



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$500.00 + \$20.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$500.00 + \$20.00 ACRE)¹
- ☐ FINAL PLAT (\$500.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$500.00 + \$20.00 ACRE)^{1 & 3}
- ☐ AMENDING OR MINOR PLAT (\$500.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$200.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$1,000.00 + \$20.00 ACRE)^{1 & 2}
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$500.00)²

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$200.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS [RESIDENTIAL] (\$200.00)²
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS [COMMERCIAL] (\$1,000.00)²

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$1,000.00 + \$20.00 ACRE)^{1 & 3}
- ☐ SPECIFIC USE PERMIT [RESIDENTIAL] (\$200.00 + \$20.00 ACRE)^{1, 2 & 3}
- ☐ SPECIFIC USE PERMIT [COMMERCIAL] (\$1,000.00 + \$20.00 ACRE)^{1, 2 & 3}
- ☐ PLANNED DEVELOPMENT DISTRICT (\$1,500.00 + \$20.00 ACRE)^{1 & 3}
- ☐ PD DEVELOPMENT PLANS (\$1,500.00 + \$20.00 ACRE)^{1 & 3}

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$2,500.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

³: AN ADDITIONAL FEE OF \$150.00 WILL BE REQUIRED FOR THE COST OF NOTIFICATIONS.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1480 T L Townsend Drive

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial - IH30 Overlay

CURRENT USE Ground Storage Tank

PROPOSED ZONING Commercial - IH30 Overlay

PROPOSED USE Potable Water Well

ACREAGE 1.09

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER

City of Heath

☒ APPLICANT

Kimley-Horn And Associates, Inc.

CONTACT PERSON

CONTACT PERSON

Tanner Henson

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Tiffanie Ramirez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1021.60 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF July, 2020. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

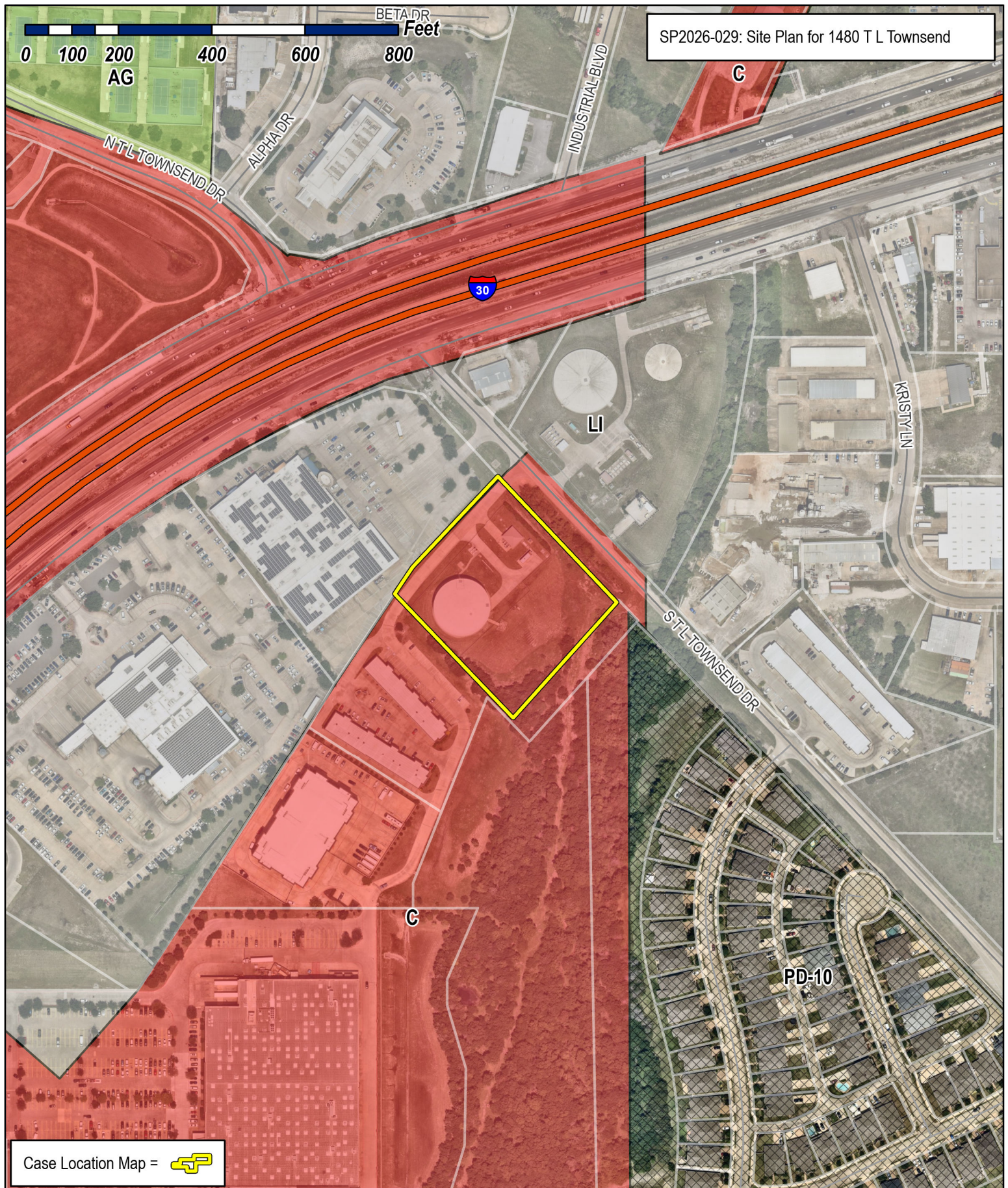
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF July, 2020

