



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX)

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1,2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)³

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS: 950 & 962 E. Ralph Hall Pkwy. Rockwall, TX 75032

SUBDIVISION: ROCKWALL BUSINESS PARK EAST LOT: 13 BLOCK: _____

GENERAL LOCATION: RALPH HALL PKWY, TX

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING: C CURRENT USE: C₁

PROPOSED ZONING: _____ PROPOSED USE: _____

ACREAGE: 2.649 LOTS (CURRENT): 1 LOTS (PROPOSED): _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167, THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

<input checked="" type="checkbox"/> OWNER: BUFFALO COUNTRY PROPERTIES LLC	<input checked="" type="checkbox"/> APPLICANT: SRC Land Building Real Estate LLC.
CONTACT PERSON: Rajesh Malviya	CONTACT PERSON: Herkiran Kaur
ADDRESS: [REDACTED]	ADDRESS: [REDACTED]
CITY, STATE & ZIP: [REDACTED]	CITY, STATE & ZIP: [REDACTED]
PHONE: [REDACTED]	PHONE: [REDACTED]
E-MAIL: [REDACTED]	E-MAIL: [REDACTED]

NOTARY VERIFICATION (REQUIRED)

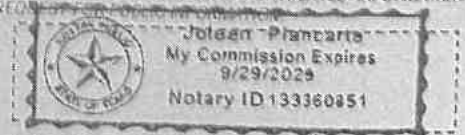
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RAJESH MALVIYA (OWNER) THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF June, 2022

OWNER'S SIGNATURE: Rajesh Malviya

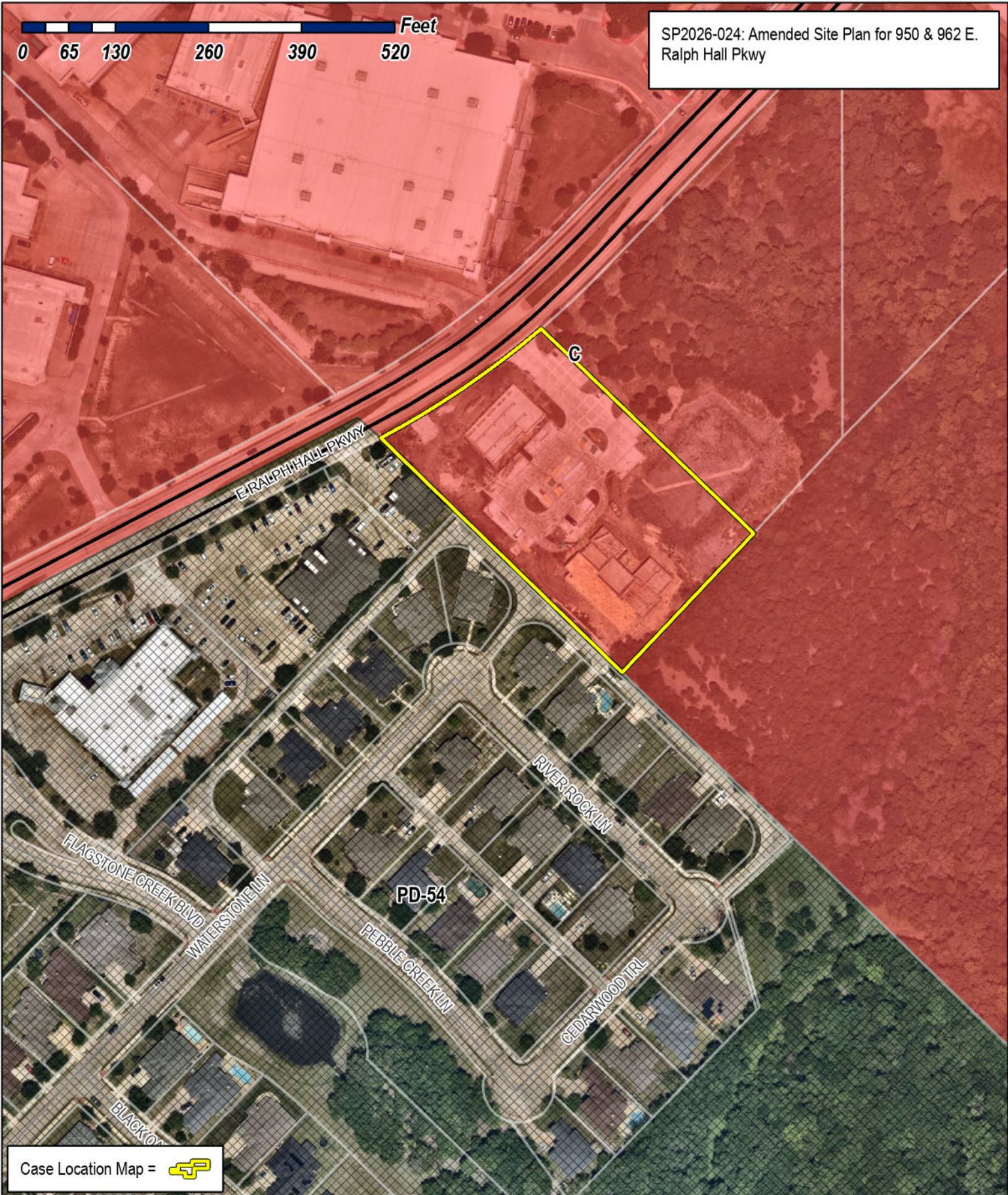
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Joleen Plante



