



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$500.00 + \$20.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$500.00 + \$20.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$500.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$500.00 + \$20.00 ACRE) <sup>1 & 3</sup>
- AMENDING OR MINOR PLAT (\$500.00)
- PLAT REINSTATEMENT REQUEST (\$200.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$1,000.00 + \$20.00 ACRE) <sup>1 & 2</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$500.00) <sup>2</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$200.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS [RESIDENTIAL] (\$200.00) <sup>2</sup>
- VARIANCE REQUEST/SPECIAL EXCEPTIONS [COMMERCIAL] (\$1,000.00) <sup>2</sup>

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$1,000.00 + \$20.00 ACRE) <sup>1 & 3</sup>
- SPECIFIC USE PERMIT [RESIDENTIAL] (\$200.00 + \$20.00 ACRE) <sup>1, 2 & 3</sup>
- SPECIFIC USE PERMIT [COMMERCIAL] (\$1,000.00 + \$20.00 ACRE) <sup>1, 2 & 3</sup>
- PLANNED DEVELOPMENT DISTRICT (\$1,500.00 + \$20.00 ACRE) <sup>1 & 3</sup>
- PD DEVELOPMENT PLANS (\$1,500.00 + \$20.00 ACRE) <sup>1 & 3</sup>

#### NOTES:

- <sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
- <sup>2</sup>: A **\$2,500.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.
- <sup>3</sup>: AN ADDITIONAL FEE OF **\$150.00** WILL BE REQUIRED FOR THE COST OF NOTIFICATIONS.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2911 Discovery Boulevard

SUBDIVISION Rockwall Technology Park, Phase II

LOT 1

BLOCK B

GENERAL LOCATION Southeast corner of Discovery Blvd & Corporata Crossing

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Under construction

PROPOSED ZONING Light Industrial w/ SUP for Factory Store

PROPOSED USE Manufacturing/Warehouse/Office/Factory Store

ACREAGE 10.649

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Foley US Landco LLC

APPLICANT DB Constructors, Inc.

CONTACT PERSON Richard Foley

CONTACT PERSON Matthew Peterson, VP of Design

ADDRESS [REDACTED]

ADDRESS [REDACTED]

CITY, STATE & ZIP [REDACTED]

CITY, STATE & ZIP [REDACTED]

PHONE [REDACTED]

PHONE [REDACTED]

E-MAIL [REDACTED]

E-MAIL [REDACTED]

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Richard Foley [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

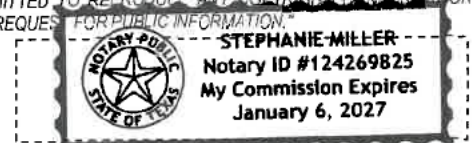
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 500 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11 DAY OF June, 2026. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF June, 2026

OWNER'S SIGNATURE [Signature]