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Kristi Smith





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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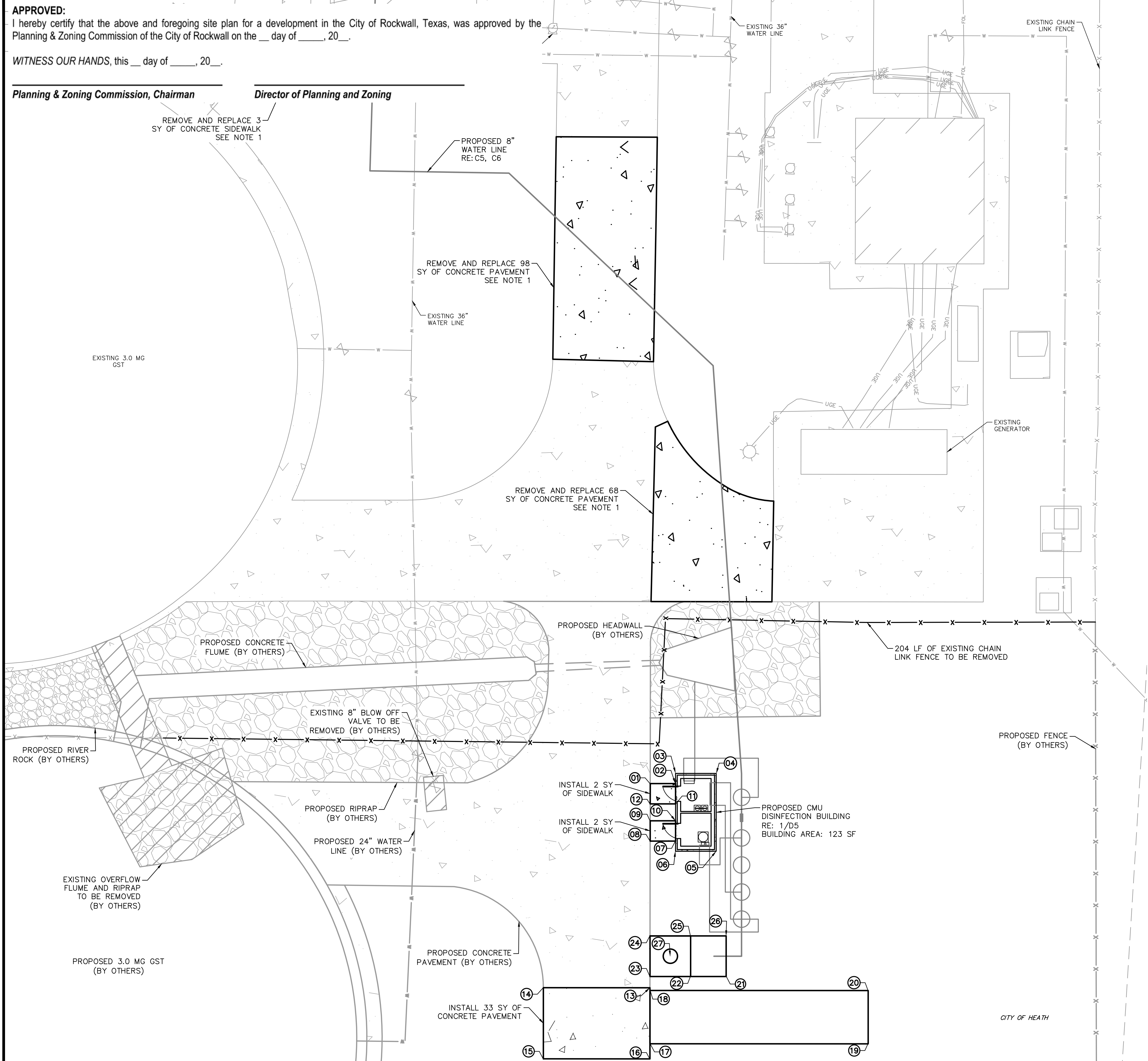


APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the __ day of ___, 20__.

WITNESS OUR HANDS, this __ day of ___, 20__.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ENTIRE CONCRETE PANELS WHERE CONCRETE PAVEMENT DEMOLITION IS REQUIRED.
2. CONTRACTOR SHALL COORDINATE WITH THE CONTRACTOR OF THE PROPOSED GST BY OTHERS FOR GENERAL WORKING STAGE. NO ADDITIONAL COSTS SHALL BE PAID FOR COORDINATION EFFORTS AND POTENTIAL LAYOUT RESTRICTIONS PER COORDINATION.

COORDINATE TABLE

	NORTHING	EASTING	DESCRIPTION
01	7020743.81	2599546.29	SIDEWALK CORNER
02	7020747.27	2599549.88	SIDEWALK CORNER
03	7020748.77	2599548.46	DISINFECTION BUILDING CORNER
04	7020754.26	2599554.26	DISINFECTION BUILDING CORNER
05	7020743.22	2599564.90	DISINFECTION BUILDING CORNER
06	7020737.67	2599559.14	DISINFECTION BUILDING CORNER
07	7020739.11	2599557.75	SIDEWALK CORNER
08	7020735.64	2599554.15	SIDEWALK CORNER
09	7020738.52	2599551.37	SIDEWALK CORNER
10	7020741.99	2599554.97	SIDEWALK CORNER
11	7020744.39	2599552.66	SIDEWALK CORNER
12	7020740.93	2599549.06	SIDEWALK CORNER
13	7020714.80	2599574.17	CONCRETE PAVEMENT CORNER
14	7020700.24	2599559.04	CONCRETE PAVEMENT CORNER
15	7020690.15	2599568.77	CONCRETE PAVEMENT CORNER
16	7020704.72	2599583.89	CONCRETE PAVEMENT CORNER
17	7020706.86	2599581.82	ELECTRICAL PAD CORNER
18	7020714.42	2599574.54	ELECTRICAL PAD CORNER
19	7020736.69	2599612.79	ELECTRICAL PAD CORNER
20	7020744.25	2599605.50	ELECTRICAL PAD CORNER
21	7020726.81	2599583.44	DISCHARGE PIPING PAD CORNER
22	7020721.96	2599578.40	WELL HEAD CORNER AND DISCHARGE PIPING PAD CORNER
23	7020716.41	2599572.64	WELL HEAD CORNER
24	7020722.17	2599567.09	WELL HEAD CORNER
25	7020727.72	2599572.85	WELL HEAD CORNER AND DISCHARGE PIPING PAD CORNER
26	7020732.58	2599577.89	DISCHARGE PIPING PAD CORNER
27	7020722.07	2599572.75	TOP OF WELL HEAD RE: 3/D3

PROJECT NUMBER: SP2026-XXX

SITE PLAN FOR WATER WELL 4

1.09 ACRES (47,346 SF) WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CURRENT ZONING: C (COMMERCIAL) IH30 OVERLAY
PROPOSED LAND USE: POTABLE WATER WELL

JUNE 2026

ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
ADDRESS: 13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER SUITE 700
DALLAS, TX 75240
PHONE: 682-348-5245
CONTACT: TANNER HENSON, P.E.

OWNER
CITY OF HEATH
ADDRESS: 200 LAURENCE DRIVE
HEATH, TX 75032
PHONE: 972-771-6228
CONTACT: BRYAN CREED

APPLICANT
KIMLEY-HORN AND ASSOCIATES, INC.
ADDRESS: 13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER SUITE 700
DALLAS, TX 75240
PHONE: 682-348-5245
CONTACT: TANNER HENSON, P.E.

ARCHITECT
QUORUM ARCHITECTS
ADDRESS: 825 WEST VICKERY BOULEVARD
SUITE 100
FORT WORTH, TX 76104
PHONE: 817-546-6313
CONTACT: ASHLEIGH HOOD

Kimley»Horn

Texas Board of Professional Engineers, City of Rockwall, License Number: E-508
13455 Noel Road, Two Galleria Office Tower Suite 700, Dallas, TX 75240 972-770-1300

THIS DOCUMENT IS INCOMPLETE AND IS RELEASED TEMPORARILY FOR INTERIM REVIEW ONLY. IT IS NOT TO BE USED FOR ANY BIDDING OR PERMIT PURPOSES.

