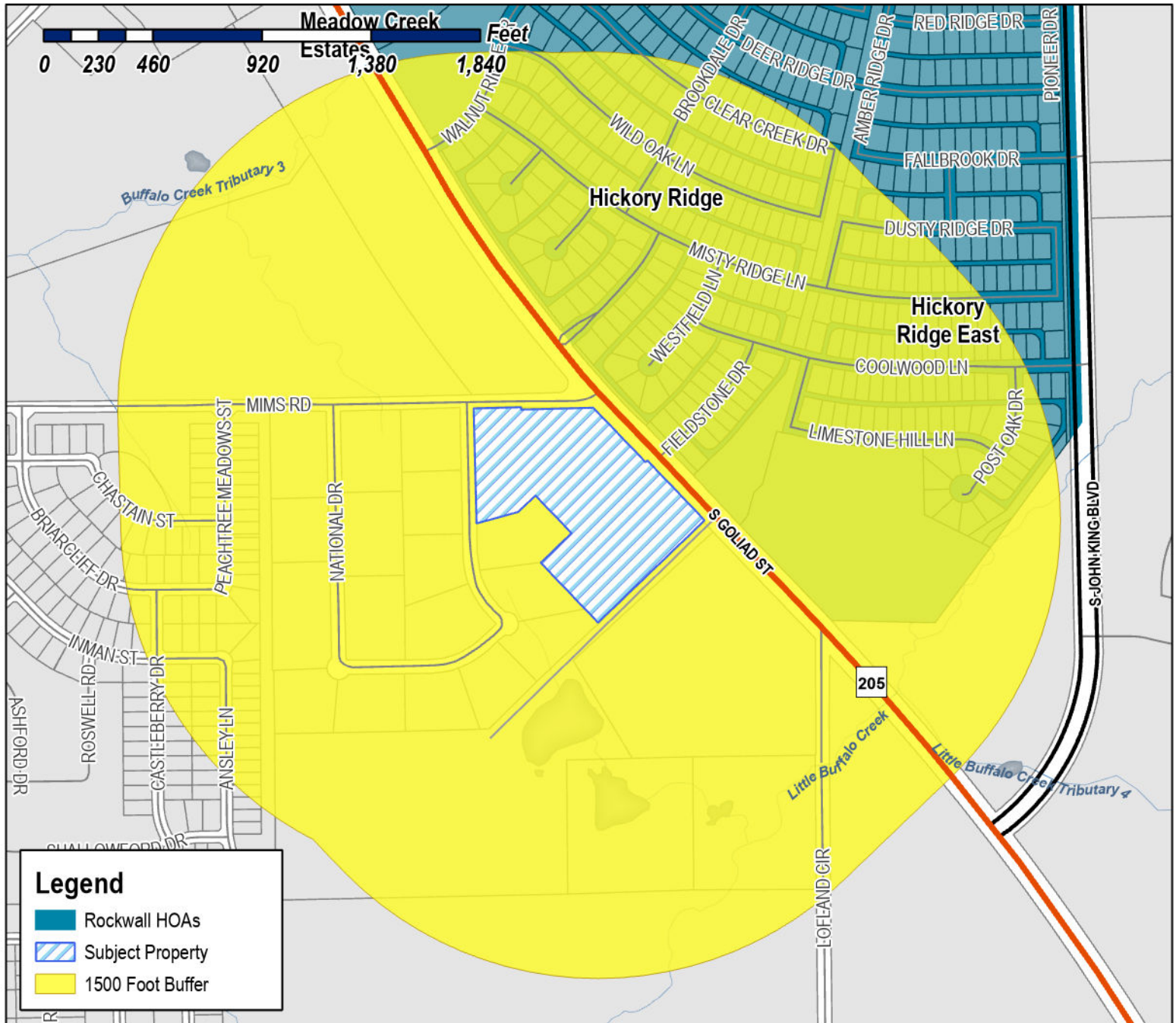




City of Rockwall

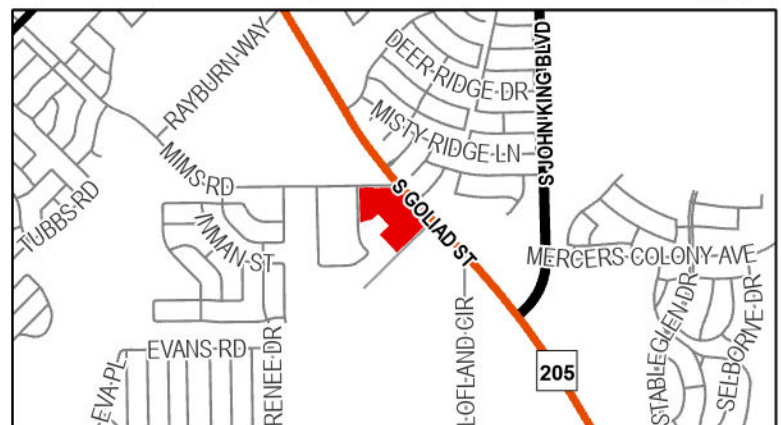
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Case Number: Z2026-XXX
Case Name: Zoning Change from Commercial (C) to Heavy Commercial (HC)
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: SW Corner of Mims Road and SH 205

