



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$500.00 + \$20.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$500.00 + \$20.00 ACRE) ¹
- ☐ FINAL PLAT (\$500.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$500.00 + \$20.00 ACRE) ^{1&3}
- ☐ AMENDING OR MINOR PLAT (\$500.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$200.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$1,000.00 + \$20.00 ACRE) ^{1&2}
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$500.00) ²

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$200.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS [RESIDENTIAL] (\$200.00) ²
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS [COMMERCIAL] (\$1,000.00) ²

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$1,000.00 + \$20.00 ACRE) ^{1&3}
- ☒ SPECIFIC USE PERMIT [RESIDENTIAL] (\$200.00 + \$20.00 ACRE) ^{1,2&3}
- ☐ SPECIFIC USE PERMIT [COMMERCIAL] (\$1,000.00 + \$20.00 ACRE) ^{1,2&3}
- ☐ PLANNED DEVELOPMENT DISTRICT (\$1,500.00 + \$20.00 ACRE) ^{1&3}
- ☐ PD DEVELOPMENT PLANS (\$1,500.00 + \$20.00 ACRE) ^{1&3}

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$2,500.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

³: AN ADDITIONAL FEE OF **\$150.00** WILL BE REQUIRED FOR THE COST OF NOTIFICATIONS.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 521 Renfro St

SUBDIVISION

LOT

5

BLOCK

A

GENERAL LOCATION

Renfro St + Hartman St

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

0.637 Acre LOTS [CURRENT]

1

LOTS [PROPOSED]

1

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER

Steven Stanley

☐ APPLICANT

Matt Benedetto

CONTACT PERSON

CONTACT PERSON

Highview Homes

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Steven Stanley [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 370.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF July, 2026. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

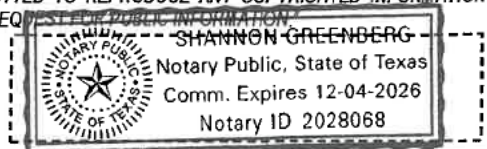
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF July, 2026.