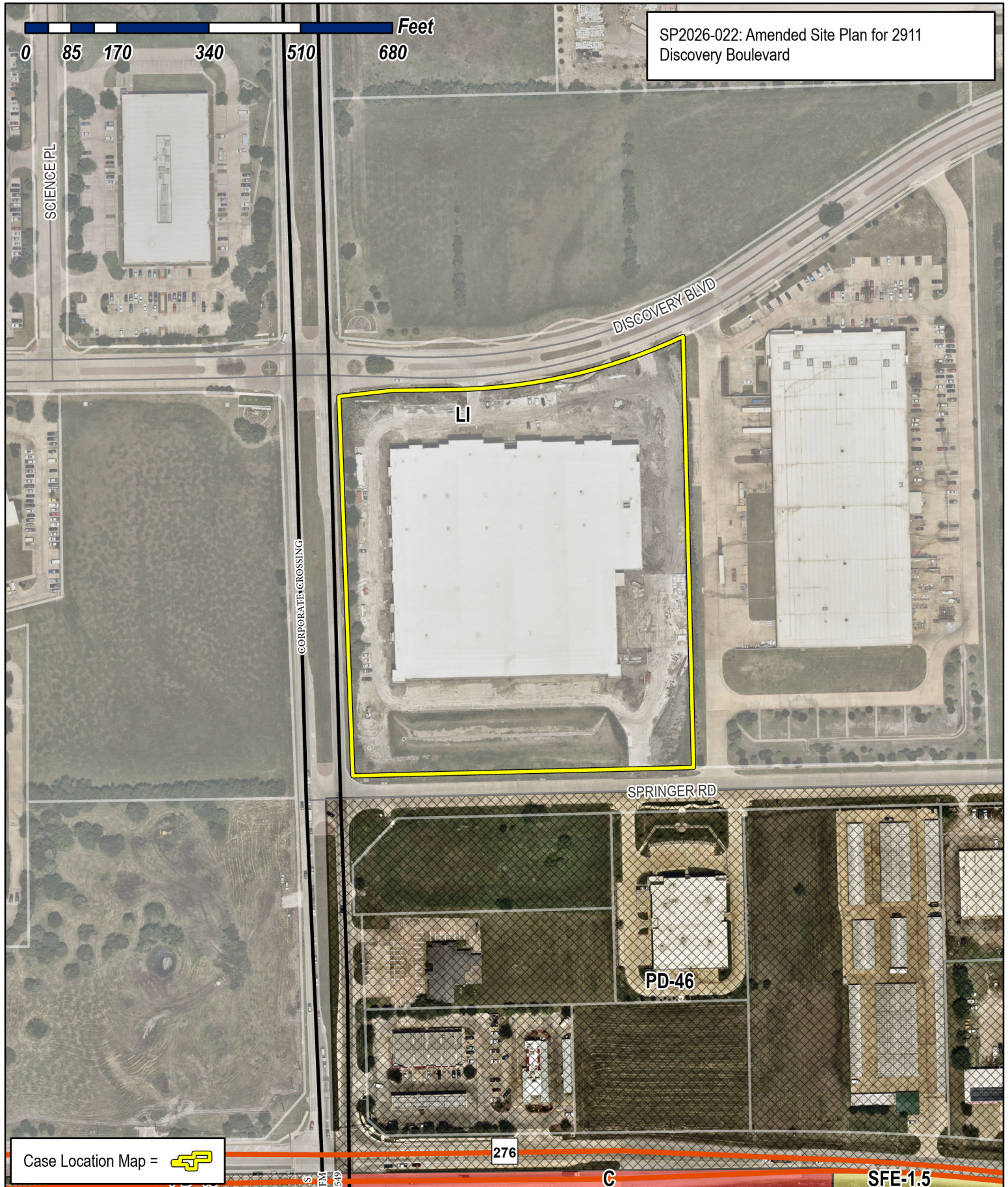
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]  
Stephanie Miller



MY COMMISSION EXPIRES

1/6/27



SP2026-022: Amended Site Plan for 2911  
Discovery Boulevard

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





10 June 2026

Bethany Ross  
Planner  
City of Rockwall  
[brross@rockwall.com](mailto:brross@rockwall.com)  
972.772.6488

RE : Site Plan Submittal : Chewters Chocolates  
2911 Discovery Boulevard  
Lot 1, Block B Rockwall Technology Park

Ms. Ross,

We first want to thank you for the continued assistance with this project starting in 2022 and with this submittal 4 years later! The building is coming along well – looks great – and we are proud to have another successful project in Rockwall. Pursuant to our recent conversations, we are submitting to Planning and Zoning a few changes / additions to the approved Site Plan. The primary reason for the submit is the addition of a chiller to the property. This was not known during the design phase – the need for this piece of equipment was fairly recent. Additionally, we have made some modifications to the Landscape Design of the project.

Chiller : The chiller addition to the East side of the building is proposed as being screened from the North by a proposed concrete wall (detailed on the attached A100.2 sheet). The concrete wall will be painted to match the adjacent building wall. It is shown as taller and wider than the chiller itself. The South side of the chiller will be, by default, screened from view by the tiered landscape design which was (and is) a part of the Landscape Design to screen the truck docks. We feel that sufficiently screens the chiller which is over 400' north of Springer Road. That leaves the East side of the site. We are requesting that the existing vegetation be considered sufficient to screen the chiller from the West side of the adjacent building. Both buildings are industrial buildings and this is the "dock" side of that building. We have included the recent aerial photography to show the condition of this vegetation.

Landscape Design : Our Client, Chewters / ChocXO is looking to improve the food safety aspects of their manufacturing plant. Through an audit they conducted, it was determined that maximizing food safety (pest control) is best achieved by increasing the distance between vegetation and the building itself. This starts primarily by having a little over 3' (1M) of rock all the way around the building. From there, there is a 10' (3M) setback for shrubs. Then a 32' (10M) setback for trees. The landscape design that we are submitting meets both these criteria and the requirements of Rockwall. We were able to move and adjust to accomplish a great compromise – keeping the food safety paramount while achieving the same landscape aesthetic we started with and was approved by Rockwall.