Date Saved: 7/17/2026
For Questions on this Case Call (972) 771-7745

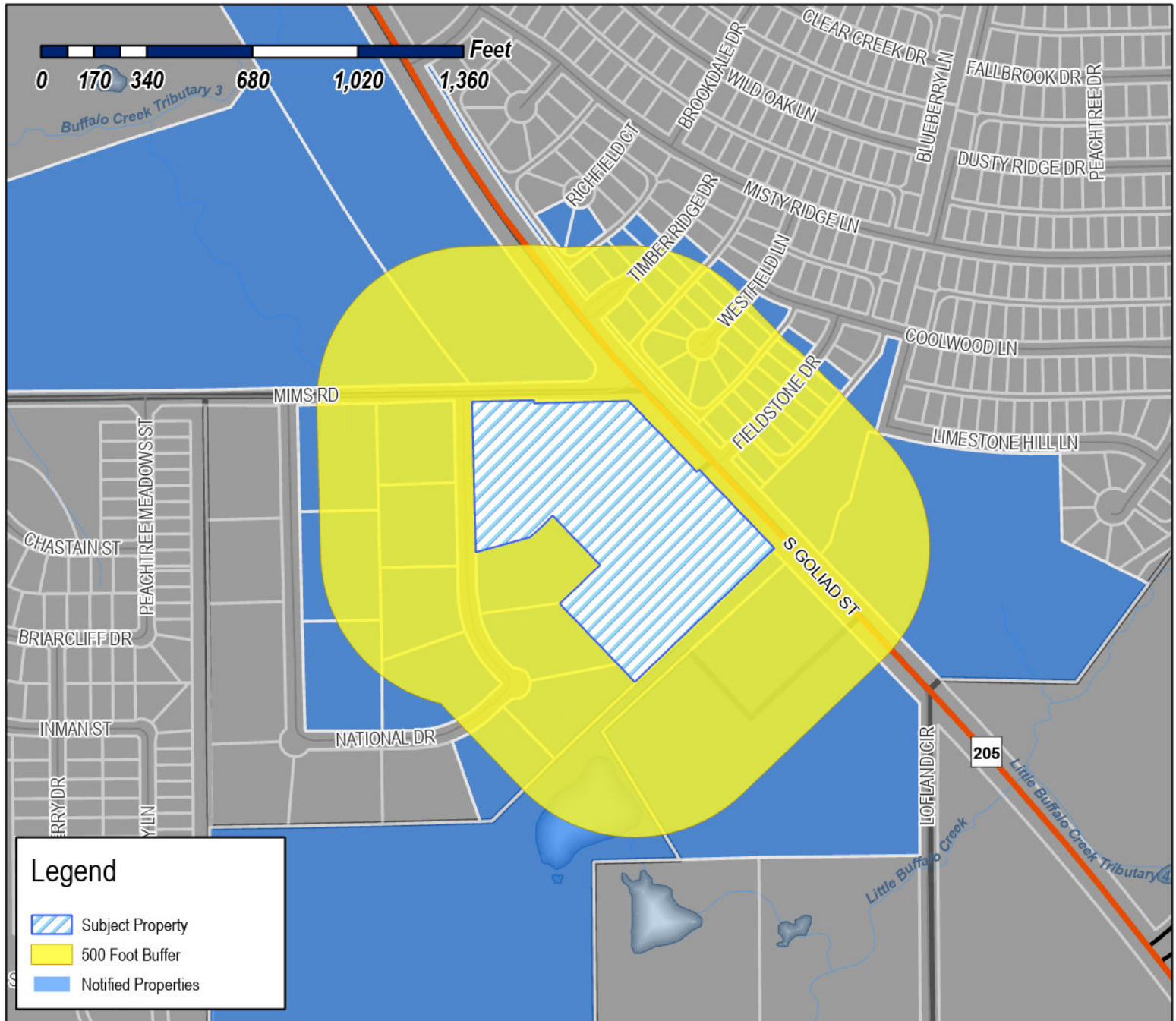




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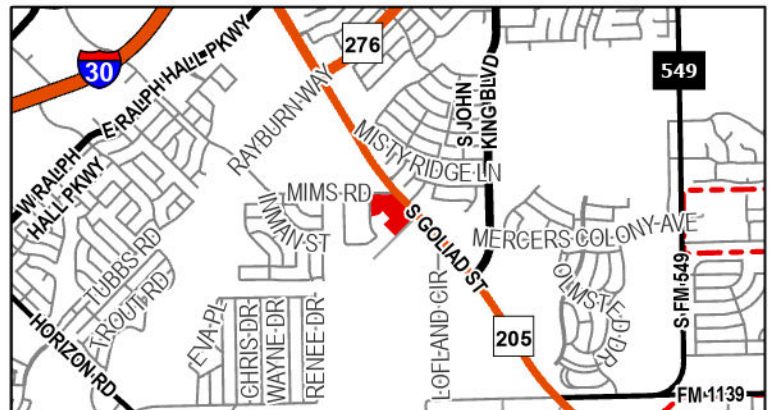
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Case Number: Z2026-042
Case Name: Zoning Change from Commercial (C) to Heavy Commercial (HC)
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: SW Corner of Mims Road and SH 205

Date Saved: 7/17/2026

For Questions on this Case Call: (972) 771-7745



RESIDENT
100 NATIONAL DR
ROCKWALL, TX 75032

RESIDENT
101 NATIONAL DR
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
103 Gross Rd Ste A
Mesquite, TX 75149

ROCKWALL I S D
1050 Williams St
Rockwall, TX 75087

CONTI AND WILLIAMSON SERIES LLC
118 NATIONAL DR
ROCKWALL, TX 75032

JONES MICHAEL
125 Deverson Dr
Rockwall, TX 75087

MOORE SHERYL ANN
1251 MARLIN AVENUE
SEAL BEACH, TX 90740

ROCKWALL HICKORY RIDGE HOMEOWNERS
ASSOC INC
C/O SBB MANAGEMENT COMPANY
12801 N CENTRAL EXPY STE 1401
DALLAS, TX 75243

MCSWAIN BILLY
148 NATIONAL DR
ROCKWALL, TX 75032

ZIYADEH MUNEE R ABU
1490 FIELDSTONE DR
ROCKWALL, TX 75032

REYES JULIO CESAR & URANIA S
1491 FIELDSTONE DR
ROCKWALL, TX 75032

RESIDENT
1500 FIELDSTONE DR
ROCKWALL, TX 75032

RESIDENT
1500 WESTFIELD LN
ROCKWALL, TX 75032

ENGLESTAD HOPE ELIZABETH AND WILLIAM
MCELROY
1500 Richfield Ct
Rockwall, TX 75032