OWNER'S SIGNATURE

Steven Stanley

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Shannon Greengard



MY COMMISSION EXPIRES 12-04-2026



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

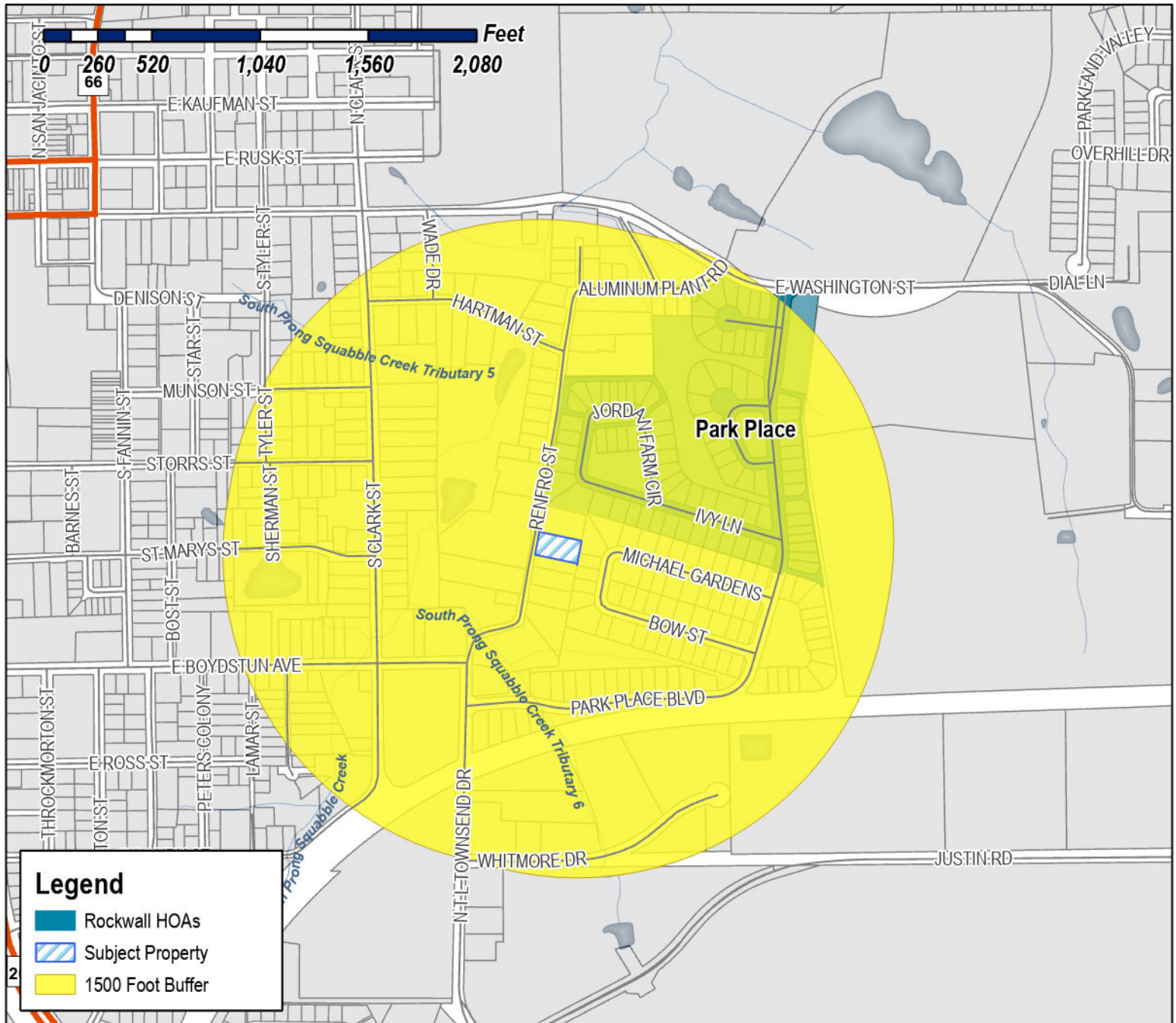




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2026-038
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 521 Renfro Street