MY COMMISSION EXPIRES 09/29/2025



SP2026-024: Amended Site Plan for 950 & 962 E. Ralph Hall Pkwy



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



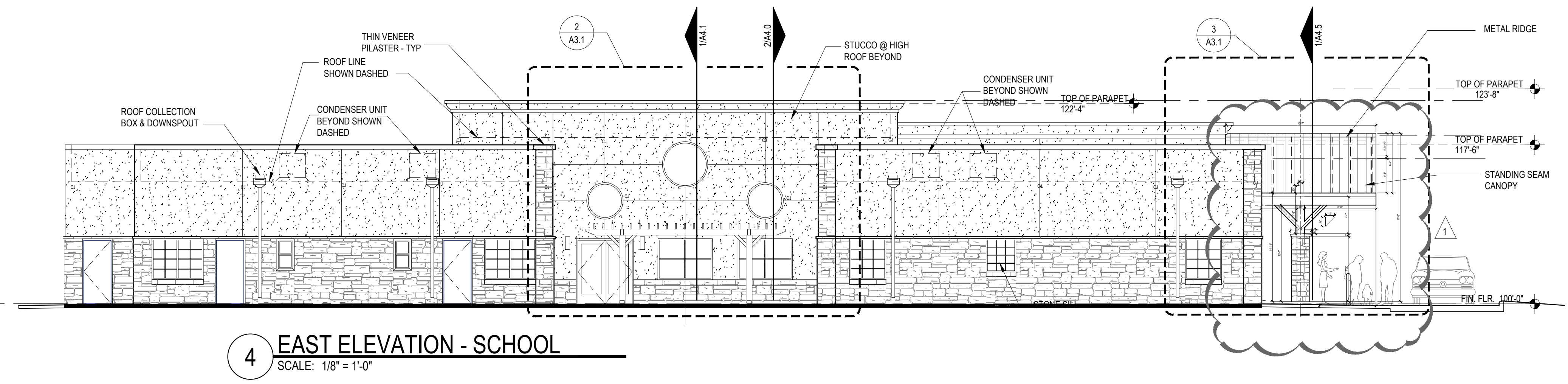
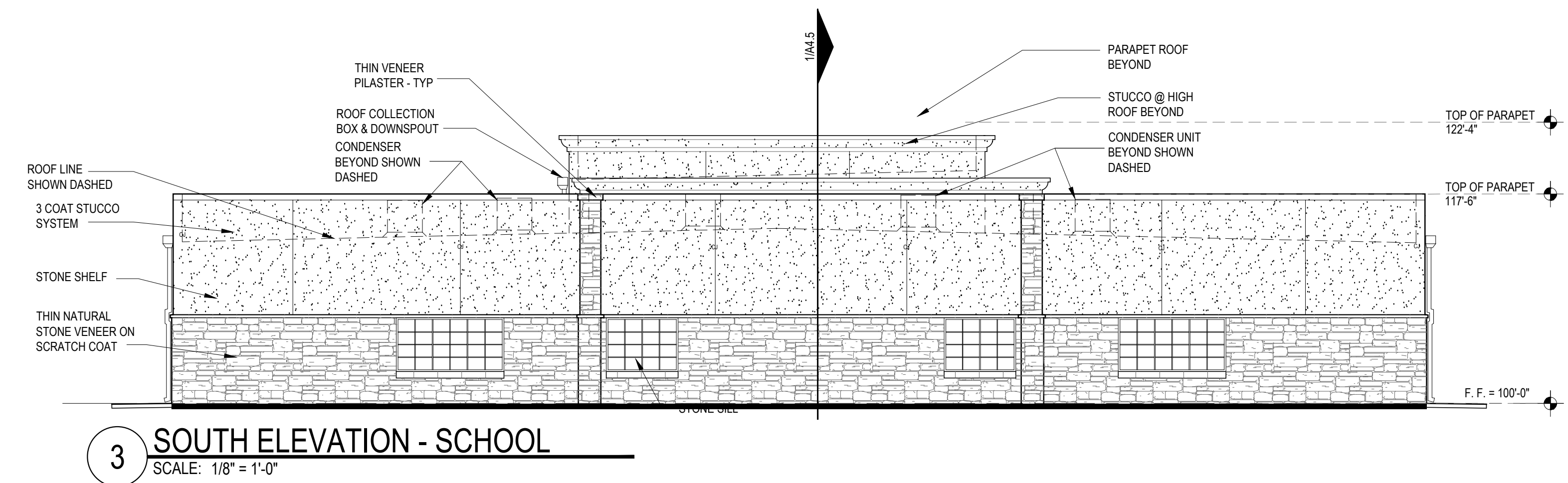
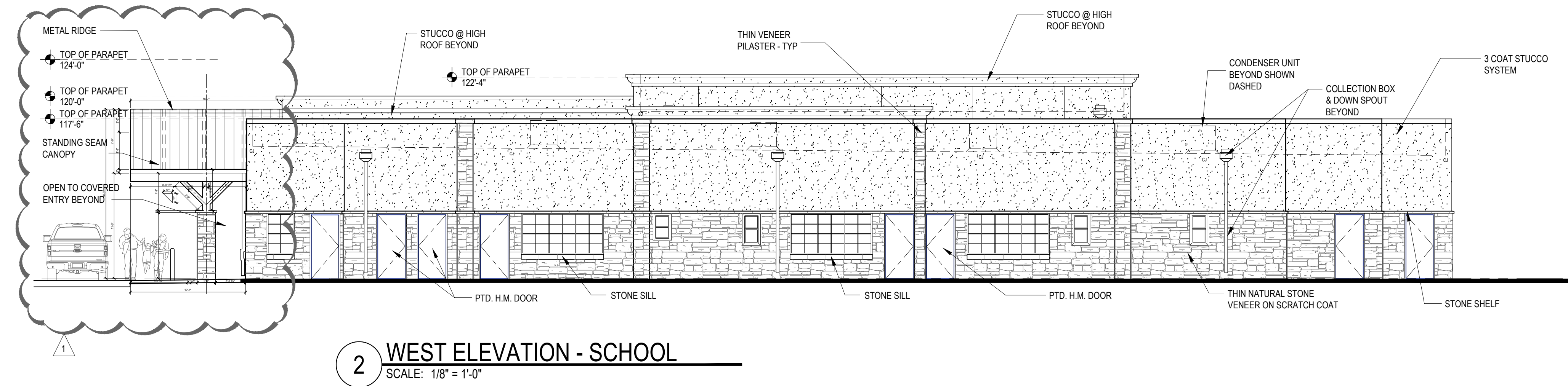
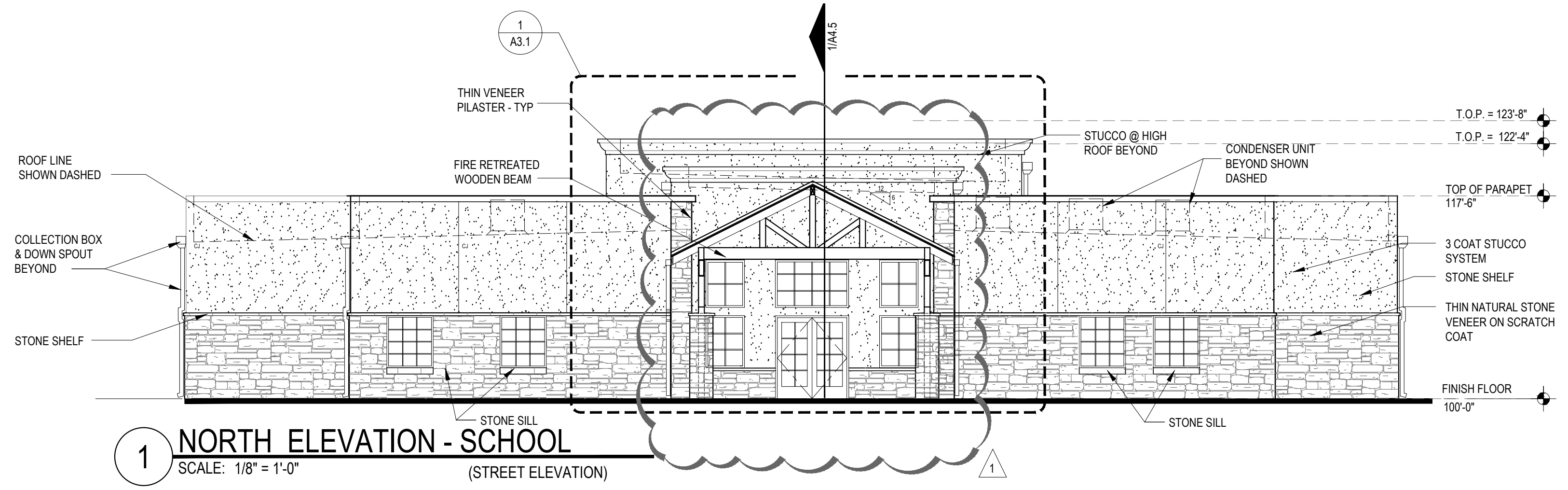
Revisions:

#	DATE	COMMENTS
1	MAY 01, 2026	V.E / Q.E UPDATE

- ### ELEVATION NOTES
- PROVIDE 1/2" MINIMUM OF SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
 - WHERE EXTERIOR WALL MOUNTED LIGHTING PROTRUDES GREATER THAN 4" FROM WALL, BOTTOM OF FIXTURE TO BE 6'-8" A.F.F. MAXIMUM.
 - REFER TO CIVIL FOR FINISH FLOOR ELEVATIONS
 - REFER TO STRUCTURAL DRAWINGS FOR SLAB BREAKS
 - FLASHING, WATERPROOF MEMBRANES, PROPER CAULKS AND SEALANTS (BACKER RODS AS REQUIRED) SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, ROOF OPENINGS, HORIZONTAL AND VERTICAL JOINTS OF DISSIMILAR MATERIALS, MATERIAL TRANSITIONS, TRIMS AND OTHER WEATHER EXPOSED AREAS.
 - ALL PATIOS AND SIDEWALKS TO BE SLOPED 1/4 PER FOOT / 2% MAXIMUM IN DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
 - GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 8 INCHES MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING.
 - GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL & DRAWINGS FOR FINAL GRADING.
 - PROJECT ADDRESS SIGNAGE TO BE 12" HT. INDIVIDUAL MOUNT, METAL REVERSE PAN CHANNEL NUMBER STREET NUMBERS ONLY.
 - SIGNS ARE FOR REFERENCE ONLY. ALL SIGNS SHALL BE REVIEWED AND INSTALLED UNDER SEPARATE PERMIT.