LUSK DERRICK L
1500 TIMBER RIDGE DR
ROCKWALL, TX 75032

NICKERSON TELISA A
1501 FIELDSTONE DR
ROCKWALL, TX 75032

SAHLOU WALIYE BESHAH
1501 TIMBER RIDGE DRIVE
ROCKWALL, TX 75032

JONES MYRON D
1501 WESTFIELD LN
ROCKWALL, TX 75032

KROLL MONTY R
1506 FIELDSTONE DR
ROCKWALL, TX 75032

WILK MICHELLE R AND VICTOR
1506 RICHFIELD COURT
ROCKWALL, TX 75032

GARDNER AALIYAH DEJANE TRUST NUMBER
TWO
AMBER GARDNER & HER SUCCESSORS TRUSTEE
1506 TIMBER RIDGE
ROCKWALL, TX 75032

LAWRENCE CRAIG ALAN JR & KELLY ANN
1506 WESTFIELD LN
ROCKWALL, TX 75032

RESIDENT
1507 FIELDSTONE DR
ROCKWALL, TX 75032

RESIDENT
1507 TIMBER RIDGE DR
ROCKWALL, TX 75032

MORITZ GREG AND BIANCA MARTINEZ
1507 WESTFIELD LN
ROCKWALL, TX 75032

RESIDENT
1512 TIMBER RIDGE DR
ROCKWALL, TX 75032

CRUZET MARIE FLOR
1512 FIELDSTONE DR
ROCKWALL, TX 75032

KROUCH MONY
1512 WESTFIELD LN
ROCKWALL, TX 75032

RESIDENT
1513 TIMBER RIDGE DR
ROCKWALL, TX 75032

MACFOY THEODORE P & EASTERLINE V
1513 FIELDSTONE DR
ROCKWALL, TX 75032

PEREZ ELIZABETH
1513 WESTFIELD LN
ROCKWALL, TX 75032

AUTENCIO ROSELYN P & PHILIP
1518 FIELDSTONE DR
ROCKWALL, TX 75032

KORDI KIOMARS AND ELICIA
1518 TIMBER RIDGE DR
ROCKWALL, TX 75032

CARRERA BYRON & SANDRA PATRICIA NICHOLS
1518 WESTFIELD LN
ROCKWALL, TX 75032

RESIDENT
1519 WESTFIELD LN
ROCKWALL, TX 75032

ACOSTA CORAZON
1519 FIELDSTONE DR
ROCKWALL, TX 75032

ATTARDI JENNIFER LEIGH
1519 Timber Ridge Dr
Rockwall, TX 75032

NXG SERVICES LLC
1520 Bell Haven Ct
Rockwall, TX 75032

RESIDENT
1524 TIMBER RIDGE DR
ROCKWALL, TX 75032

HETTLER MARGARET ELLA
1524 FIELDSTONE DR
ROCKWALL, TX 75032

WINSTON CRAIG S AND LACETIA D
1524 WESTFIELD LN
ROCKWALL, TX 75032

RESIDENT
1525 WESTFIELD LN
ROCKWALL, TX 75032

DRY CHARLENE &
CHAROLETTE SAWYER
1525 FIELDSTONE DR
ROCKWALL, TX 75032

RESIDENT
1530 WESTFIELD LN
ROCKWALL, TX 75032

MEADE MICHAEL & ALMA DELIA
1530 FIELDSTONE DRIVE
ROCKWALL, TX 75032

RESIDENT
1531 FIELDSTONE DR
ROCKWALL, TX 75032

RESIDENT
1531 WESTFIELD LN
ROCKWALL, TX 75032

MILLER FAMILY INVESTMENT LP
17430 Campbell Rd Ste 230
Dallas, TX 75252

HICKORY RIDGE EAST HOMEOWNERS ASSOC
1800 Preston Park Blvd Ste 101
Plano, TX 75093

RESIDENT
182 NATIONAL DR
ROCKWALL, TX 75032

LM LEASING LLC
2091 FM 1139
Rockwall, TX 75032

RESIDENT
227 NATIONAL DR
ROCKWALL, TX 75032

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT
23975 Park Sorrento Ste 300
Calabasas, CA 91302

RESIDENT
242 NATIONAL DR
ROCKWALL, TX 75032

SEYMORE TIM & RAY SEYMORE
242 NATIONAL DR
ROCKWALL, TX 75032

RESIDENT
2750 S GOLIAD ST
ROCKWALL, TX 75032

RESIDENT
2890 S GOLIAD
ROCKWALL, TX 75032

RESIDENT
291 NATIONAL DR
ROCKWALL, TX 75032

RESIDENT
2915 S GOLIAD
ROCKWALL, TX 75032

LAYZA & LUNA REAL ESTATE LLC
2922 S GOLIAD ST
ROCKWALL, TX 75032

RESIDENT
3025 LIMESTONE HILL LN
ROCKWALL, TX 75032

RESIDENT
311 NATIONAL DR
ROCKWALL, TX 75032

EPES TRANSPORT SYSTEM LLC
3400 EDGEFIELD CT
GREENSBORO, NC 27408

CPT-ASL SFR PROPCO LLC
345 HERITAGE AVE # 130
PORTSMOUTH, NH 3802

RESIDENT
355 NATIONAL DR
ROCKWALL, TX 75032

RESIDENT
368 NATIONAL DR
ROCKWALL, TX 75032

HPLI LLC
3820 AZURE LN
ADDISON, TX 75001

MEBRATU GEZI
46 WINDSOR DR
ROCKWALL, TX 75032

RESIDENT
496 NATIONAL DR
ROCKWALL, TX 75032

USMAN ASIM & HUMA RASHID
5140 BEAR CLAW LN
ROCKWALL, TX 75032

WU CHUN Y
518 ALLENTOWN RD
PARSIPPANY, NJ 7054

RESIDENT
626 NATIONAL DR
ROCKWALL, TX 75032

TWENTYFOUR27 HOLDINGS LLC
8643 ANGORA ST
DALLAS, TX 75218

MCGOWAN CLAYTON AND YANINA
980 STEVENS RD
ROCKWALL, TX 75032

BIG BUCK PROPERTIES LLC
PO BOX 2107
ROCKWALL, TX 75087

RAYBURN COUNTRY ELECTRIC CORP INC
PO BOX 37
ROCKWALL, TX 75087

D & A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

TJT INVESTMENT TRUST
JAMES DWAIN POWERS & PATRICIA ANNETTE
POWERS - CO-TRUSTEES
PO BOX 850
ROCKWALL, TX 75087

LETTER OF EXPLANATION

This request is to rezone a portion of the Property to establish consistent zoning across the site and, thereby, to allow industrial/outside storage uses. The Property consists of three separate parcels that contain a combined total of +/-11.336 acres of land located at the west corner of the intersection of South Goliad Street (SH 205) and Rise Drive. The Property operates as one contiguous site and is currently developed with two (2) one-story office buildings and three (3) detached metal storage buildings with an accessory storage yard. The Property is split-zoned Heavy Commercial “HC” district and Commercial “C” District, though the majority of the site (*i.e.*, +/-8.636 acres) is zoned HC. The Applicant is proposing to rezone the remaining +/-2.7 acres at the Property (the “Area of Request”) from “C” district to “HC” district, in order to ensure that consistent zoning and development standards apply. Due to conflicting standards and prohibited uses in the C district versus the HC district, the Property is almost unusable as a single site if not rezoned for consistency.