Date Saved: 7/14/2026
For Questions on this Case Call (972) 771-7745



PLUNKETT NEIL F AND GAYLA A
1000 BOW ST
ROCKWALL, TX 75087

LADD JESSE & TAMMY
1001 MICHAEL GARDENS
ROCKWALL, TX 75087

JONES COLLINS BRUCE & JERALDINE C
1002 BOW ST.
ROCKWALL, TX 75087

TENNEY LYNN H III AND CHRISTINE L
1002 IVY LN
ROCKWALL, TX 75087

BREWER ROBERT AND GAYLE
1004 MICHAEL GARDENS
ROCKWALL, TX 75087

MILLER MARION F
1005 BOW ST.
ROCKWALL, TX 75087

MOSELEY TIM AND MELISSA
1007 MICHAEL GARDENS
ROCKWALL, TX 75087

BRIDGES SANDRA DAVIS
1008 IVY LANE
ROCKWALL, TX 75087

RESIDENT
1009 IVY LN
ROCKWALL, TX 75087

LUTES GREGORY AND SUSAN
1009 BOW ST
ROCKWALL, TX 75087

RESIDENT
1010 BOW ST
ROCKWALL, TX 75087

DANIELS JERRY RONALD
1011 MICHAEL GARDENS
ROCKWALL, TX 75087

HOLLEY TERRY AND LIBBY
1012 MICHAEL GARDENS
ROCKWALL, TX 75087

STEWART ROBIN
1013 BOW STREET
ROCKWALL, TX 75087

MANZ CHARLES & CHRISTAL
1014 Bow St
Rockwall, TX 75087

MOORE BECKY INEZ AND
CYNTHIA ANN HUDDLESTON
1014 IVY LN
ROCKWALL, TX 75087

JONES RONALD AND MARILYN
1015 MICHAEL GARDENS
ROCKWALL, TX 75087

FOX KARA ANN KENNIMER
1016 MICHAEL GARDENS
ROCKWALL, TX 75087

RESIDENT
1017 BOW ST
ROCKWALL, TX 75087

RAMIREZ JOEL DEAN AND TAMARA KAYE
1018 Bow St
Rockwall, TX 75087

DEVINE FAMILY TRUST
RUTH C DEVINE- TRUSTEE
1019 MICHAEL GARDENS
ROCKWALL, TX 75087

BREZIK JAMES AND ROBIN
1020 MICHAEL GDNS
ROCKWALL, TX 75087

DAVIDSON HENDRICA
1021 BOW ST
ROCKWALL, TX 75087

CANO OSCAR AND NANCY
1025 MICHAEL GARDENS
ROCKWALL, TX 75087

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

HOGUE MIKE AND VICKY
1498 HUBBARD DR
FORNEY, TX 75126

HELTON TIMOTHY STEVEN AND DELENA ANN
1804 STONE HARBOR WAY
KNOXVILLE, TN 37922

RICHARD HARRIS LIVING TRUST
RICHARD HARRIS - TRUSTEE
210 GLENN AVE
ROCKWALL, TX 75087

PARK PLACE WEST HOMEOWNERS ASSOCIATION
INC
305 PARK PLACE BLVD
ROCKWALL, TX 75087

PARK PLACE WEST HOMEOWNERS ASSOCIATION
INC
305 PARK PLACE BLVD
ROCKWALL, TX 75087

BUTTERLY GLENN MARCUS III & SHWETHA
MARCELLINA
3506 ANTHONY CIRCLE
ROWLETT, TX 75088

CLARK STREET VENTURES LLC
401 COUNTRY RIDGE RD
ROCKWALL, TX 75087

RESIDENT
410 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
412 RENFRO ST
ROCKWALL, TX 75087

FLYNT GARY & NANCY
414 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

HOWARD DALE E AND JOYCE
420 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

WALKER ANTHONY W AND JENNIFER
426 JORDAN FARM CIR
ROCKWALL, TX 75087

ROGERS PAULA S
429 JORDAN FARM CIR
ROCKWALL, TX 75087

RESIDENT
434 JORDAN FARM CIR
ROCKWALL, TX 75087

CONWAY MICHAEL AND JEAN
435 JORDAN FARM
ROCKWALL, TX 75087

RESIDENT
500 RENFRO ST
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
506 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
507 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
601 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
601 RENFRO ST
ROCKWALL, TX 75087

KIMBALL AARON AND LEANNA
602 ANGELA CRESCENT
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