SYMBOL LEGEND - ELEVATIONS

	THIN BRICK VENEER		TOP OF PLATE
	THIN STONE VENEER		TOP OF DECK
	STUCCO		TOP OF SLAB
	DOOR TAG		FINISH FLOOR
	WINDOW TAG		
	WALL SECTION TAG		
	DETAIL SECTION TAG		



SCHOOL BUILDING

BUILDING MATERIALS	SOUTH	NORTH	EAST	WEST	TOTALS	
	SF	SF	SF	SF	SF	%
STUCCO	1,006	972	1,480	1,529	4,987	57 %
THIN STONE VENEER	600	613	631	601	2,445	28 %
DOORS	0	42	105	168	315	4 %
WINDOWS	134	115	290	146	685	8 %
STONE WINDOW SILLS	17	9	12	18	56	1 %
STONE SHELF	27	25	34	35	121	1 %
STANDING SEAM CANOPY	0	12	9	9	30	1 %
TOTALS	1,784	1,845	2,579	2,524	8,732	100 %

NOTE:
THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY.
ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
WHEN PERMITTED EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH BUILDING.
ALL SIGNAGE AREA AND LOCATIONS ARE SUBJECT TO APPROVAL BY BUILDING INSPECTION DEPARTMENT.

EXTERIOR FINISH SPECIFICATION

	EXTERIOR FINISHES	
Wood - EXTERIOR	Primer - Y24W08020	Exterior Oil - Based Wood Primer White
	Finish - A82W00151	A- 100@ Exterior Latex Stain
Steel/ ferrous Metal	Primer - B50W20001	Kem Kromik @ Universal Metal Primer
	Finish - B54W00101	Industrial Enamel
Galvanized Metal	Finish - A82W00151	A- 100@ Exterior Latex Stain
STUCCO	COLOR - STO - 16047	
THIN STONE	CORONADO	CORONADO - Country castle Versailles
STONE ACCENT BAND & STONE SILL	CORONADO	
FIBER GLASS WINDOW	PELLA POWDERED COAT FINISH BRONZE	
CANOPY SOFFIT	SHERMAN WILLIAMS - BRONZE	
H.M. DOORS	COLOR - STO 16045	