The Property is currently vacant. The applicant is proposing to leave the Property largely as is—maintaining the existing improvements onsite, while also intending to install additional, enhanced landscaping and screening along the front of the site, facing SH 205. Nevertheless, the split-zoning prevents the Property from being reoccupied with an industrial/outside storage user, despite the fact that the existing improvements and the predominant HC zoning onsite appear to have anticipated an industrial/outside storage use at the Property, because the C zoning onsite prohibits such uses. A zoning approval to have the entire Property zoned HC district would resolve the issue and would allow the Property to be tenanted and used in a manner consistent with its history and with the existing improvements.

Surrounding uses consist primarily of industrial/outside storage uses to the rear of the property and undeveloped land to its north/northwest and its south/southeast. Across the highway are single-family residences. A front setback of more than 100 feet is provided at the Property. When added together with the 100-foot right-of-way for SH 205, there are more than 200 feet between the existing improvements at the Property and the single-family residences to the northeast. The intended new screening and landscaping would further serve as a visual buffer between the sites.

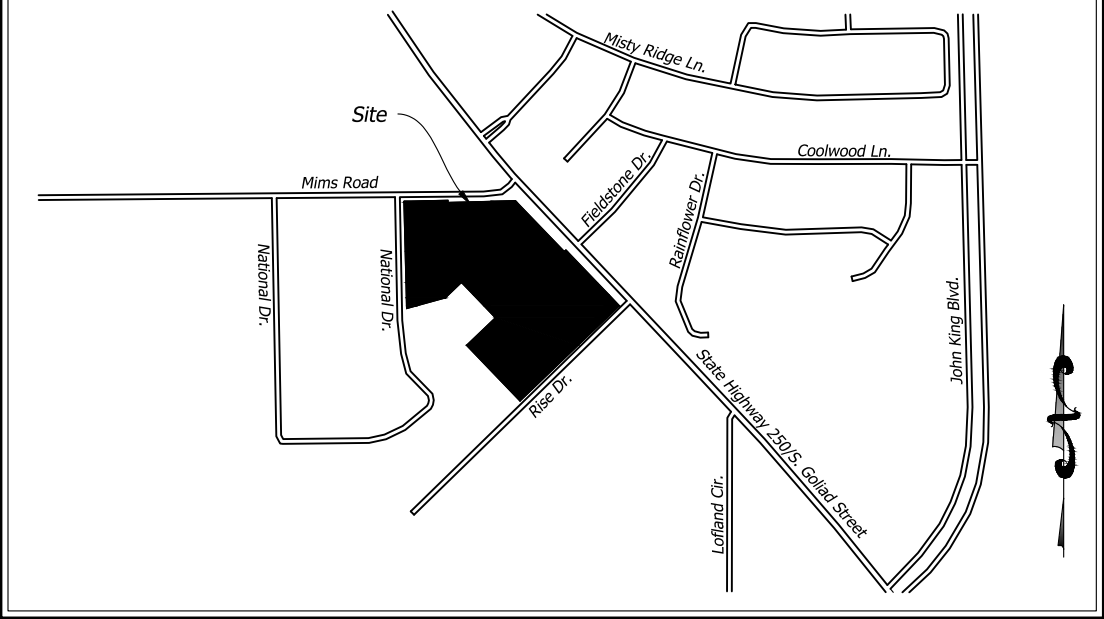
ITEMS CORRESPONDING TO SCHEDULE B-II

1. The following restrictive covenants of record itemized below:
Any covenants, conditions or restrictions indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin are hereby deleted to the extent such covenants, conditions or restrictions violate 42 USC 3604 (g), of the Map and/or Plat Records, Rockwall County, Texas; and in Volume 212, Page 390, of the Official Public Records of ROCKWALL County, Texas.
Not shown; blanket in nature.
10. The following matters and all terms of the documents creating or offering evidence of the matters (We must insert matters or delete this exception):
- e. A 15 foot building setback line along the northerly property line as recorded in of the Map and/or Plat Records, Rockwall County, Texas. **Shown hereon.**
- f. A 15 foot building setback line along the northeasterly property line as recorded in of the Map and/or Plat Records, Rockwall County, Texas. **Shown hereon.**
- g. The Fire Lane, RCH W.S.C., SBC, TXU Electric Delivery, and Utility easement(s) as set out on plat/map in Volume F, Page 177, of the Map and/or Plat Records of Rockwall County, Texas. **Shown hereon.**
- h. Easement: PERPETUAL EASEMENT AND RIGHT-OF-WAY
To: RCH Water Supply Corporation
Recorded: October 18, 1961, in Volume 63, Page 521, of the Deed records, of Rockwall County, Texas.
Purpose: water pipeline
Shown hereon.
- i. Easement:
To: LONE STAR GAS COMPANY, a Corporation
Recorded: August 23, 1966, in Volume 76, Page 476, and as further affected in Volume 109, Page 232, of the Deed records, of Rockwall County, Texas.
Purpose: pipeline
Not shown; does not affect subject property.
- j. Easement: ACCESS AND UTILITY EASEMENT
To: all future owners and tenants of Rockwall 205 Business Park, and their licensees, assignees, and successors
Recorded: November 8, 1984, in Volume 211, Page 786, of the Official Public records, of Rockwall County, Texas.
Purpose: to construct, alter and maintain lines for utility easements, perpetual easement and right-of-way for access and utilities. **Shown hereon.**
- k. Easement: EASEMENT AND RIGHT OF WAY
To: TEXAS UTILITIES ELECTRIC CORPORATION
Recorded: June 23, 1994, in Volume 913, Page 16, of the Official Public Records, of Rockwall County, Texas.
Purpose: overhead electric supply and communication lines
Shown hereon.
- l. Easement: EASEMENT FOR EQUIPMENT STATION
To: SOUTHWESTERN BELL TELEPHONE COMPANY
Recorded: December 1, 1989, in Volume 1762, Page 176, of the Official Public Records, of Rockwall County, Texas.
Purpose: communications equipment station
Shown hereon.
- m. Mineral and/or royalty interest:
Recorded: December 11, 1939, in Volume 35, Page 425, of the Deed Records of Rockwall County, Texas.
Title to said interest has not been investigated subsequent to the date of the aforesaid instrument.
Not shown; Non-survey related item.