Enclosed within this package is the following :

1. Development Application
2. Landscape Design Plans
3. Architectural Sheet 100.2 (the design and details of the proposed Chiller and screening)
4. The aerial photographs from May 2026

After you have had a chance to review the submittal, please contact me to discuss any questions that arise. We are happy to supply any additional information needed.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Matthew J Peterson', with a long horizontal flourish extending to the right.

Matthew J Peterson, AIA  
Vice-President of Design & Development



NOTE: ALL IRRIGATION WILL COMPLY WITH ROCKWALL'S UDC REQUIREMENTS

NOTE: EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN

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- NTMWD NOTES:
- A. North Texas Municipal Water District (NTMWD) 84-inch water transmission pipeline is located within limits of construction.
  - B. Operation of heavy earthmoving equipment, compaction equipment or heavy construction equipment, such as concrete trucks, shall be restricted to specific crossing points across NTMWD easements, as approved by the NTMWD. The crossings shall be designated and verified to provide a minimum of five-feet of cover.
  - C. To assure that placing of significant loads over the NTMWD pipeline does not damage the existing pipeline, no materials shall be stockpiled on the NTMWD easement without authorization from the NTMWD. If the contractor desires to use NTMWD's easement for stockpile of materials, contact NTMWD Engineering at (972) 442-5405 so your plans for use of NTMWD's easement can be reviewed.
  - D. A minimum of 4.5 feet separation between bottom of pavement and top of NTMWD pipeline is required. In addition, if separation between bottom of pavement and top of pipeline is less than 4.5 feet, then a thickened pavement section is required.
  - E. Crossing of the NTMWD easement with other utilities, such as TV cable, phone, gas and electric, shall be coordinated with the NTMWD to avoid damage to the NTMWD facilities.
  - F. Outdoor lighting, landscaping, screening walls or other facilities shall not be installed in NTMWD easements without written approval of the NTMWD.
  - G. Unless otherwise shown or required, a minimum of two-foot clearance shall be provided for all utilities crossing the NTMWD pipelines.
  - H. "The contractor shall contact NTMWD Line Locates at (469) 626-4569 at least 48 hours prior to performing any work in the vicinity of the NTMWD facilities."

OVERALL LANDSCAPE PLAN SCALE: 1:30

REV.	DATE	CHANGE	BY
	06.17.2022	SITE PLAN SUBMITTAL	MP
	07.06.2022	SP RESUBMITTAL	MP
	07.10.2022	REVISED LANDSCAPE	MP
	11.10.2022	CITY COMMENTS	MP
	05.25.2024	CIVIL REV / NTMWD	MP
	07.17.2024	CITY COMMENTS	MP
	10.02.2024	FIRE HYDRANT	MP