CALDWELL KEVIN L & LINDA D
605 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
606 RENFRO ST
ROCKWALL, TX 75087

HARRINGTON DEBORAH
607 RENFRO ST
ROCKWALL, TX 75087

STOVALL PERRY J & BEVERLY A
608 ANGELA CRESCENT
ROCKWALL, TX 75087

ROBERTS TERRY DON AND MICHELLE
614 Angela Cres
Rockwall, TX 75087

ABBOTT TODD & WHITNEY
619 RENFRO STREET
ROCKWALL, TX 75087

RATLEY GLORIA ANN
620 ANGELA CRESCENT
ROCKWALL, TX 75087

KNOERR KELLIE MICHELLE
626 Angela Cres
Rockwall, TX 75087

KENNEDY BRENDA K
701 T L TOWNSEND DR
ROCKWALL, TX 75087

RESIDENT
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

HURST RICHARD AND KIM
709B W Rusk St PMB 825
Rockwall, TX 75087

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

RESIDENT
886 IVY LN
ROCKWALL, TX 75087

BARRIER CHRISTIA A
891 IVY LN
ROCKWALL, TX 75087

GLENN CAITLIN
892 IVY LN
ROCKWALL, TX 75087

RAGSDALE ELIZABETH J LIFE ESTATE
LISA JANE BAKER & DONALD KIRK RAGSDALE
895 IVY LN
ROCKWALL, TX 75087

MARSHA MASON REVOCABLE TRUST
901 IVY LN
ROCKWALL, TX 75087

STINEBAUGH DEANNA
905 IVY LANE
ROCKWALL, TX 75087

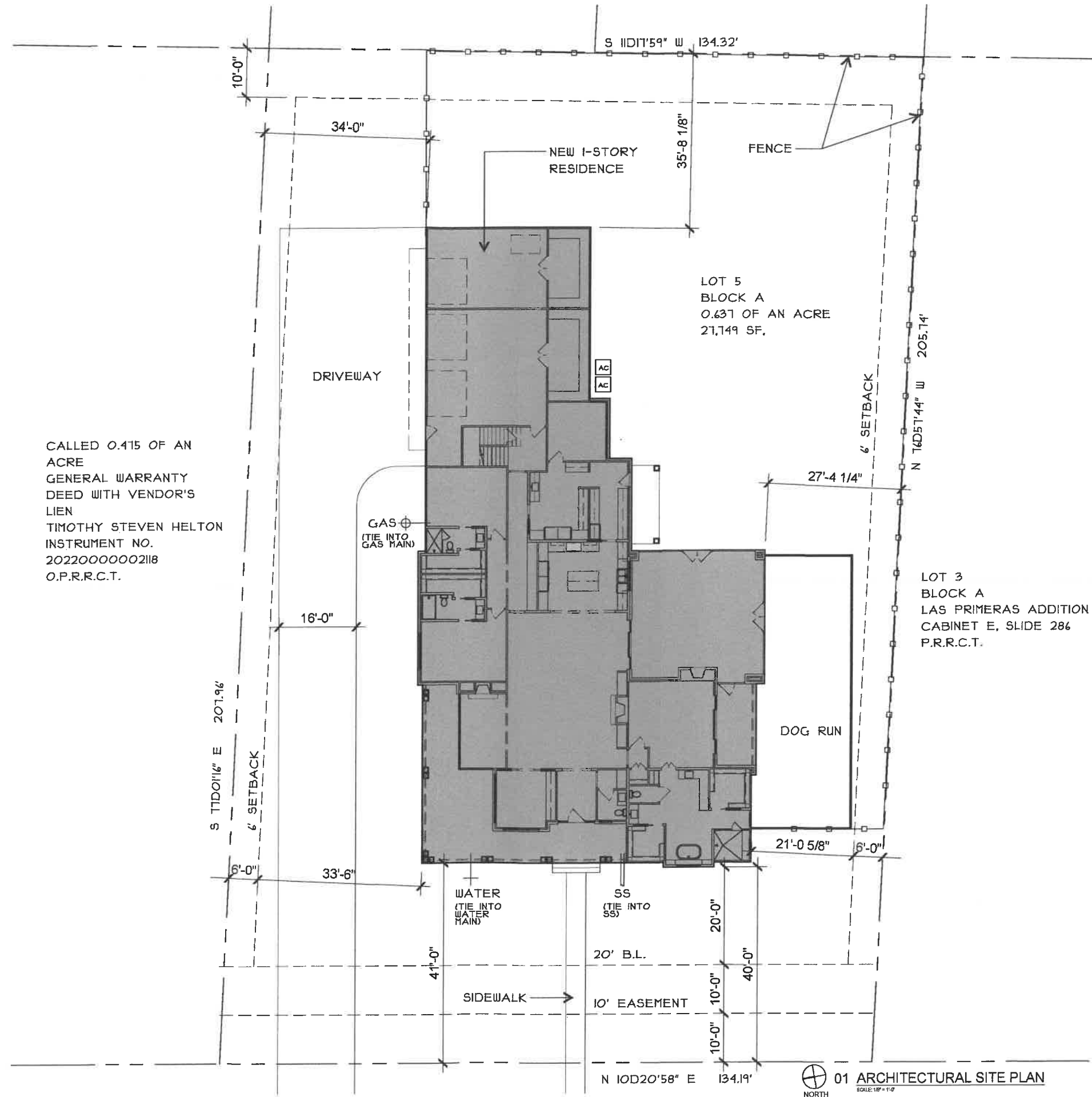
KENT AND NARSHA MCKINNEY REVOCABLE
TRUST
KENT & NARSHA MCKINNEY - TRUSTEES
908 IVY LN
ROCKWALL, TX 75087