TANNER D. HENSON, P.E.
SERIAL NO. 151423
DATE: JUNE 2026

WATER WELLS 2 & 4
CITY OF HEATH
ROCKWALL COUNTY, TEXAS

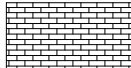
WATER WELL 4
SITE PLAN

DATE:	JUNE 2026
DESIGN:	TDH
DRAWN:	ENS
CHECKED:	KAF
KHA NO.:	064467609

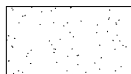
SHEET

C4

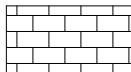
EXTERIOR FINISHES LEGEND



BRICK VENEER - RUNNING BOND
MANUF.: ACME BRICK
COLOR: 256 ALASKAN



CAST STONE - CAP
MANUF.: TEXAS BUILDING PRODUCTS
COLOR: DUSK



CMU VENEER - SPLIT FACED
MANUF.: BEST BLOCK
COLOR: 6 GREY GRANITE

OTHER MATERIALS:

MATERIAL	MANUFACTURER	COLOR
METAL ROOF	PAC - CLAD	BURNISHED SLATE - 614347
METAL CANOPY	ARCHITECTURAL FABRICATION	CHARCOAL
GUTTER & DOWN SPOUT	SHERWIN WILLIAMS	BLACK FOX SW 7020
DOORS & FRAMES	SHERWIN WILLIAMS	BLACK FOX SW 7020

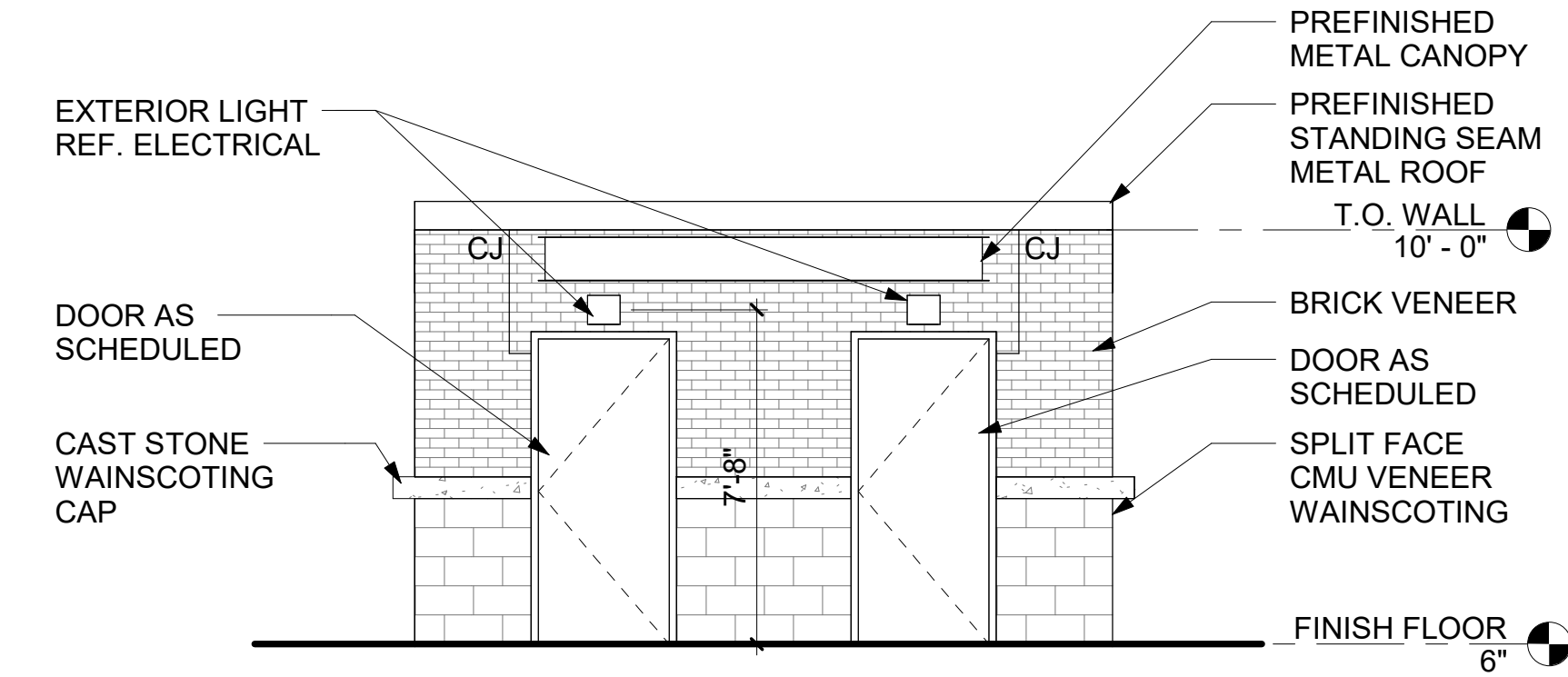
NOTE: COLOR SELECTION PROVIDED FOR BASIS OF DESIGN PURPOSES. ALL FINAL COLOR SELECTIONS TO BE MADE FROM MANUFACTURER'S FULL RANGE BY ARCHITECT AND OWNER.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the __ day of ____, 20__.

WITNESS OUR HANDS, this __ day of ____, 20__.