PROJECT

PINNACLE MONTESSORI OF ROCKWALL

Site Address:
905 E. Ralph Hall and Plaza Drive Rockwall, Texas 75087

PROJECT # SRC 032

OWNER

Lakeside Kids, LLC

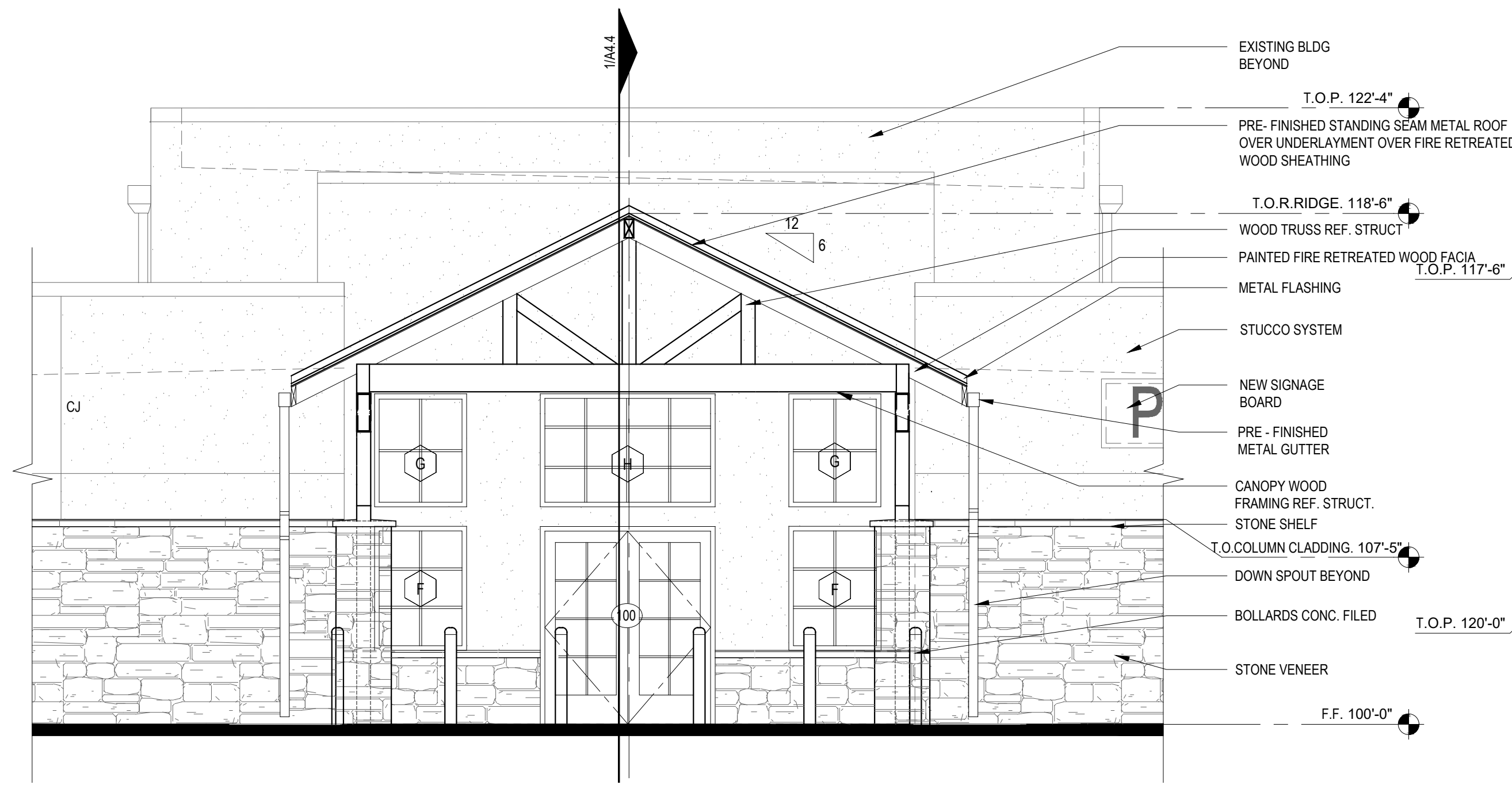
5909 Beth Drive
Plano, Texas 75093

SHEET TITLE:
SCHOOL BUILDING - EXTERIOR ELEVATIONS

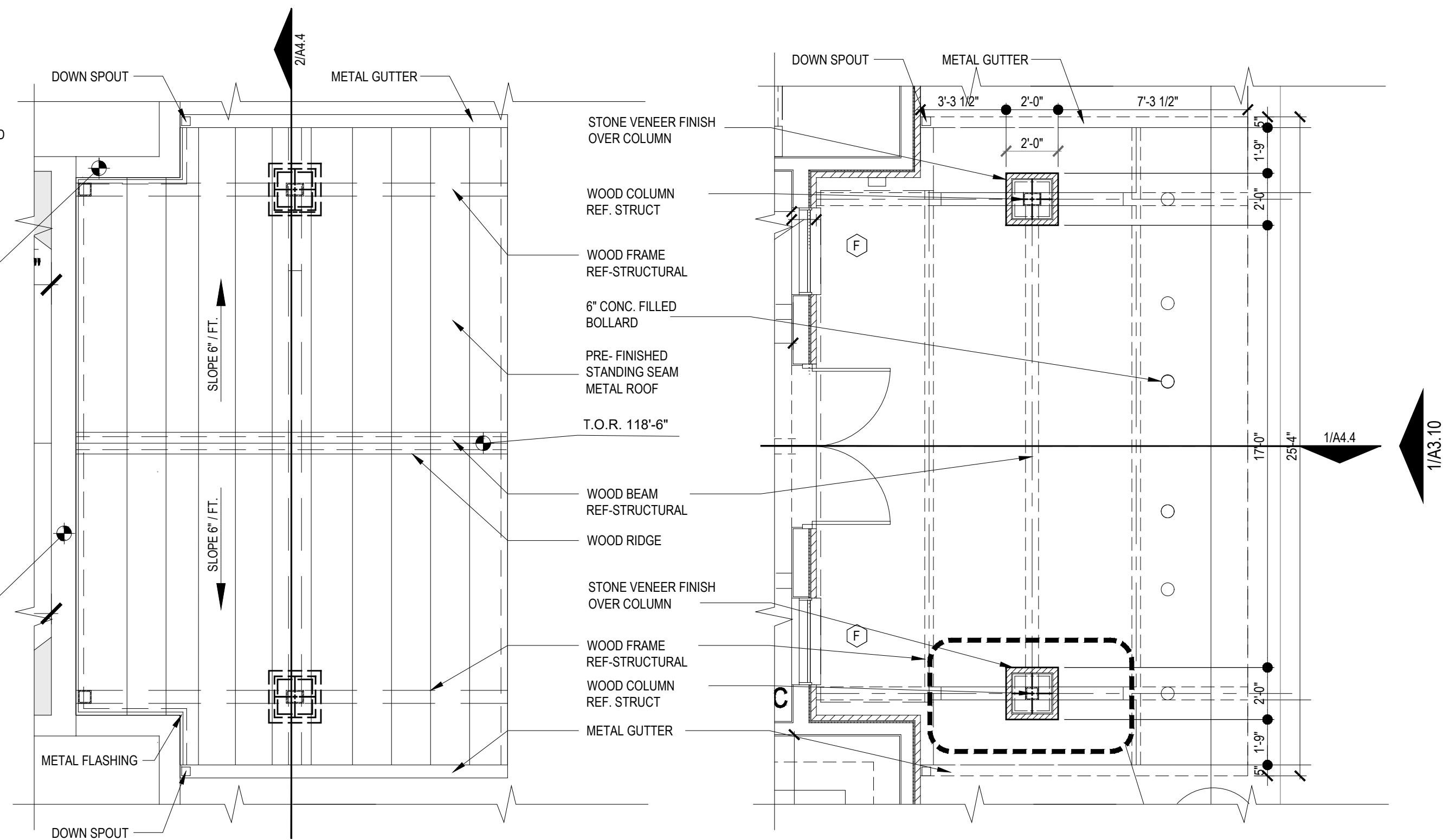
SHEET NO.