**CHEWTERS CHOCOLATE**  
 2911 DISCOVERY BLVD / LOT 1 BLOCK B  
 ROCKWALL TECH PARK, PH II  
 ROCKWALL, TEXAS

**db constructors, inc.**  
 2400 GREAT SOUTHWEST PARKWAY  
 FORT WORTH, TX 817.626.7300  
 INFO@DBCONSTRUCTORS.COM

**OWNER:**  
 ROCKWALL EDC + 2610 OBSERVATION TRAIL  
 ROCKWALL, TX 972.772.0025

**CHEWTERS CHOCOLATE**  
 1648 DERWENT WAY DELTA, BC  
 604.515.7117

**APPLICANT:**  
 DB CONSTRUCTORS, INC  
 MATTHEW J PETERSON 972.837.6244  
 MATTHEW@DBCONSTRUCTORS.COM

DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. SP2022-34

DATE: 2026.05.07

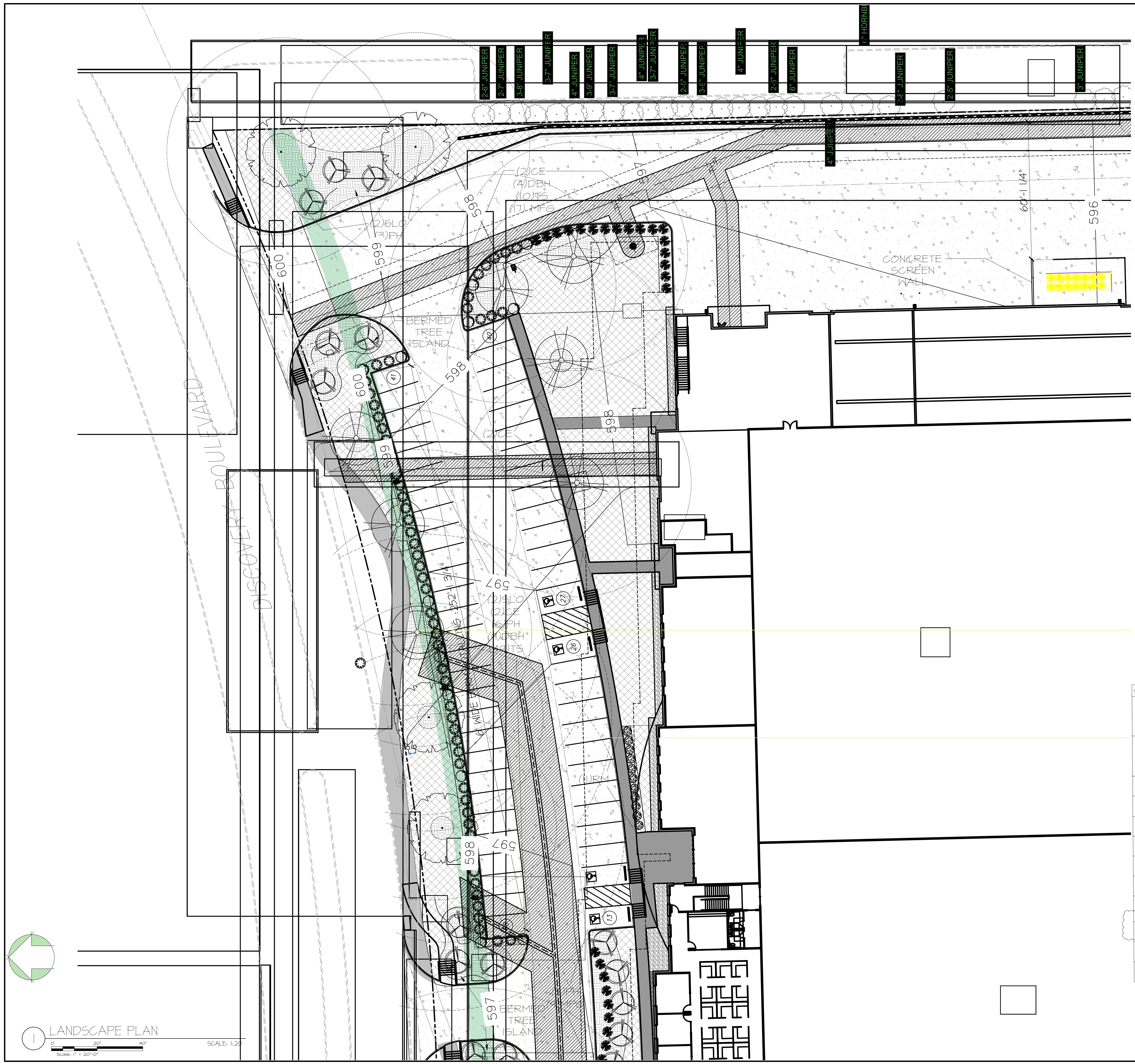
LANDSCAPE L-1

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2026

WITNESS OUR HAND, this \_\_\_ day of \_\_\_, 2026

Planning & Zoning Commission, Chairman Director of Planning and Zoning

05-07-2026 OC - FOOD SAFETY MEASURES MP



NTMWD NOTES:

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B. Operation of heavy earthmoving equipment, compaction equipment or heavy construction equipment, such as concrete trucks, shall be restricted to specific crossing points across NTMWD easements, as approved by the NTMWD. The crossings shall be designated and verified to provide a minimum of five-feet of cover.

C. To assure that placing of significant loads over the NTMWD pipeline does not damage the existing pipeline, no materials shall be stockpiled on the NTMWD easement without authorization from the NTMWD. If the contractor desires to use NTMWD's easement for stockpile of materials, contact NTMWD Engineering at (972) 442-5405 so your plans for use of NTMWD's easement can be reviewed.

D. A minimum of 4.5 feet separation between bottom of pavement and top of NTMWD pipeline is required. In addition, if separation between bottom of pavement and top of pipeline is less than 4.5 feet, then a thickened pavement section is required.

E. Crossing of the NTMWD easement with other utilities, such as TV cable, phone, gas and electric, shall be coordinated with the NTMWD to avoid damage to the NTMWD facilities.

F. Outdoor lighting, landscaping, screening walls or other facilities shall not be installed in NTMWD easements without written approval of the NTMWD.

G. Unless otherwise shown or required, a minimum of two-foot clearance shall be provided for all utilities crossing the NTMWD pipelines.