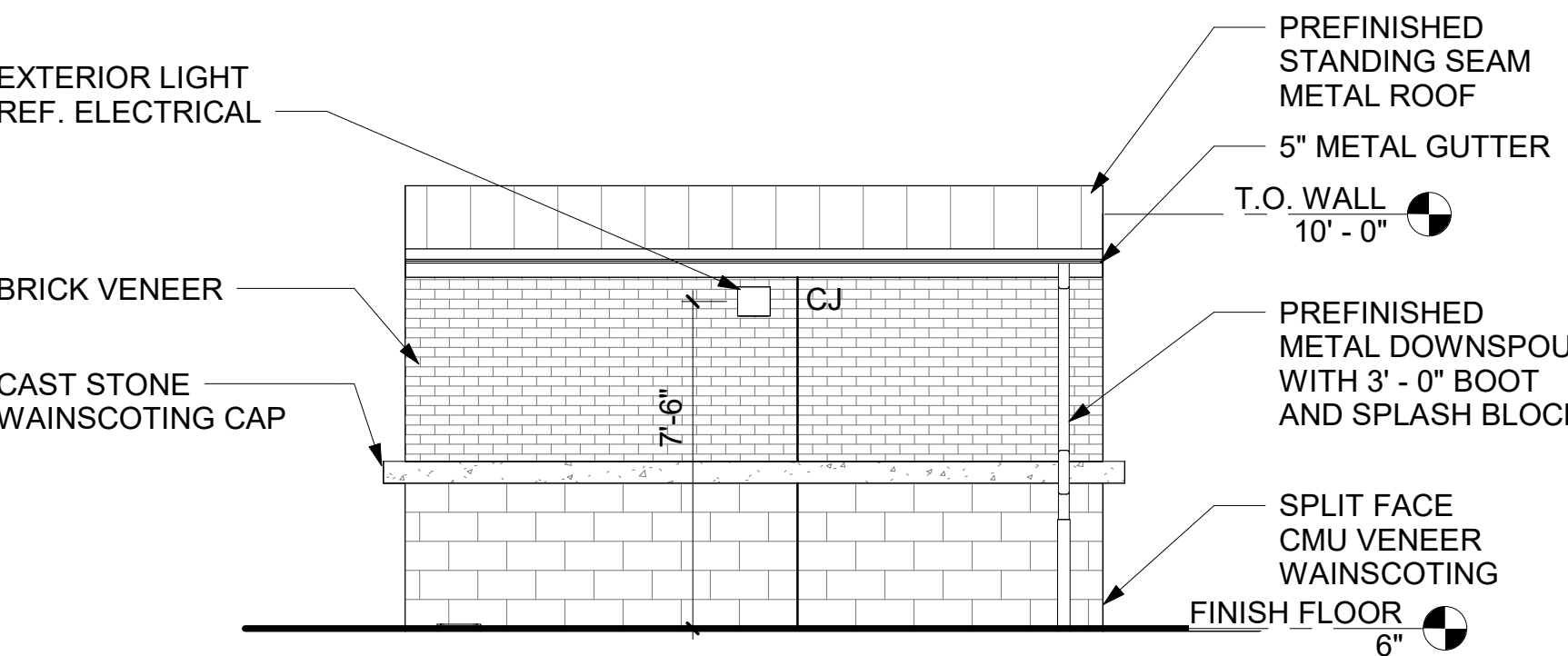
Planning & Zoning Commission, Chairman

Director of Planning and Zoning



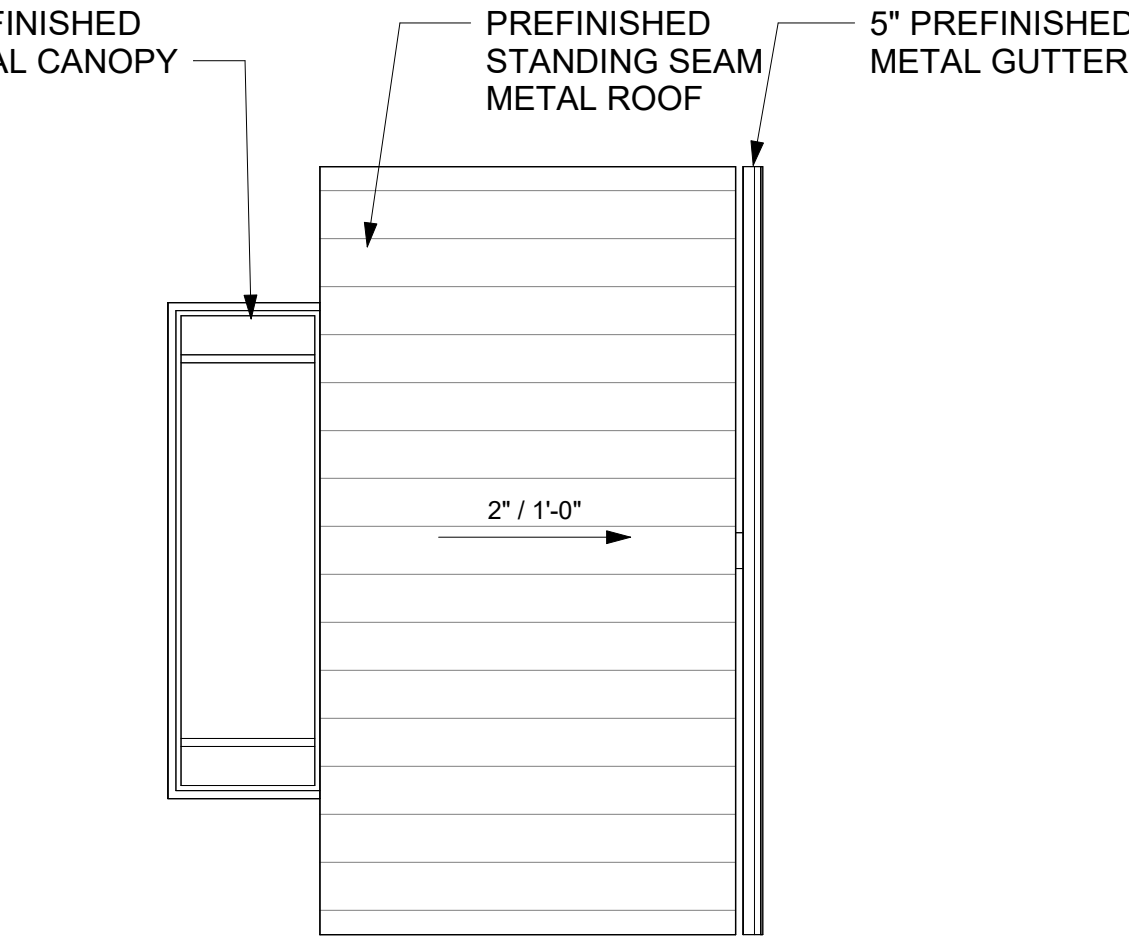
7 WEST ELEVATION

A1 SCALE: 1/4" = 1'-0"