A3.11

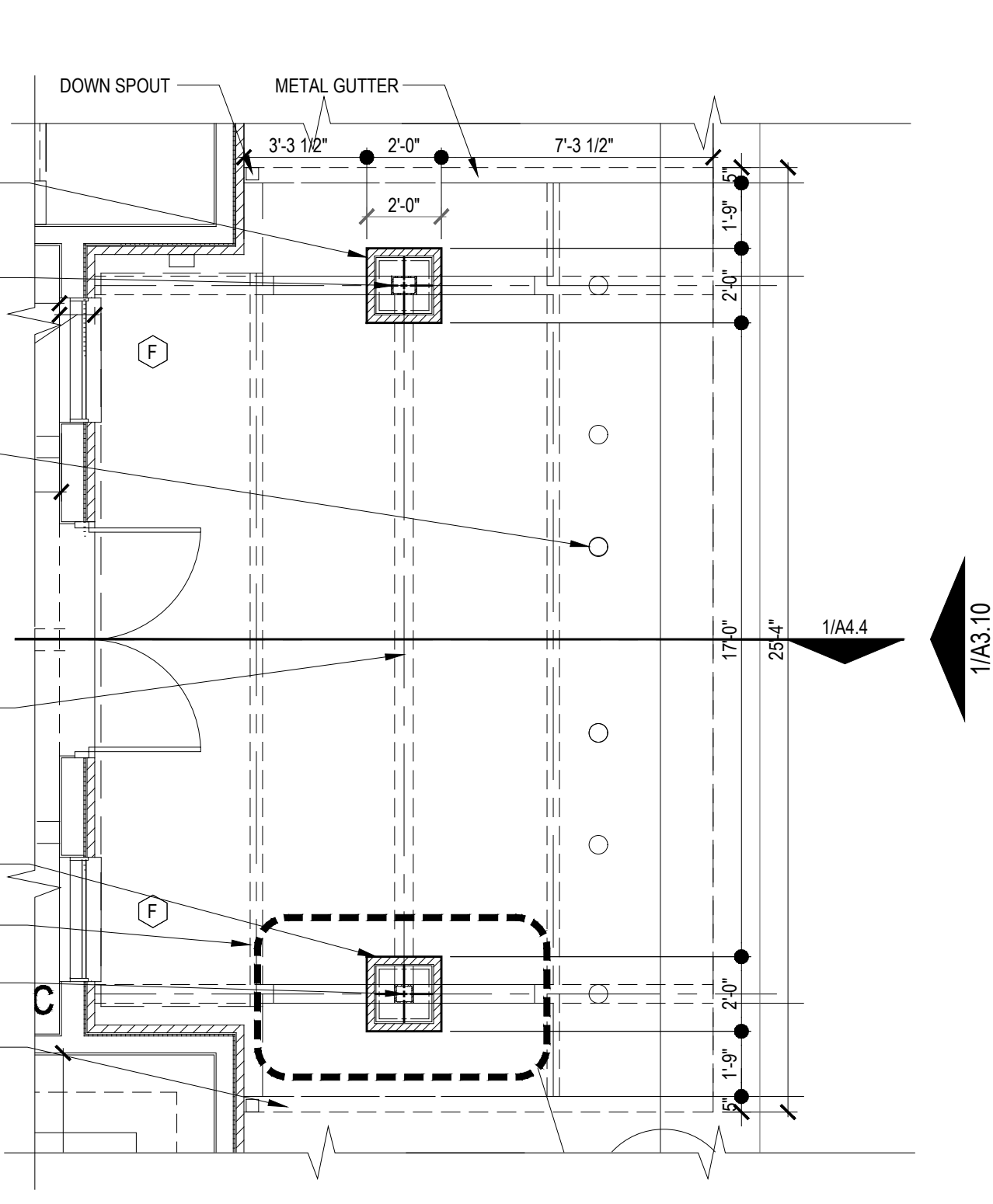
Revisions:		
#	DATE	COMMENTS



1 ENLARGED ENTRY ELEVATION
SCALE: 1/4"= 1'-0"



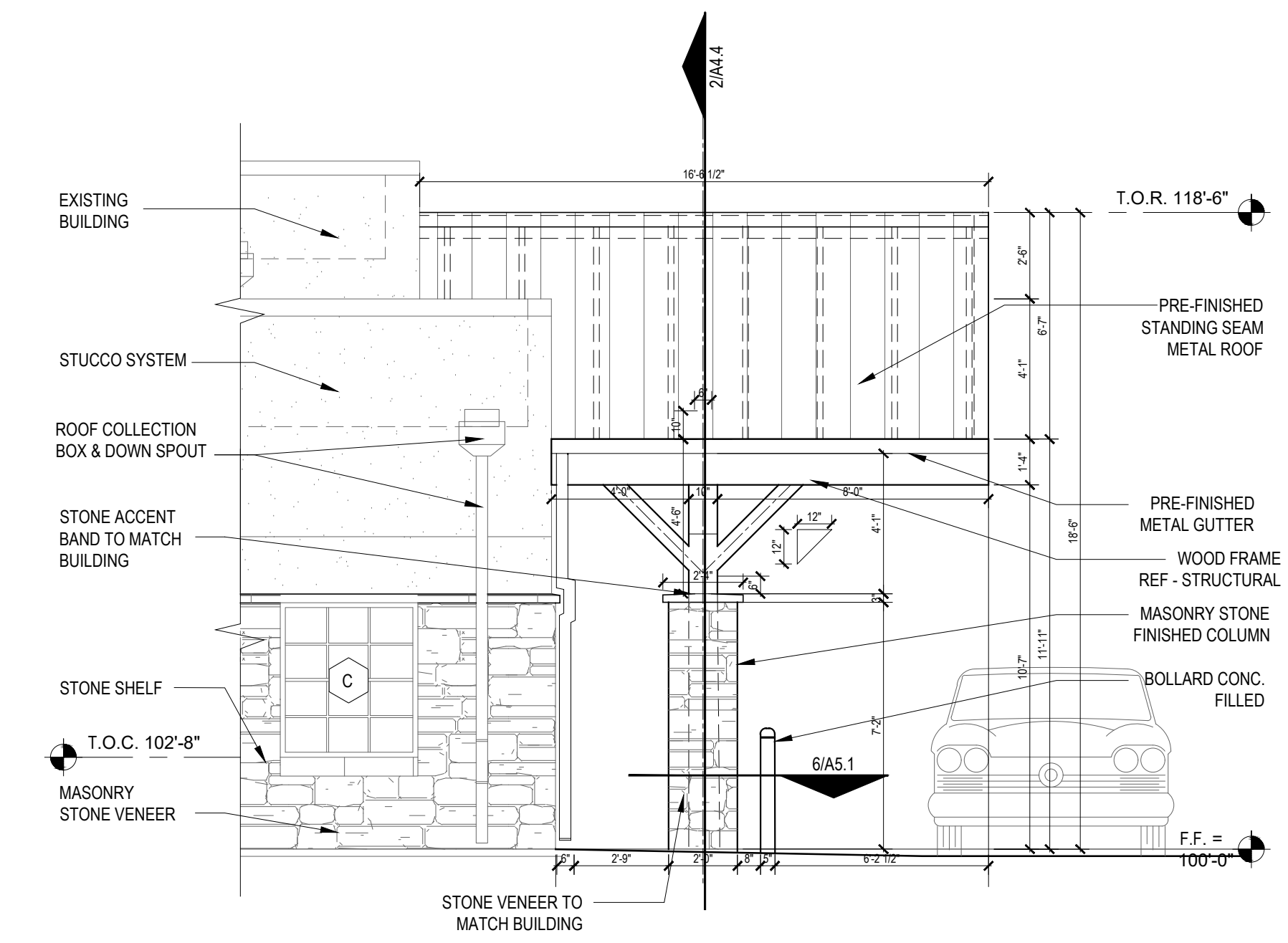
2 ENLARGED ROOF PLAN
SCALE: 1/4"= 1'-0"



3 ENLARGED FLOOR PLAN
SCALE: 1/4"= 1'-0"

WINDOW SCHEDULE			
MK	WINDOW SIZE	DESCRIPTION	REMARKS
G	3'-4" X 4'-0"	VINYL FIXED	CLEAR GLASS / FRAME
K	4'-0" X 4'-0"	VINYL FIXED	CLEAR GLASS / FRAME
L	4'-0" X 4'-0"	VINYL FIXED	CLEAR GLASS / FRAME

NOTE: REFER STRUCTURAL PLANS FOR COLUMN AND FRAME SIZE



4 ENLARGED ENTRY COLUMN ELEVATION
SCALE: 1/4"= 1'-0"

PROJECT

PINNACLE MONTESSORI OF ROCKWALL

Site Address:
905 E. Ralph Hall and Plaza
Drive Rockwall, Texas 75087

PROJECT #
SRC 032

OWNER

Lakeside Kids, LLC

5909 Beth Drive
Plano, Texas 75093

SHEET TITLE:
SCHOOL BUILDING - ENLARGED DETAILS

SHEET NO.

A3.10

SYMBOL LEGEND - FLOOR PLANS

GENERAL BLDG NOTES

	EXTERIOR ELEVATION TAG		DOOR TAG SYMBOL		FURRDOWN		ACTIVITY AREA	ROOM NAME
	WALL SECTION TAG		WINDOW TAG SYMBOL		EXISTING WALL CONSTRUCTION		100'-0"	ROOM NUMBER
	DETAIL SECTION TAG		NOTES BY SYMBOL TAG		FLOOR DRAIN LOCATIONS, REF. STRUCT & MEP		100'-0"	FINISHED FLOOR ELEVATION REFER TO CIVIL
	PARTITION WALL TAG				SEMI-RECESSED FIRE EXTINGUISHER (WOOD FRAME WALLS), CABINETS MAX. 5'-0" A.F.F. TO TOP OF CABINET, MAX. 75 FT. TRAVEL DISTANCE- LEADING EDGE MUST BE BELOW 2'			ADA DOOR MANEUVERING CLEARANCE