ZONING INFORMATION

Pursuant to Table A Items 6(a) and 6(b), the surveyor was not provided with a zoning report or letter and is therefore unable to address this item.

VICINITY MAP - NOT TO SCALE



MISCELLANEOUS NOTES

- Survey prepared by Golden Land Surveying, 4131 N.W. 122nd St., Suite 100, Oklahoma City, Oklahoma 73120, (405) 849-6010, troy@goldens.com.
- Pursuant to Table A Item 2, The address of 101 National and 2890 S. Goliad Street, Rockwall, Texas 75032 was posted on signage on the surveyed property.
- Pursuant to Table A Item 4, The surveyed property contains a total area of 491,329 Sq. Ft. or 11.2794 Acres, more or less.
- Only observable surface and above ground structures were located. No underground improvements, such as foundation footings, located. All dimensions shown are in feet and decimals thereof.
- The Property has direct vehicular and pedestrian access to Mims Road, National Drive, and State Highway 250, both being a dedicated public street.
- Pursuant to Table A Item 9, The total number of striped parking spaces on the subject property is 75, including 2 designated handicap spaces.
- Pursuant to Table A Items 10, There are no division or party walls with respect to adjoining properties.
- Pursuant to Table A Item 13, Adjoiner information shown hereon was obtained from the county's property appraiser web site.
- The surveyor was not provided with a specified street from the client pursuant to Table A Item 14. The intersection of Mims Road and State Highway 250 is located 0' from the N/E corner of subject property.
- Pursuant to Table A Item 16, There is no observed evidence of current earth moving work, building construction or building additions.
- Pursuant to Table A Item 17, There are no proposed changes in street right of way lines, to the best of my knowledge. There is no observed evidence of recent street or sidewalk construction or repairs.
- Pursuant to Table A Item 18, Plottable easement or servitudes provided to the surveyor are shown hereon.
- At the time of the survey, there was no observed evidence of substantial areas of refuse.
- Ownership of fences, if any, was not determined under the scope of this survey.
- At the time of this survey, there was no observable evidence of site use as a burial ground or cemetery.
- The parcels are contiguous along their common boundary lines with no gaps, gores or strips.
- An assumed bearing of South 46° 13' 48" West as the Southeast line of the subject property per Texas State Plane Grid North Central was used as the basis of bearing for this survey.
- All unit of measurements are US Survey feet (Ground).
- At the time of survey, the surveyor was not made aware of any parcel statements by interested landowners or occupants.
- All Iron Pins are 0.2' below the surface if not noted on the survey.

RECORD DESCRIPTION

TRACT 1:
Lot 1-R, Block 1, of REPLAT TEXAS STAR ADDITION, LOT 1, BLOCK 1, an Addition to the City of Rockwall, Texas, according to the map/plat thereof recorded in Volume F, Page 177, of the Map and/or Plat Records, Rockwall County, Texas.

TRACT 2:
All that certain lot, tract or parcel of land situated in the J.R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, and being known as Tracts 1 and 2 as described in a Warranty Deed from Ladd Properties, LTD to J.D. Jacobs, Jr., dated November 27, 1984 and being recorded in Volume 213, Page 189 of the Real Estate Records of Rockwall County, Texas, and being more particularly described as follows:
BEGINNING at the intersection of the South line of Mims Road and the East line of National Drive, at the Northwest corner of the above cited Tract 1; THENCE N. 89 deg. 37 min. 27 sec. E. a distance of 199.62 feet to a 1/2" iron rod found for corner at the Northwest corner of Lot 1, Block 1 of Texas Star Addition, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet C, Slide 203 of the Plat Records of Rockwall County, Texas;
THENCE S. 01 deg. 23 min. 13 sec. E. (Controlling bearing line) along the West line of said Texas Star Addition, a distance of 215.77 feet to a 1/2" iron rod found for corner;
THENCE S. 19 deg. 31 min. 14 sec. E. along the Southwest line of said-Addition, a distance of 166.48 feet to a 1/2" iron rod found for corner; THENCE S. 48 deg. 14 min. 54 sec. W. a distance of 100.00 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;
THENCE S. 74 deg. 37 min. 07 sec. W. a distance of 182.95 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the East line of National Drive, at the Southwest corner of the above cited Tract 2; THENCE N. 01 deg. 23 min. 13 sec. W. along the East line of National Drive, a distance of 489.13 feet to the POINT OF BEGINNING and containing 2.24 acres of land.

TRACT 3:
Being a lot, tract or parcel of land situated in Rockwall County, Texas, and being a part of the J.R. Johnson Survey, Abstract No. 128, and being a called 5.000 acre tract of land described in a General Warranty Deed from Casa View Baptist Church, Inc. to James Steven Farr, recorded in Volume 757 at Page 142, Rockwall County Deed Records and being more particularly described as follows:
BEGINNING at an iron rod found for corner on the southwest right-of-way line of State Highway No. 205, said corner bears S 41°30'00"E a distance of 335.75 feet from the north line of the Johnson Survey;
THENCE S 41°30'00"E and along the southwest right-of-way line of State Highway No. 205 a distance of 280.01 feet to an iron rod found for corner;
THENCE S 41°17'08"E and along the southwest right-of-way line of State Highway No. 205 a distance of 69.10 feet to an iron rod found for corner;
THENCE S 48°30'29"W and along and near a fence line a distance of 622.23 feet to an iron rod found for corner;
THENCE N 41°30'25"W and along the common line of Lot 4 and Lot 5 of the Rockwall 205 Business Park Addition a distance of 349.43 feet to an iron rod found for corner;
THENCE N 48°32'16"E and along the common line of Lot 3 and Lot 1 of the Rockwall 205 Business Park Addition a distance of 622.53 feet to return to the PLAGE OF BEGINNING and containing 4.9911 acres of land, more or less.