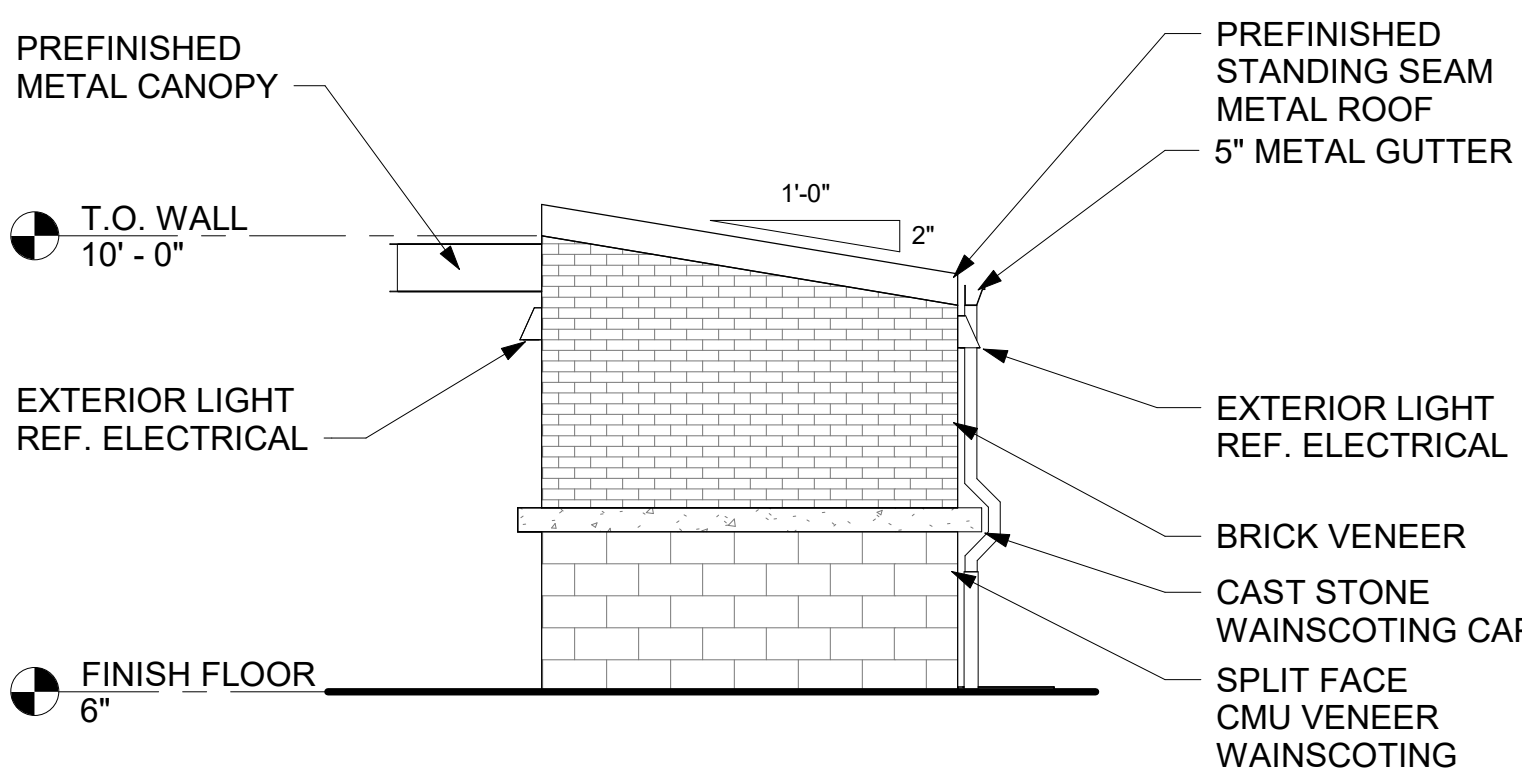
3 EAST ELEVATION

A1 SCALE: 1/4" = 1'-0"



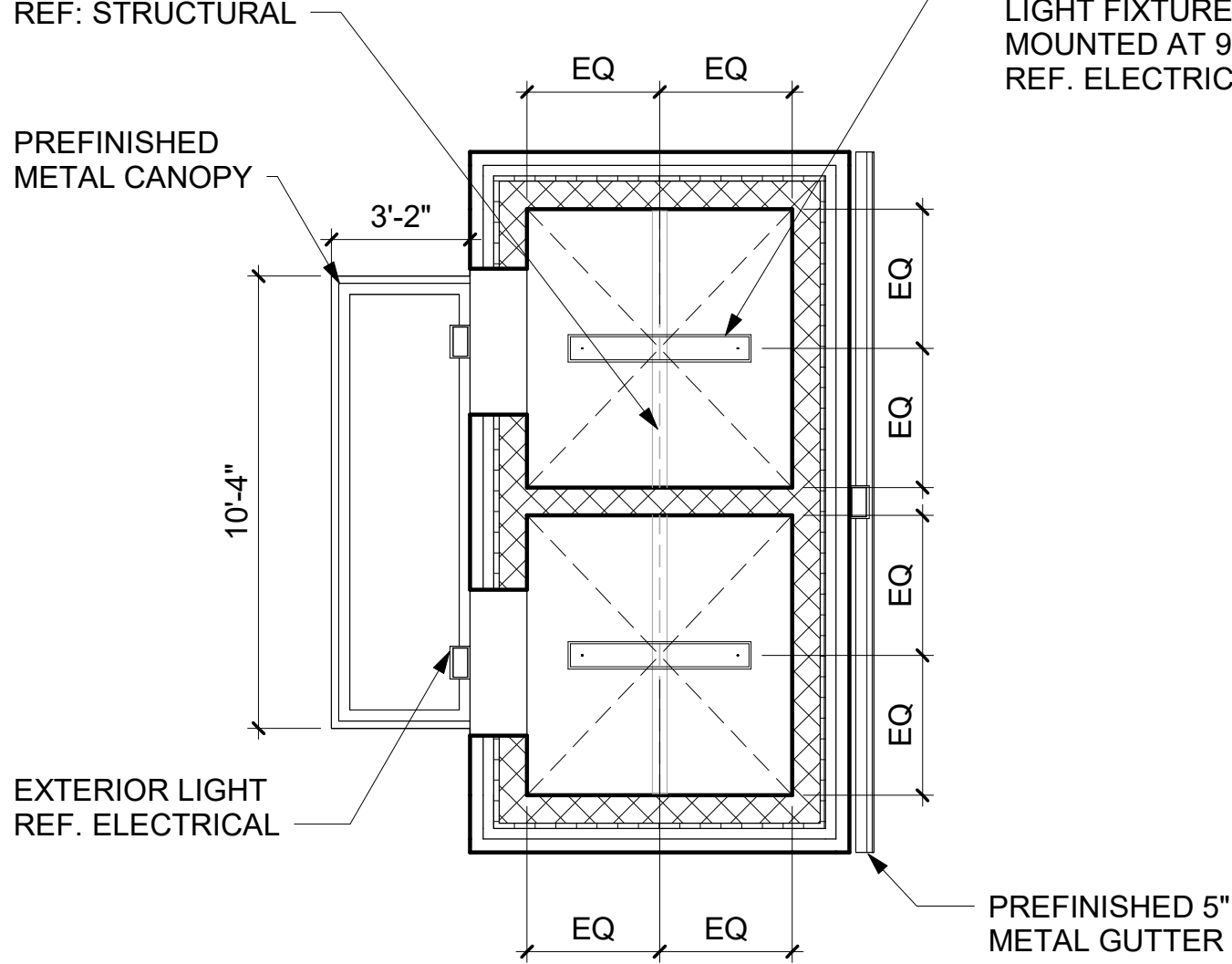
6 ROOF PLAN

A1 SCALE: 1/4" = 1'-0"