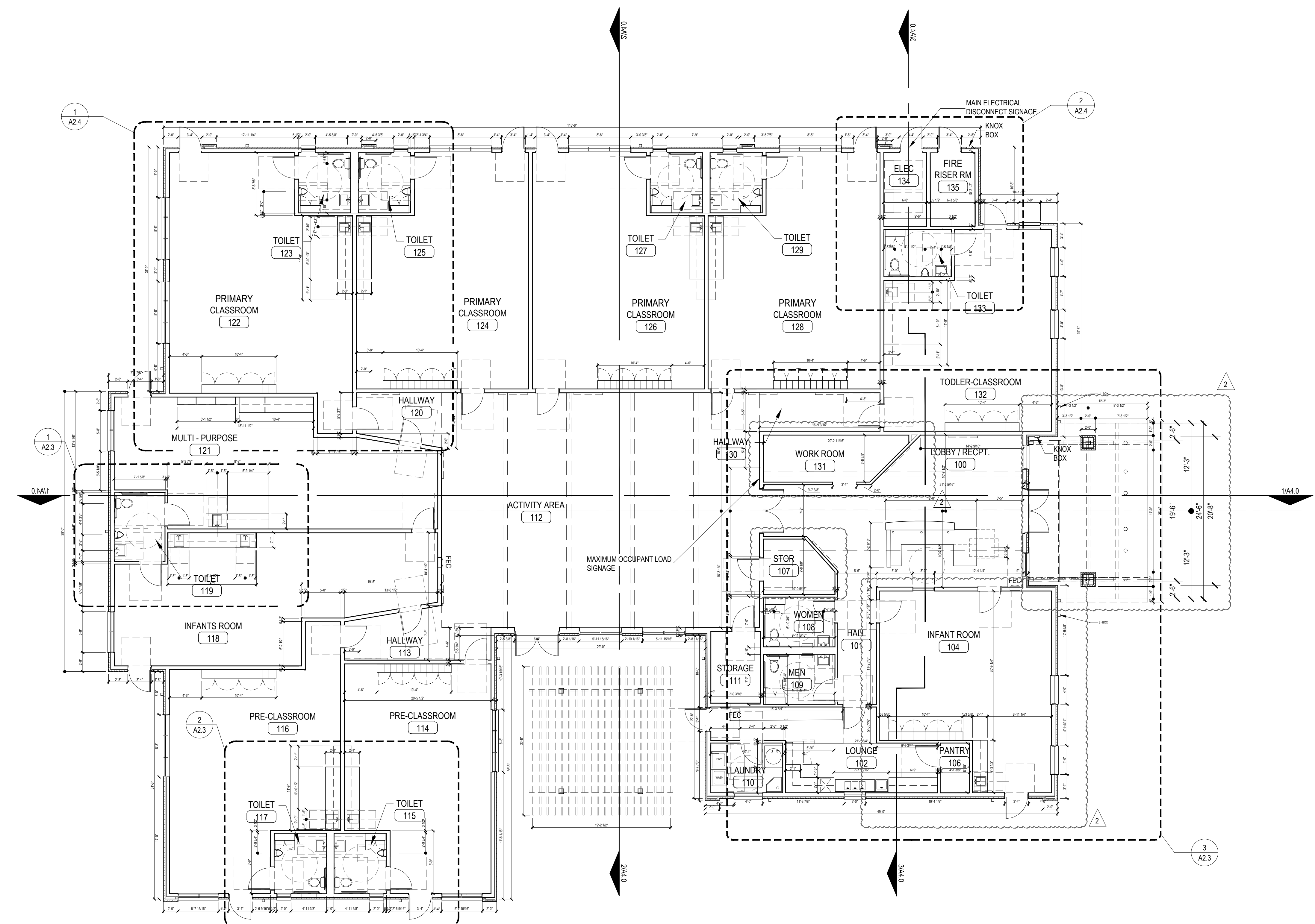
1. PROVIDE A BROOM FINISH AT ALL EXTERIOR SLOPED CONCRETE SURFACES.
2. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 2% SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE.
4. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 30" MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS, EXTENDING FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 50' IN EITHER DIRECTION. CONTROL JOINTS SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING, FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.

OMEGA
DESIGN

OMEGA DESIGN LLC
811 SOUTH CENTRAL EXPRESSWAY,
RICHARDSON, TEXAS 75080
214 482 7330

Revisions:

#	DATE	COMMENTS
1	DEC 04, 2024	CITY COMMENTS
2	FEB 08, 2026	V.E / Q.E UPDATE



1 SCHOOL BUILDING - FLOOR PLAN
SCALE: 1/8" = 1'-0" 11,367 SF

PROJECT

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PROJECT #
SRC 032

OWNER

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5909 Beth Drive
Plano, Texas 75093

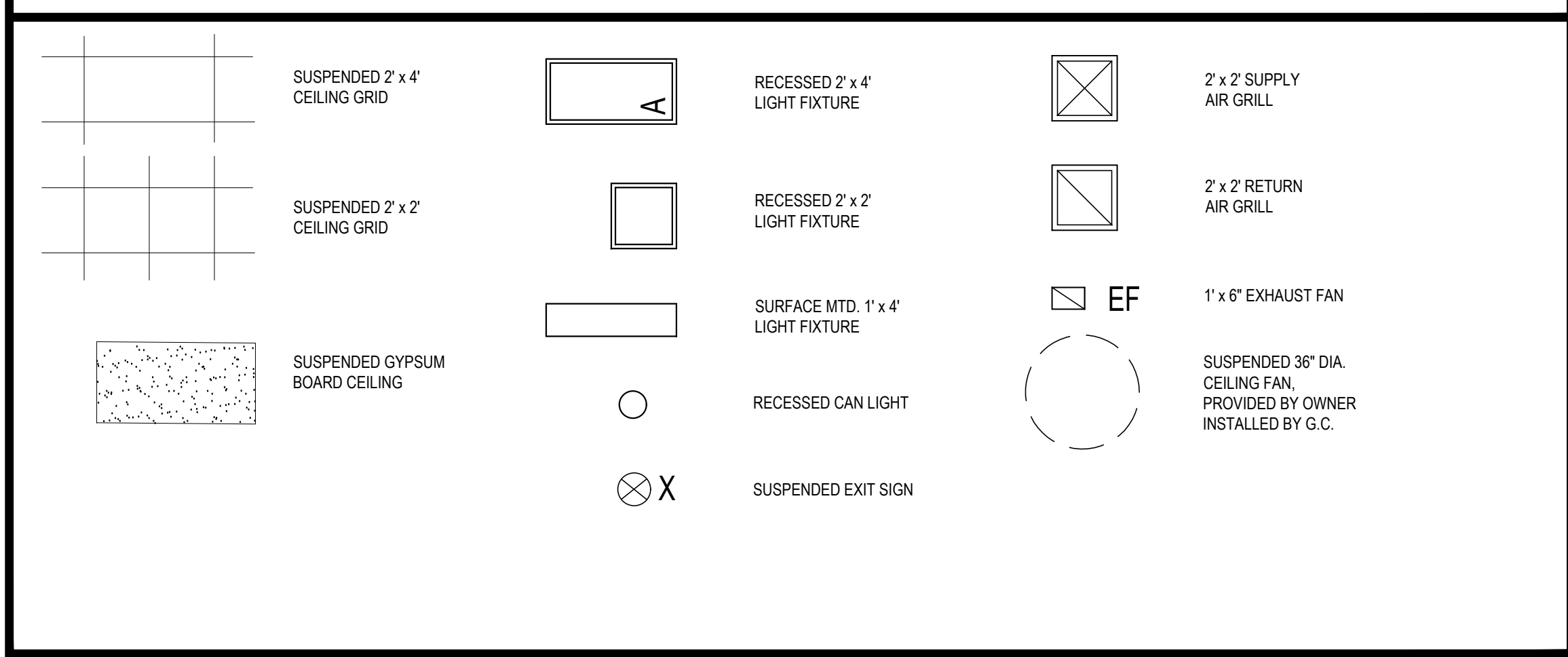
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SCHOOL BUILDING - FLOOR PLAN

SHEET NO.