THE ABOVE THREE TRACTS BEING FURTHER DESCRIBED AS:
Being a 11.277 acre tract of land situated in the J.R. Johnson Survey, Abstract No. 128, Rockwall County, Texas and being all of Lot 1-R, Block 1, Texas Star Addition, an Addition to the City of Rockwall, Rockwall County, Texas as recorded in Volume F, Page 177 of the Official Public Records of Rockwall County, Texas and all of called 2.24 acre tract of land described in deed to Alvin M Bodford as recorded in Volume 1945, Page 210 of the Official Public Records of Rockwall County, Texas and all of a called 4.991 acre tract of land described in deed to Alvin M Bodford as recorded in Volume 796, Page 114 of the Official Public Records of Rockwall County, Texas and being more particularly described as follows:
BEGINNING at a 1/2 inch iron rod with cap stamped "RPLS 5034" found at the intersection of southerly right-of-way line of Mims Road (a variable width right-of-way) and the southwesterly right-of-way line of Goliad Street (State Highway 205) (a variable width right-of-way) for the northerly corner of said Lot 1R State Highway;
THENCE South 43°48'34" East southwesterly right-of-way line of Goliad Street along said for a distance of 317.75 feet;
THENCE North 46°11'26" East southwesterly right-of-way line of Goliad Street for a distance of 100.00 feet to a 1/2 inch iron rod with cap stamped "RPLS 5632" set;
THENCE South 43°48'34" East southwesterly right-of-way line of Goliad Street for a distance of 280.62 feet to a 1/2 inch iron rod with cap stamped "RPLS 5632" set;
THENCE South 43°01'07" East southwesterly right-of-way line of Goliad Street for a distance of 69.10 feet to a 1/2 inch iron rod found; THENCE South 46°18'32" West departing said southwesterly right-of-way line of Goliad Street for a distance of 622.23 feet to a 1/2 inch iron rod found;
THENCE North 43°42'22" West for a distance of 349.05 feet to a 1/2 inch iron rod with cap stamped "RPLS 5632" set;
THENCE North 46°14'54" East for a distance of 180.20 feet to a 1/2 inch iron rod found;
THENCE North 43°45'08" West for a distance of 220.00 feet to a 1/2 inch iron rod found;
THENCE South 46°14'54" West for a distance of 100.00 feet to a 1/2 inch iron rod with cap stamped "RPLS 5632" set;
THENCE South 74°40'00" West for a distance of 182.49 feet to a 1/2 inch iron rod found on the easterly right-of-way line of National Drive (a 60 foot right-of-way);
THENCE North 01°23'04" West along said easterly right-of-way line of National Drive for a distance of 484.71 feet to a 1/2 inch iron rod with cap stamped "RPLS 5632" set at the intersection of said easterly right-of-way line of National Drive and the aforesaid southerly right-of-way line of Mims Road;
THENCE North 88°36'47" East along said southerly right-of-way line of Mims Road for a distance of 199.46 feet to a 1/2 inch iron rod with cap stamped "RPLS 5632" set;
THENCE South 01°25'15" East along said for a distance of 10.00 feet a 1/2 inch iron rod with cap stamped "RPLS 5034" found;
THENCE North 88°36'47" East along said for a distance of 304.85 feet to the POINT OF BEGINNING.
Said tract having a computed area of 491,230 square feet or 11.277 Acres.

The lands surveyed, shown and described hereon are the same lands as described in the Title Commitment provided by First American Title Insurance Company, Commitment No. 261655-TX, Dated March 26, 2026.

UTILITY NOTE

Pursuant to Table A Item 11a, The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown compromise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that utilities are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

LEGEND OF SYMBOLS & ABBREVIATIONS

- POWER POLE
LIGHT POLE
GUY ANCHOR
ELECTRIC METER
ELECTRIC BOX
ELEC. TRANSFORMER
ELEC. MANHOLE
ELEC. PEDESTAL
ELEC. PULL BOX
SPOT LIGHT
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
STORM SEWER MANHOLE
TELEPHONE MARKER
TELEPHONE RISER
TELEPHONE MANHOLE
TELEPHONE PULL BOX
CABLE TV PEDESTAL
CABLE TV MARKER
CABLE TV PULL BOX
FIBER OPTIC MARKER
IRRIGATION CONTROL VALVE
SPRINKLER HEAD
BOLLARD
FIRE DEPARTMENT CONNECT
PROPANE TANK
WATER LINE
GAS LINE
SANITARY SEWER LINE
TELEPHONE LINE
ELECTRIC LINE
OVERHEAD POWERLINE
BARBED WIRE FENCE
IRON FENCE
S.I.P.-SET IRON PIN
F.I.P.-FOUND IRON PIN
B.U.L.-BUILDING LIMIT LINE
NOTE: ALL MONUMENTS SET ARE CAPPED 1/2" IRON PINS OR MAG NAILS WITH WASHERS BOTH BEING STAMPED "JDE RPLS 6004" UNLESS NOTED OTHERWISE
- GAS METER
GAS VALVE
GAS MARKER
OIL PIPELINE MARKER
SIGN
FIRE HYDRANT
WATER MANHOLE
WATER VALVE
WATER METER
DOWN SPOUT
AIR CONDITIONER
TRAFFIC SIGNAL
TRAFFIC SIGNAL BOX
PEDESTRIAN CROSSING SIGNAL
GREASE TRAP
MAIL BOX
FLAG POLE
SECTION CORNER
QUARTER CORNER
SET IRON PIN W/CAP
SET MAG NAIL W/WASHER
FOUND MONUMENT
RIGHT OF WAY MARKER
TREE
BUSH
YARD HYDRANT/SPICKET
BENCHMARK
F.O. F.D. F.B. FIBER OPTIC LINE
PROPERTY LINE
LOT LINE
EASEMENT LINE
SECTION LINE
CHAIN LINK FENCE
WOOD PANEL FENCE
MASONRY FENCE
CGMP-CORRUGATED METAL PIPE
RCP-REINFORCED CONCRETE PIPE
U/E-UTILITY EASEMENT

FLOOD NOTE

Pursuant to Table A Item 3, Said described property in, by graphical plotting only, located within an area having a Zone Designation "X" (Unshaded) by FEMA, on Flood Insurance Rate Map No. 48397C0040L, dated 09/26/2008, and is not in a special flood hazard area. No field surveying was performed to determine this zone.