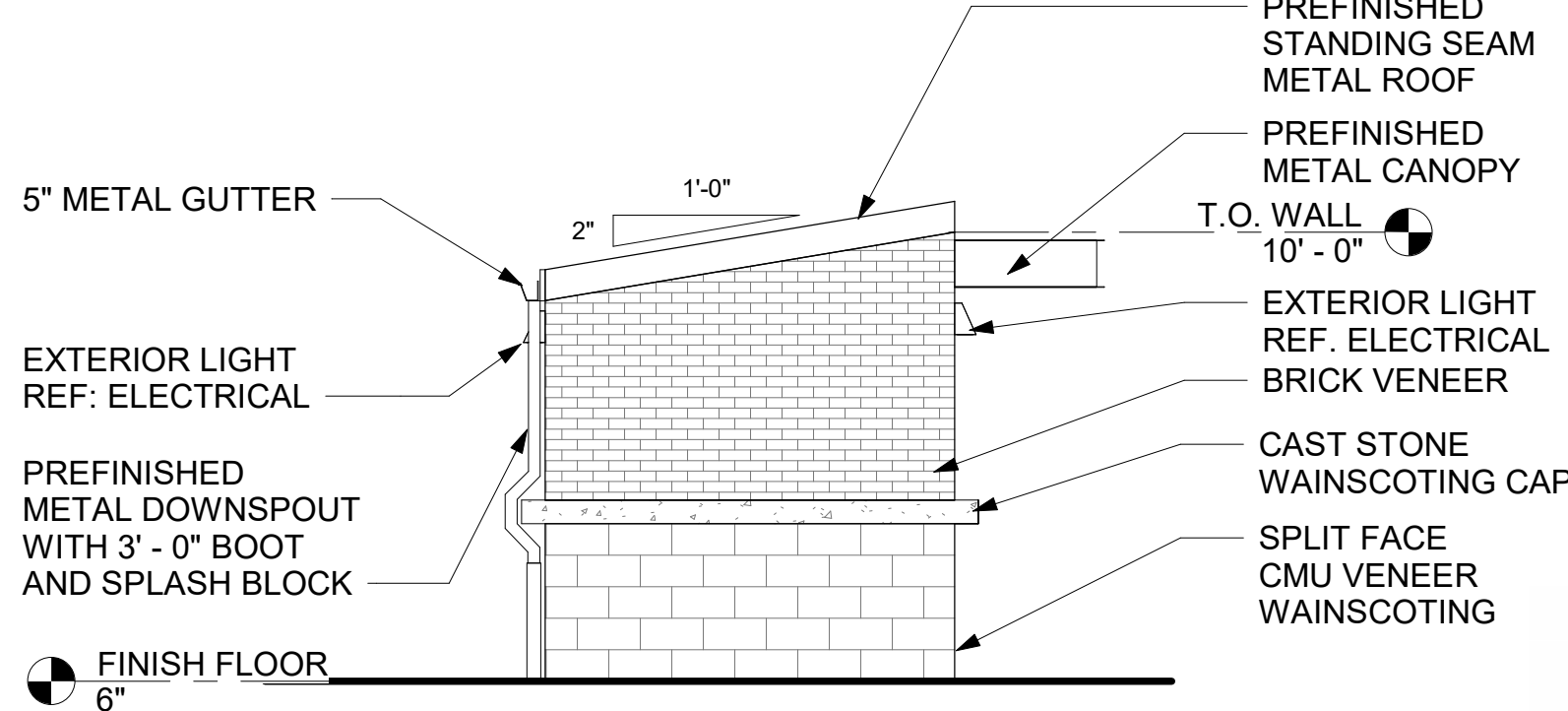
2 SOUTH ELEVATION

A1 SCALE: 1/4" = 1'-0"



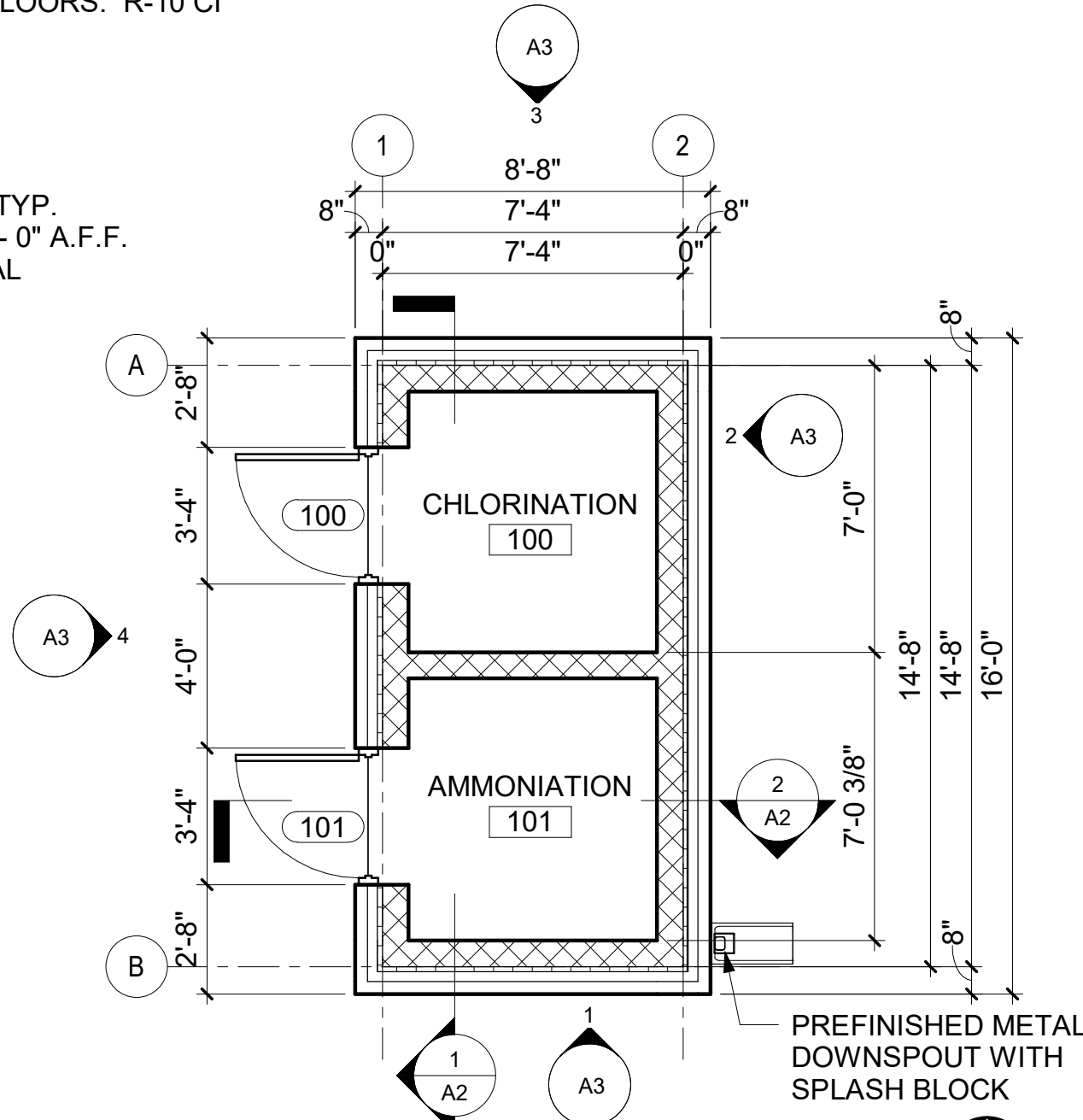
5 REFLECTED CEILING PLAN

A1 SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION

A1 SCALE: 1/4" = 1'-0"