A2.10

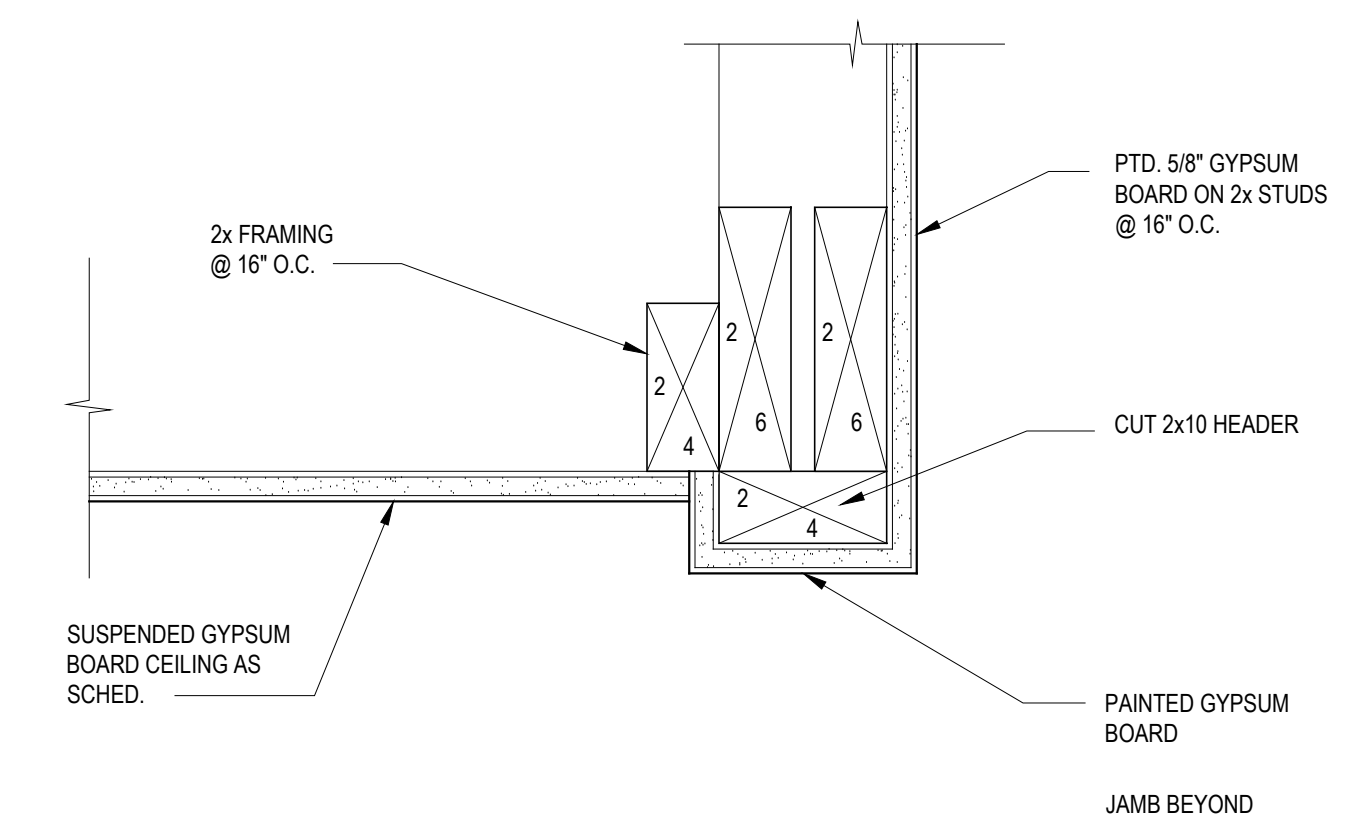
ISSUE DATE: OCTOBER 25, 2024

SYMBOL LEGEND - REFLECTED CEILING PLANS

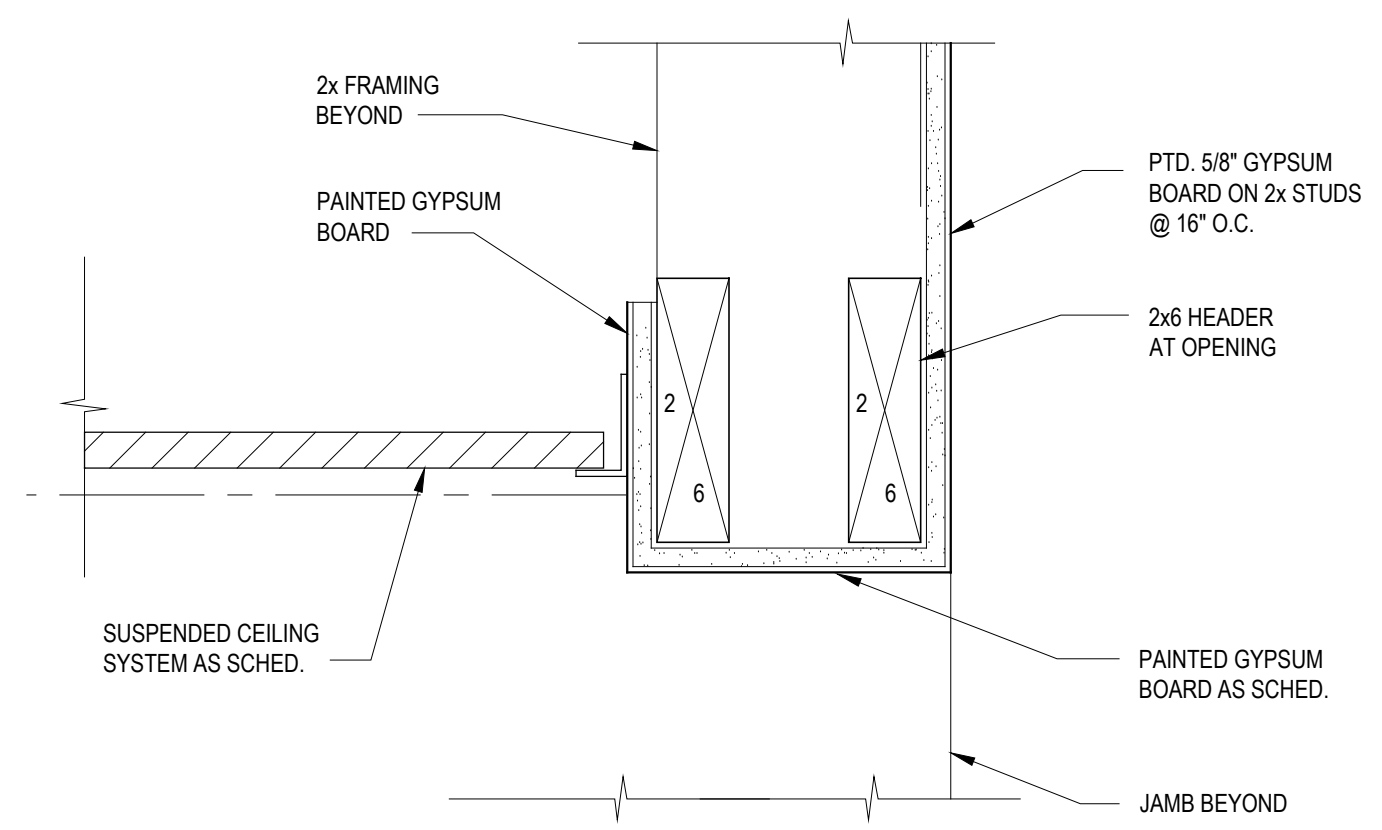


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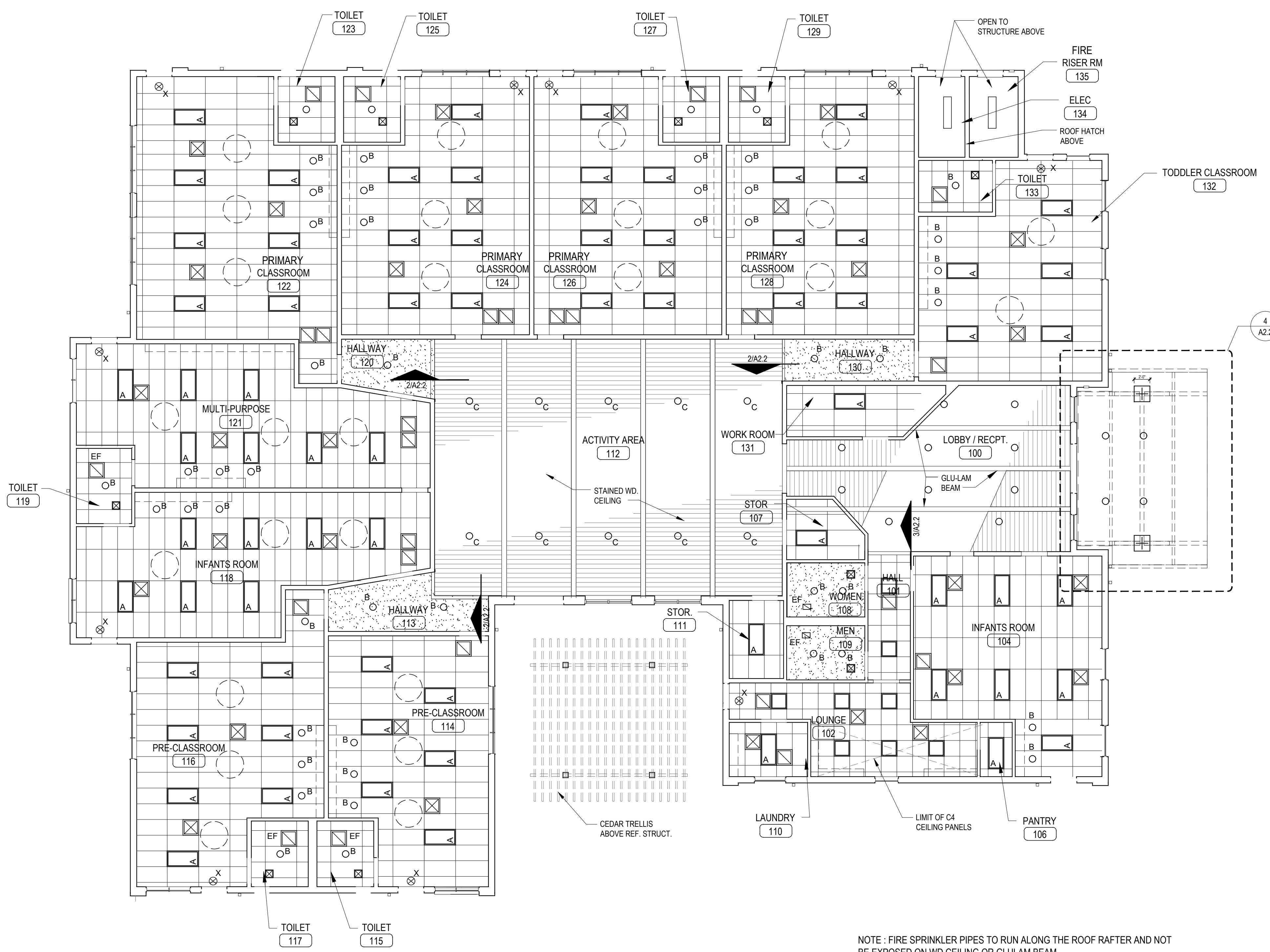
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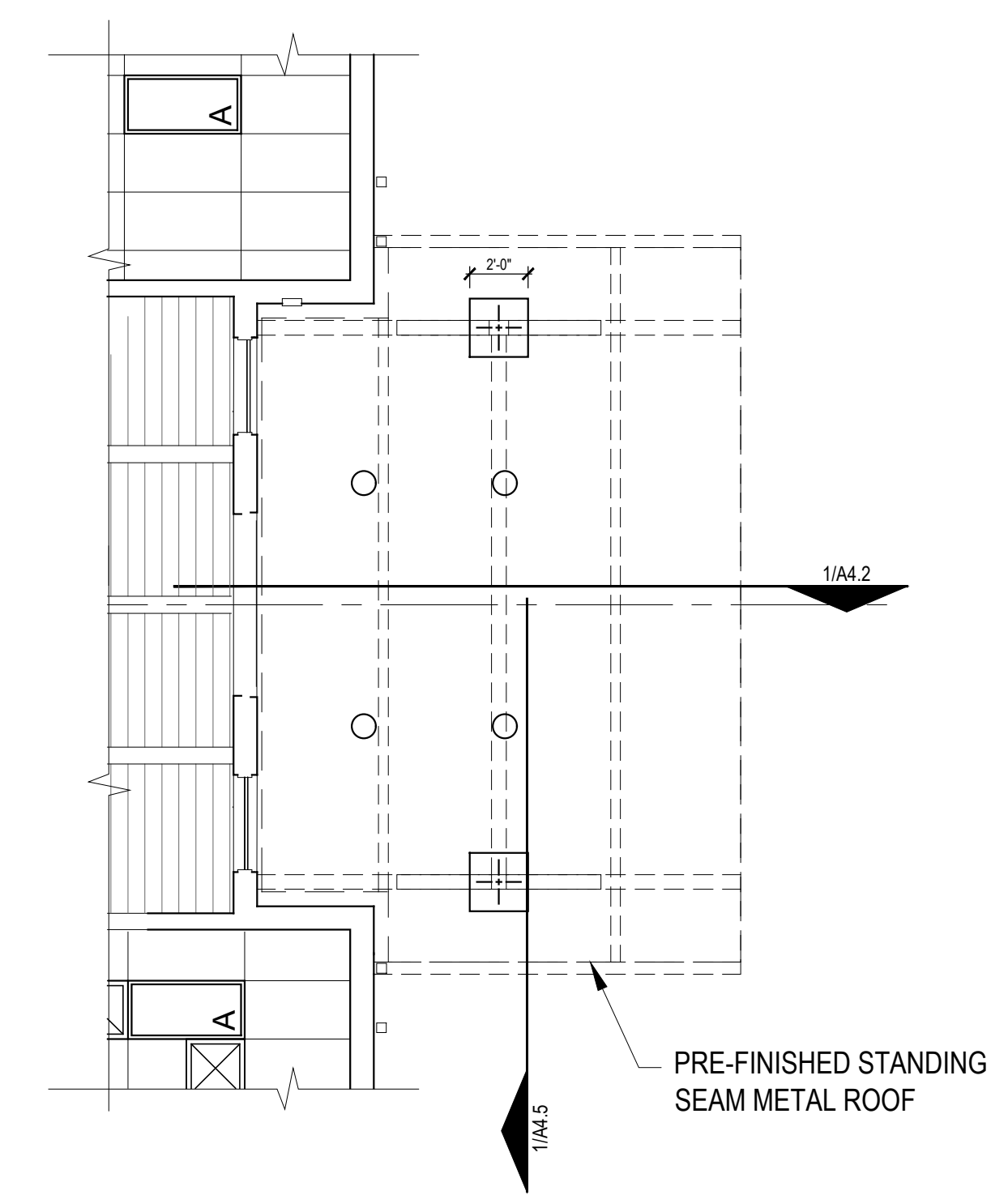
2 CEILING DETAIL
 SCALE: 3"=1'-0"



3 CEILING DETAIL
 SCALE: 3"=1'-0"



NOTE : FIRE SPRINKLER PIPES TO RUN ALONG THE ROOF RAFTER AND NOT BE EXPOSED ON WD CEILING OR GLULAM BEAM. FIRE SPRINKLER HEAD SHALL BE CANCELED PENDENT TYPE



4 ENTRY CANOPY CEILING PLAN
 SCALE: 3/16"=1'-0"

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 Drive Rockwall, Texas 75087

PROJECT #
 SRC 032

OWNER
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 5909 Beth Drive
 Plano, Texas 75093

SHEET TITLE:
 SCHOOL BUILDING - REFLECTED CEILING PLAN
 SHEET NO.