SWARTZ RODRICK SHANNON & DEBORAH KAY
914 IVY LN
ROCKWALL, TX 75087

ALLISON DEANNA JO
PO BOX 1624
ROCKWALL, TX 75087

MISHLER MICHAEL L AND RHONDA
PO BOX 38
ROCKWALL, TX 75087

HOWELL RONALD L AND MICHELE L
PO BOX 761
ROCKWALL, TX 75087



CALLED 0.415 OF AN
ACRE
GENERAL WARRANTY
DEED WITH VENDOR'S
LIEN
TIMOTHY STEVEN HELTON
INSTRUMENT NO.
20220000002118
O.P.R.R.C.T.

LOT 3
BLOCK A
LAS PRIMERAS ADDITION
CABINET E, SLIDE 286
P.R.R.C.T.



STANLEY
RESIDENCE
521 RENFRO
STREET
ROCKWALL, TX
75087

ISSUE LOG

DATE	DESCRIPTION
10/10/2021	FOR BID AND PERMIT

REVISION LOG

DATE	DESCRIPTION	REV. NO.
10/10/2021	FOR BID AND PERMIT	1

ISSUED FOR:

- ☐ PRELIMINARY -
- ☒ BIDDING / PERMIT
- ☐ REVISION
- ☐ FOR CONSTRUCTION



OWNER:
STEVE AND ROBIN STANLEY
CONTRACTOR:
MATT BENEDETTO
matt.benedetto@stet.com
214-454-8233
DESIGNER:
PATRICK PHILIPS
p.philips@stet.com
214-284-8774

ARCH. PROJ. # 2021 SCALE: 1/8" = 1'-0"

SHEET NO. 2021 REF. DRAWING

A2.1

SITE PLAN

STANLEY
RESIDENCE
521 RENFRO
STREET
ROCKWALL, TX
75087

ISSUE LOG

DATE	DESCRIPTION
ISSUE	
NOOK	FOR BID AND PERMIT

REVISION LOG

DATE	DESCRIPTION	REV
ISSUE		NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION

Fanning Phillips
DESIGN

OWNER:
STEVE AND ROBIN STANLEY

CONTRACTOR:
NATE BENDER
natebender@outlook.com
214-454-6023

DESIGNER:
PATRICK PHILLIPS
patrick@fanningphillips.com
214-264-8734

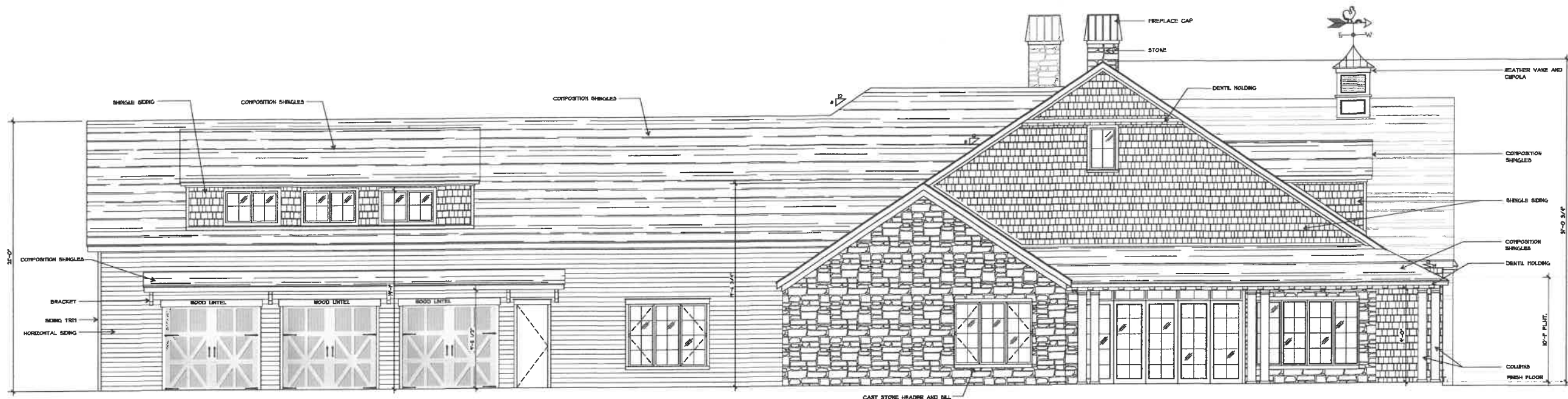
ARCH. PROJ. #
20201

SCALE:
REF. DRAWING

SHEET NO.