4 FLOOR PLAN

A1 SCALE: 1/4" = 1'-0"

APPLICABLE CODES

2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL PLUMBING CODE
2021 INTERNATIONAL MECHANICAL CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE
2021 INTERNATIONAL FIRE CODE
2021 INTERNATIONAL FUEL GAS CODE
2020 NATIONAL ELECTRICAL CODE
2021 TEXAS ACCESSIBILITY STANDARDS
NOTE: ALL CODES TO COMPLY WITH LOCAL AMENDMENTS

GENERAL NOTES - FLOOR PLAN

- DIMENSIONS AS SHOWN ARE TO FACE OF STUD, CMU OR FACE OF BRICK, CONCRETE, UNLESS NOTED OTHERWISE (UNO).
- CONTRACTOR SHALL COORDINATE SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK, EQUIPMENT, AND ITEMS SUPPLIED BY THE OWNER, OR OTHERS, WITH THE SUPPLIER PRIOR TO THE START OF THE RELATED WORK.
- WARP ALL EXTERIOR PAVEMENT AT DOORWAYS TO FINISHED FLOOR WITH SLOPE NOT EXCEEDING 1.5% FOR 5' IN EACH DIRECTION.
- COORDINATE ALL LIGHTING, DUCTS, DIFFUSERS, AND ROOF PENETRATIONS WITH MEP DRAWINGS TO AVOID CONFLICT WITH STRUCTURE, AND OTHER BUILDING SYSTEMS.

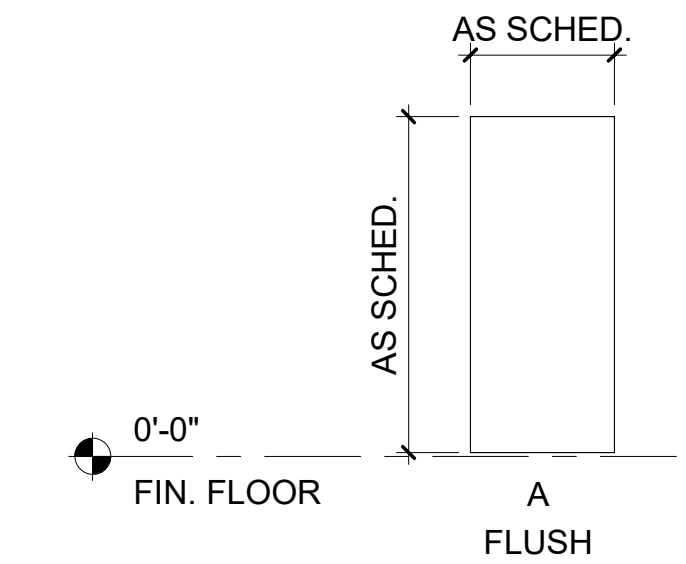
GENERAL NOTES - RCP

- COORDINATE ALL LOCATIONS OF ALL LIGHTS, DIFFUSERS, AND CEILING PENETRATIONS. NOTIFY ARCHITECT OF CONFLICTS FOR CLARIFICATION.

RCP LEGEND

- EXPOSED STRUCTURE
- INTERIOR LIGHT FIXTURE
- EXTERIOR LIGHT FIXTURE

DOOR SCHEDULE							
MARK	DOOR			FRAME	HARDWARE	NOTES	
	WIDTH	HEIGHT	TYPE	MATERIAL	SET		
100	3' - 0"	7' - 0"	A	FRP	FRP	ACCESS CONTROLLED, S.S. HARDWARE	
101	3' - 0"	7' - 0"	A	FRP	FRP	ACCESS CONTROLLED, S.S. HARDWARE	



DOOR TYPE LEGEND

PROJECT INFORMATION

ZONING:	
USE:	CHEMICAL STORAGE BUILDING
BUILDING:	
BUILDING HEIGHT:	ALLOWABLE: 55 FEET, 3 STORIES PROPOSED: 10 FEET - 8 INCHES
BUILDING AREA:	ALLOWABLE: 17,500 SF (TABLE 506.2) PROPOSED: 123 SF
OCCUPANCY:	GROUP H-4
CONSTRUCTION TYPE:	TYPE II B
EXITING:	
OCCUPANTS:	TABLE 1004.5 INDUSTRIAL - 100 GROSS 123 SF / 100 = 2 OCCUPANTS TOTAL OCCUPANTS: 2
EXITS:	2 REQUIRED 2 PROPOSED

ENERGY CODE

ROCKWALL COUNTY = ZONE 3A

ENVELOPE REQUIREMENTS:
ROOFS: INSULATION ENTIRELY ABOVE ROOF DECK = R-25 CI
WALLS: R-7.6 CI
FLOORS: R-10 CI

Kimley»Horn

By

Date

Revisions

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I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 20__.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



A3 SCALE: 1/2" = 1'-0"



A3 SCALE: 1/2" = 1'-0"

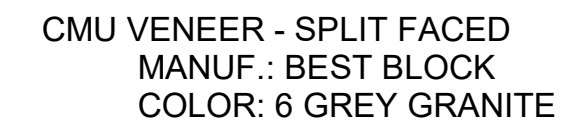
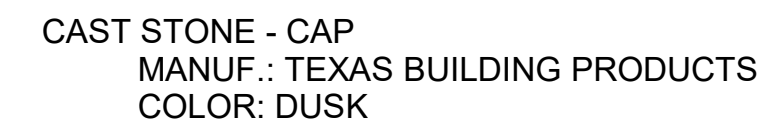


A3 SCALE: 1/2" = 1'-0"



A3 SCALE: 1/2" = 1'-0"

BRICK VENEER - RUNNING BOND
MANUF.: ACME BRICK
COLOR: 256 ALASKAN



MATERIAL	MANUFACTURER	COLOR
METAL ROOF	PAC - CLAD	BURNISHED SLATE - 614347
METAL CANOPY	ARCHITECTURAL FABRICATION	CHARCOAL
GUTTER & DOWN SPOUT	SHERWIN WILLIAMS	BLACK FOX SW 7020
DOORS & FRAMES	SHERWIN WILLIAMS	BLACK FOX SW 7020

NOTE: COLOR SELECTION PROVIDED FOR BASIS OF DESIGN PURPOSES, ALL FINAL COLOR SELECTIONS TO BE MADE FROM MANUFACTURER'S FULL RANGE BY ARCHITECT AND OWNER.