PROJECT REVISION RECORD

DATE	DESCRIPTION	DATE	DESCRIPTION
05/29/2026	FIRST DRAFT		
FIELD WORK:	DRAFTED: BT	CHECKED BY: TD	FB & PG:

SIGNIFICANT OBSERVATIONS

- A Building fully extends into 10' TXU Electric Easement described in Volume 913, Page 16.

LEGAL

THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION

ALTA/NSPS LAND TITLE SURVEY

for
Alterra - 2890 S Goliad
NV5 Project No. 202601400-001

101 National and 2890 S. Goliad Street, Rockwall, TX 75032

Based upon Title Commitment No. 261655-TX
of First American Title Insurance Company
Bearing an effective date of March 26, 2026
Surveyor's Certification

To: Land Services USA, LLC; First American Title Insurance Company; and Bock & Clark Corporation, an NV5 Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2026 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6a, 6b, 7a, 7b1, 7c, 8, 9, 10, 13, 14, 16, 17, 18, 19, and 20 of Table A thereof. The field work was completed on 05/28/2026.

This survey substantially complies with the current Texas Society of Professional Surveyors Manual of Practice requirements for a Category 1A, Condition 2, Land Title Survey.

PRELIMINARY

Troy Dee
Registration No. 6904
In the State of Texas
Date of survey: May 29, 2026
Date of last revision: N/A
Network Project No. 202601400-001-CLC

Golden Job No: 261816

Prepared By
GOLDEN
LAND SURVEYING

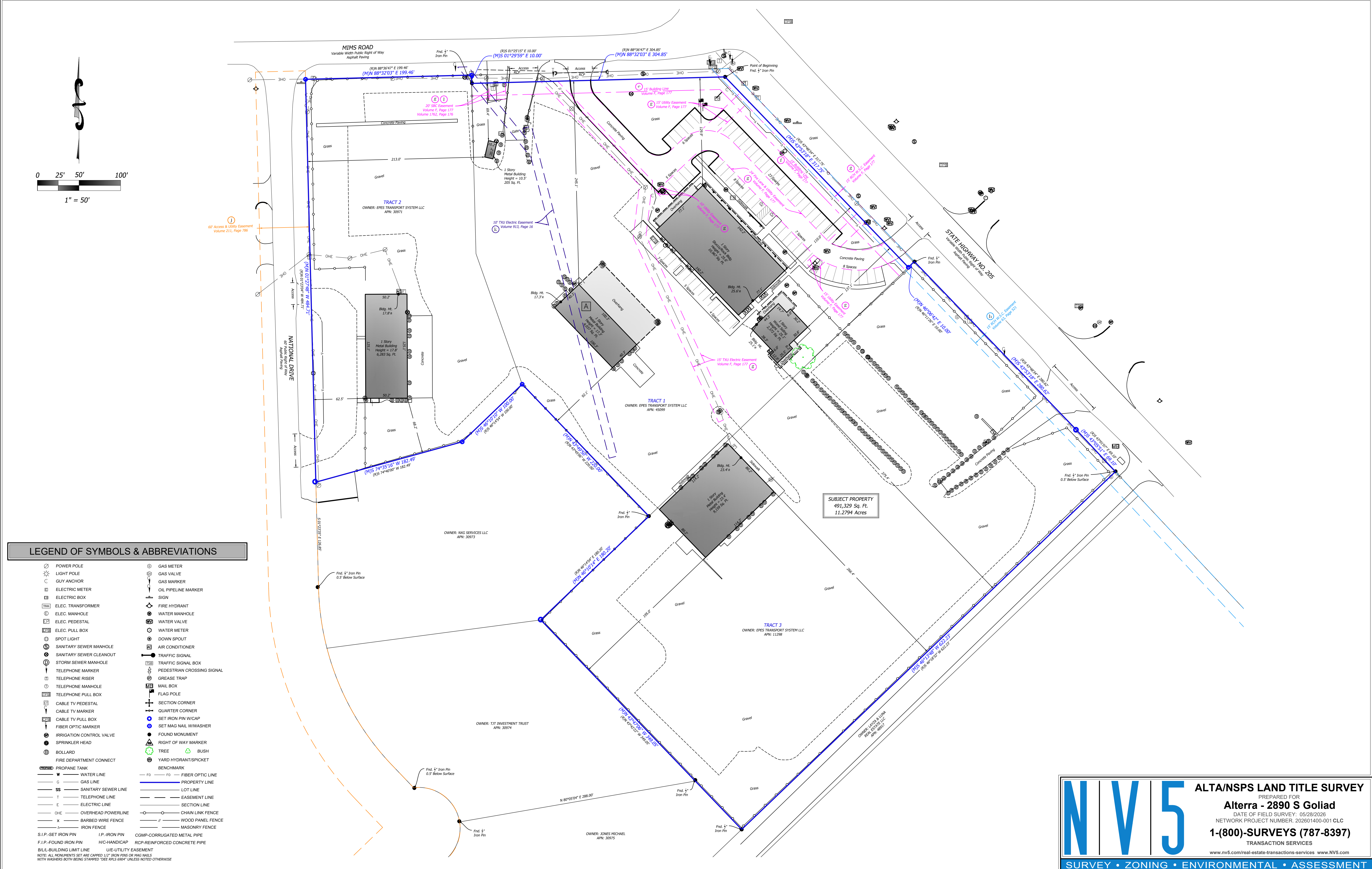
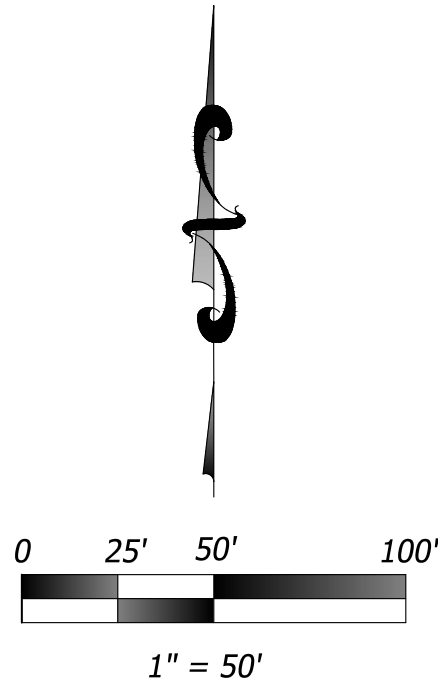
NV5