A5.1

ELEVATIONS



02 NORTH ELEVATION
SCALE 1/4"=1'-0"



01 WEST ELEVATION
SCALE 1/4"=1'-0"



STANLEY
RESIDENCE
521 RENFRO
STREET
ROCKWALL, TX
75087

ISSUE LOG

DATE	DESCRIPTION
ISSUE	
FOR BID AND PERMIT	

REVISION LOG

DATE	DESCRIPTION	REV
ISSUE		NO

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
STEVE AND ROBIN STANLEY

CONTRACTOR:
MATT SKEDETTIO
matt.skedettio@stnsl.com
214-454-8233

DESIGNER:
FANNING PHILLIPS
fph@fanningphillips.com
214-354-8734

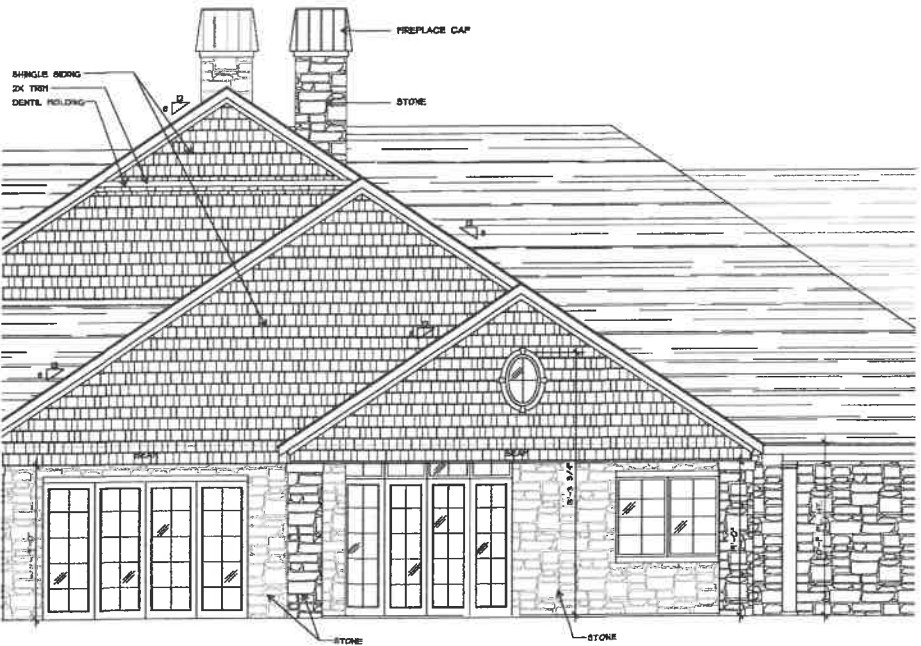
ARCH. PROJ. #
24201

SCALE
REF. DRAWING

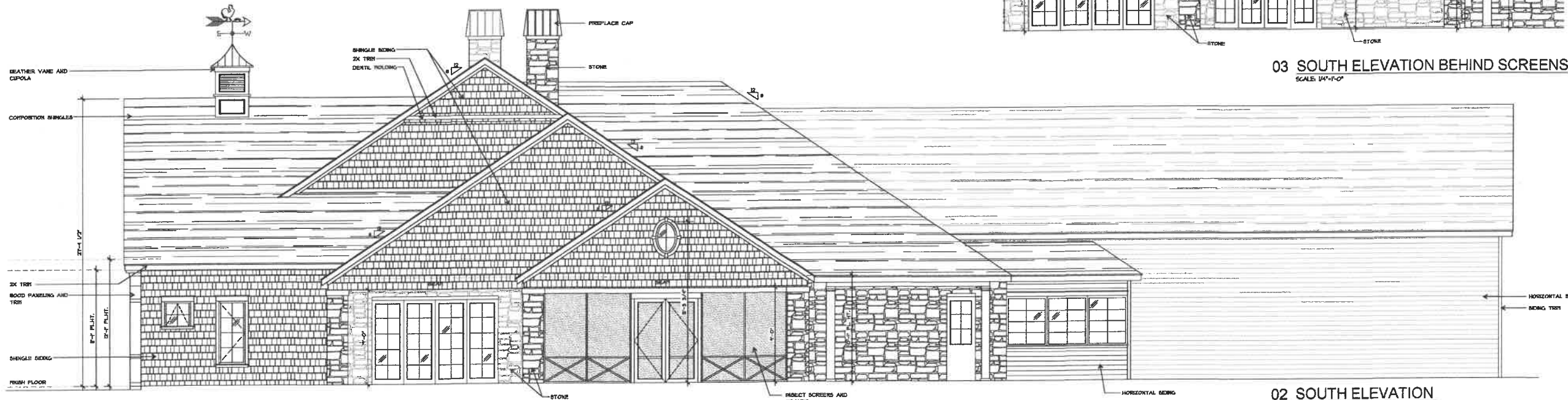
SHEET NO.