Kimley»»Horn

No.	Revisions	By	Date

THIS DOCUMENT ISSUED
JULY 2026
IS FOR PRELIMINARY
REVIEW ONLY UNDER THE
AUTHORITY OF
DAVID DUMAN, AIA
TEXAS REGISTRATION #
14305.
IT IS NOT TO BE USED FOR
CONSTRUCTION OR
FABRICATION PURPOSES

WATER WELL 2 & 4
CITY OF HEATH
ROCKWALL COUNTY, TEXAS

CHEMICAL BUILDING RENDERED ELEVATIONS

DATE:	JULY 2026
DESIGN:	DGD
DRAWN:	MNS
CHECKED:	ANH
KHA NO :	061457600

SHEET

A3

quorum
ARCHITECTURE · INTERIOR DESIGN

825 W Vickery Blvd, Suite 100
Fort Worth, TX 76104
817.738.8095

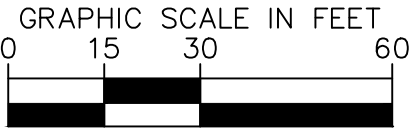
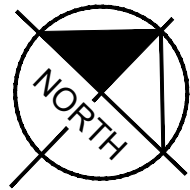
25089

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the __ day of ____, 20__.

WITNESS OUR HANDS, this __ day of ____, 20__.

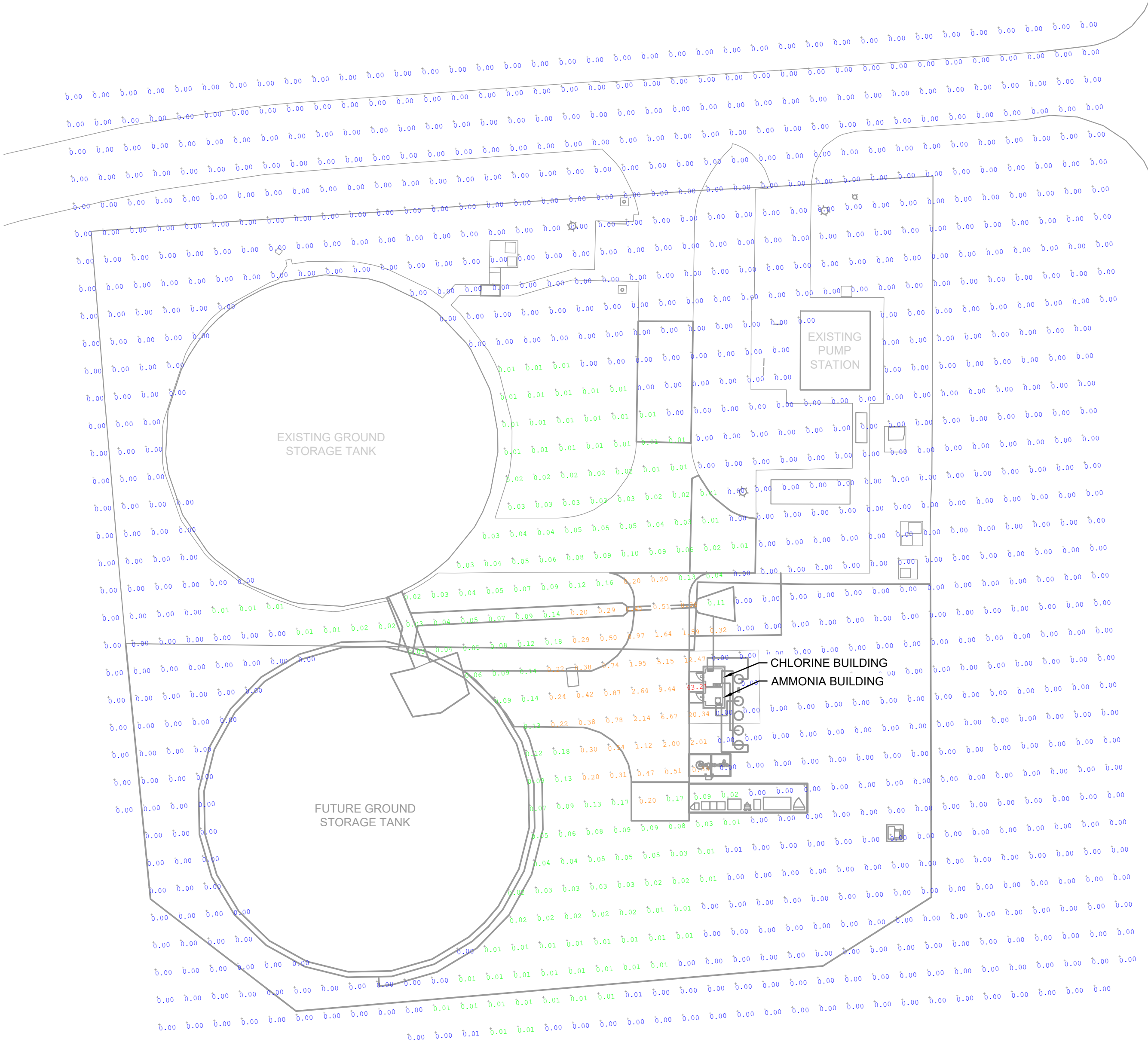
Planning & Zoning Commission, Chairman

Director of Planning and Zoning



LEGEND

- X.XX 0.00 FC
X.XX 0.01 FC – 0.19 FC
X.XX 0.20 FC – 42 FC
X.XX MAXIMUM FC



ELECTRICAL
WATER WELL 4 PHOTOMETRIC SITE PLAN

SCALE: 1" = 30' - 0"

ELECTRICAL
WATER WELL 4 PHOTOMETRIC SCHEDULES

SCALE: NO SCALE

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Entire Site	Illuminance	Fc	0.12	43.21	0.00	N.A.	N.A.
Disinfection Building	Illuminance	Fc	3.38	20.3	0.0	N.A.	N.A.

Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	UWLR	BUG Rating
	2	TWR1_LED_ALO-HIGH_50K_UVOLT	Single	TWR1 LED ALO-HIGH 50K UVOLT	1.000	8523	60	120	0.12	B1-U4-G5

Luminaire Location Summary						
LumNo	Label	Insertion Point			Orient	Tilt
		X	Y	Z		
3	TWR1_LED_ALO-HIGH_50K_UVOLT	2599556.498	7020740.881	8	223.836	0
4	TWR1_LED_ALO-HIGH_50K_UVOLT	2599551.41	7020746.162	8	223.836	0

Kimley»Horn

THIS DOCUMENT IS INCOMPLETE AND IS RELEASED TEMPORARILY FOR INTERIM REVIEW ONLY. IT IS NOT TO BE USED FOR BIDDING OR PERMIT PURPOSES.

NO. _____ P.E. _____

REVISION _____ BY _____

DATE: _____

WATER WELLS 2 & 4
CITY OF HEATH
ROCKWALL COUNTY, TEXAS

ELECTRICAL
WATER WELL 4
PHOTOMETRIC
CALCULATIONS

DATE: JUNE 2026

DESIGN: SCH

DRAWN: OKJ

CHECKED: SCH

KHA NO.: 064467609

SHEET

EX1