REAL ESTATE TRANSACTION SERVICES
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SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT

Bock & Clark Corporation - 4580 Stephen Circle, Suite 300, Canton, Ohio 44718
www.nv5.com/real-estate-transaction-services **bockmaywehelpyou@nv5.com**

Branch Job No.: 202601400-001



LEGEND OF SYMBOLS & ABBREVIATIONS

	POWER POLE		GAS METER
	LIGHT POLE		GAS VALVE
	GUY ANCHOR		GAS MARKER
	ELECTRIC METER		OIL PIPELINE MARKER
	ELECTRIC BOX		SIGN
	ELEC. TRANSFORMER		FIRE HYDRANT
	ELEC. MANHOLE		WATER MANHOLE
	ELEC. PEDESTAL		WATER VALVE
	ELEC. PULL BOX		WATER METER
	SPOT LIGHT		DOWN SPOUT
	SANITARY SEWER MANHOLE		AIR CONDITIONER
	SANITARY SEWER CLEANOUT		TRAFFIC SIGNAL
	STORM SEWER MANHOLE		TRAFFIC SIGNAL BOX
	TELEPHONE MARKER		PEDESTRIAN CROSSING SIGNAL
	TELEPHONE RISER		GREASE TRAP
	TELEPHONE MANHOLE		MAIL BOX
	TELEPHONE PULL BOX		FLAG POLE
	CABLE TV PEDESTAL		SECTION CORNER
	CABLE TV MARKER		QUARTER CORNER
	CABLE TV PULL BOX		SET IRON PIN W/ CAP
	FIBER OPTIC MARKER		SET MAG NAIL W/ WASHER
	IRRIGATION CONTROL VALVE		FOUND MONUMENT
	SPRINKLER HEAD		RIGHT OF WAY MARKER
	BOLLARD		TREE
	FIRE DEPARTMENT CONNECT		BUSH
	PROPANE TANK		YARD HYDRANT/SPICKET
	WATER LINE		BENCHMARK
	GAS LINE		FIBER OPTIC LINE
	SANITARY SEWER LINE		PROPERTY LINE
	TELEPHONE LINE		LOT LINE
	ELECTRIC LINE		EASEMENT LINE
	OVERHEAD POWERLINE		SECTION LINE
	BARBED WIRE FENCE		CHAIN LINK FENCE
	IRON FENCE		WOOD PANEL FENCE
	S.I.P. - SET IRON PIN		MASONRY FENCE
	F.I.P. - FOUND IRON PIN		COMP-CORRUGATED METAL PIPE
	I.P. - IRON PIN		RCP-REINFORCED CONCRETE PIPE
	H.C. - HANDICAP		U/E - UTILITY EASEMENT
	B.L. - BUILDING LIMIT LINE		

NOTE: ALL MONUMENTS SET ARE CAPED 1/2" IRON PINS OR MAG NAILS
WITH WASHERS BOTH BEING STAMPED "DEE RPLS 6904" UNLESS NOTED OTHERWISE

ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR

Alterra - 2890 S Goliad

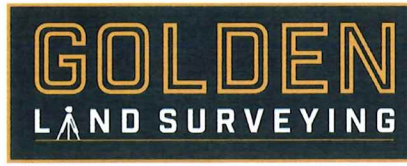
DATE OF FIELD SURVEY: 05/28/2026

NETWORK PROJECT NUMBER: 202601400-001 CLC

1-(800)-SURVEYS (787-8397)

TRANSACTION SERVICES

www.nv5.com/real-estate-transactions-services www.NV5.com



Project No. 261816 Zoning Legal Description

Being a 2.7 acre tract of land described for zoning purposes only. Said 2.7 acre Zoning Tract being situated in the J.R. Johnson Survey, Abstract No 128 and being all within a called 4.9911 acre tract of land described in Document No. 20200000002928 Official Public Records Rockwall County Texas and being described by metes and bounds as follows:

BEGINNING at the East corner of said 4.9911 acre tract of land, being on the South line of State Highway 205 (variable width public right of way) and being at the Northernmost corner of a called 23.28 acres described in Document No. 20260000009493 Official Public Records Rockwall County Texas.

Thence South 46 degrees 13 minutes 48 seconds West with the common line of said 4.9911 acre tract and said 23.28 acre tract, a distance of 426.93 feet to a point.

Thence over and across said 4.9911 acre tract, being contiguous with the boundary of Zone HC as shown on the City of Rockwall's GIS website (date retrieved 07/16/2026), the following three (3) courses and distances:

- 1) North 43 degrees 51 minutes 08 seconds West, a distance of 75.00 feet to a point
- 2) North 46 degrees 13 minutes 48 seconds East, a distance of 114.20 feet to a point.
- 3) North 43 degrees 51 minutes 08 seconds West, a distance of 274.37 feet to a point on the West line of said 4.9911 acre tract, being on the East line of Lot 1-R, Block 1, of the Replat of Texas Star Addition, Lot 1, Block 1, a subdivision of record in Volume F, Page 177 Map Records Rockwall County Texas.

Thence North 46 degrees 10 minutes 04 seconds East with the West line of said 4.9911 acres, the East line of said Lot 1-R and the East line of said Zone HC, a distance of 313.47 feet to a point at the North corner of said 4.9911 acre tract, being on the South line of State Highway 205.

Thence South 43 degrees 53 minutes 18 Seconds East, with the North line of said 4.9911 acre tract and the South line of said State Highway 205, a distance of 280.62 feet to a point

Thence South 43 degrees 05 minutes 51 seconds East staying with the North line of said 4.9911 acre tract and the South line of State Highway 205, a distance of 69.10 feet to the POINT OF BEGINNING for this Zoning Description (not to be used for Fee Title Transfers or relied upon for boundary purposes) and containing 2.7 acres of land, more or less.