A5.2

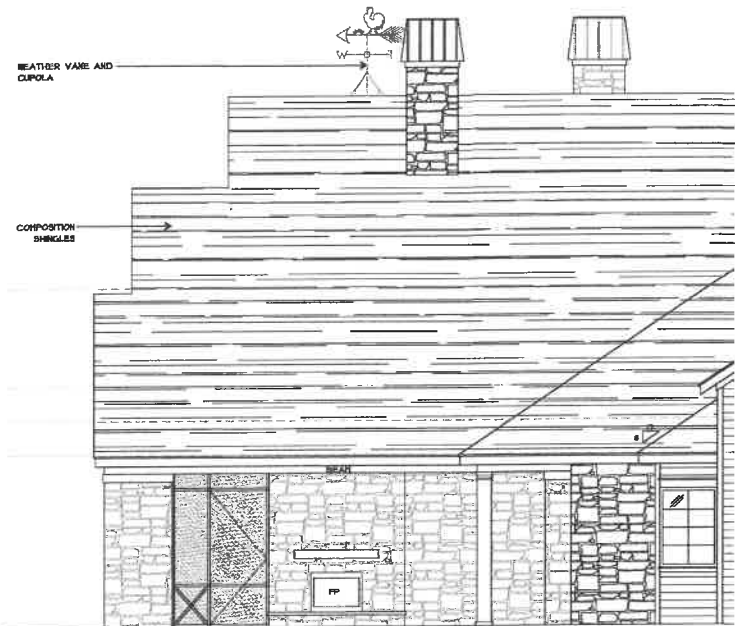
ELEVATIONS



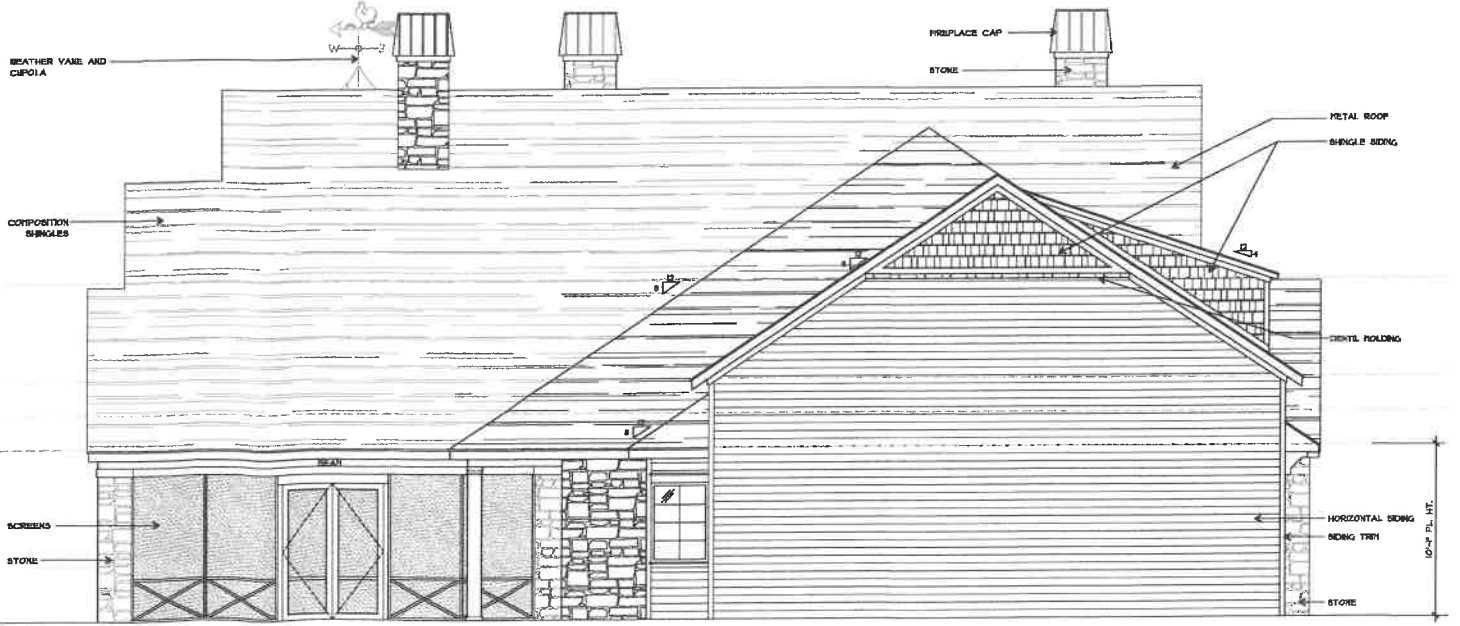
03 SOUTH ELEVATION BEHIND SCREENS
SCALE: 1/4"=1'-0"



02 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



04 EAST ELEVATION BEHIND SCREENS
SCALE: 1/4"=1'-0"



01 EAST ELEVATION
SCALE: 1/4"=1'-0"

ROOF CONSTRUCTION NOTES

1. ROOF DRAINAGE TO BE DRAINAGE.
2. ROOF PITCH TO BE 12:12.
3. PROVIDE ATTIC VENTS AS SPECIFIED IN WALL SECTIONS IF APPLICABLE.
4. THE ROOF TRUSSES OR RAFTERS TO BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
5. FIRST TRUSS OR RAFTER TO BE INSTALLED SHALL BE INSTALLED AS SHOWN IN THE ELEVATION AND SHALL BE USED AS A GUIDE FOR THE REMAINING TRUSSES OR RAFTERS.
6. TRUSSES OR RAFTERS SHALL BE INSTALLED WITH THE CORRECT END GRANTS AND SHALL BE USED AS A GUIDE FOR THE REMAINING TRUSSES OR RAFTERS.
7. PROVIDE ALL REQUIRED TRUSSES OR RAFTERS AS SPECIFIED ON THE TRUSS PLAN.



STANLEY
RESIDENCE
521 RENFRO
STREET
ROCKWALL, TX
75087

ISSUE LOG	
DATE	DESCRIPTION

REVISION LOG		
DATE	DESCRIPTION	REV.

ISSUED FOR:

☐ PRELIMINARY

☒ BIDDING / PERMIT

☐ REVISION

☐ FOR CONSTRUCTION

Fanning Phillips
DESIGN

OWNER:
STEVE AND ROBIN STANLEY

CONTRACTOR:
MATT BENDER
mattbender@stanley.com
214-464-6000

DESIGNER:
PAULA PHILLIPS
paula@fanningphillips.com
214-364-6734

ARCH. PROJ. #	SHEET NO.
2021	REF. DRAWING

A4.1
ROOF PLAN



01 ROOF PLAN
SCALE 1/8"=1'-0"