H. "The contractor shall contact NTMWD Line Locates at (469) 626-4569 at least 48 hours prior to performing any work in the vicinity of the NTMWD facilities."

**CHEWTERS CHOCOLATE**

16-Jun-22  
 Revised: 10-Jul-22 & 11-Nov-22 & 7-May-26

**SITE TABULATIONS:**

TOTAL SITE AREA:	463,889 SF	10.65 AC
TOTAL IMPERVIOUS:	340,010 SF	7.81 AC

ROADS + PARKING:	130,965 SF	3.007 AC
BUILDING:	189,866 SF	4.359 AC
BUILDING SIDEWALKS:	8,631 SF	0.198 AC
EXISTING SIDEWALKS:	3,586 SF	0.082 AC
ROW SIDEWALKS:	6,962 SF	0.160 AC

REQUIRED LANDSCAPE:	15% OF TOTAL AREA
	69,583 SF 1.60 AC

PROPOSED LANDSCAPE:	
TURF / GRASS AREA:	40,918 SF 0.939 AC
MULCHED BEDS:	23,439 SF 0.538 AC
GRASSED PORTION OF DETENTION:	33,109 SF 0.760 AC

LANDSCAPE PROVIDED:	97,466 SF*	2.238 AC
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\*THE EXISTING TREES ON CORPORATE CROSSING & SPRINGER NOT COUNTED IN THIS CALCULATION

**REQUIRED PARKING:**

OFFICE:	7925 SF	1/300	26 SPACES
RETAIL:	2700 SF	1/250	11 SPACES
WAREHOUSE:	90500 SF	1/1000*	91 SPACES
MANUFACTURING:	85161 SF	1/500*	170 SPACES

\*AS DETERMINED BY DIRECTOR IS MORE APPROPRIATE

TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION): **298 SPACES**

**PARKING PROVIDED:**

OFFICE:		26 SPACES
RETAIL:		12 SPACES
WAREHOUSE:		20 SPACES
MANUFACTURING:		108 SPACES

**166 SPACES**

NOTE: INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES

SYMBOL	QTY	COMMON NAME	ABBR	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
	17	SOUTHERN LIVE OAK	SLO	Quercus virginiana	5" CALIPER MINIMUM, 12' HT.; 4" SPREAD; 4" BRANCH HT. (CONTAINER GROWN)	MIN. 40' O.C.
	9	CEDAR ELM	CE	Ulmus crassifolia	4" CALIPER MINIMUM, 9' HT.; 3" SPREAD; 3" BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.C.
	43	POSSUMHICK HOLLY	PH	Uniguardia speciosa	MULTI-TRUNK, MIN. 4' HT. FULL / EVEN BRANCHING	± 10'
	14	YAPON HOLLY	YH	Ilex vomitoria (Yappon)	5 GAL., 40" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
	64	DWARF BURFORD HOLLY	DBH	Ilex cornuta 'burfordii nana'	5 GAL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
	236	TEXAS SAGE	TS	Leucophyllum sp.	30" MIN. HT., EVEN BRANCHING AND MATCHING	3'
	11	ROSEMARY	CTS	Leucophyllum	24" MIN. HT., EVEN BRANCHING AND MATCHING	± 6'
	134	MEXICAN FEATHER GRASS	MFG	Sorghastrum nutans	3 GAL.	± 3'-5'
		BERMUDA GRASS		Cynodon Dactylon '3625' transvaalensis	ALL TURF GRASS TO BE BERMUDA	40,918 SF
		BUFFALO GRASS		Buchloe Dactyloides	DETENTION POND NATIVE GRASS	33,109 SF
		MULCHED BEDS				23,439 SF
		ROCK				4,921 SF

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2026

WITNESS OUR HAND, this \_\_\_ day of \_\_\_, 2026

Planning & Zoning Commission, Chairman \_\_\_\_\_ Director of Planning and Zoning \_\_\_\_\_

REV.	DATE	CHANGE BY	PLAN STATUS
06.17.2022	06.17.2022	MP	MP
07.06.2022	07.06.2022	MP	MP
07.10.2022	07.10.2022	MP	MP
11.10.2022	11.10.2022	MP	MP
05.25.2024	05.25.2024	MP	MP
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10.02.2024	10.02.2024	MP	MP

**CHEWTERS CHOCOLATE**  
 2911 DISCOVERY BLVD / LOT 1 BLOCK B  
 ROCKWALL TECH PARK, PH II  
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db constructors, inc.  
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 972.772.0025

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 1648 DERWENT WAY  
 DELTA, BC  
 604.515.7117

**APPLICANT:**  
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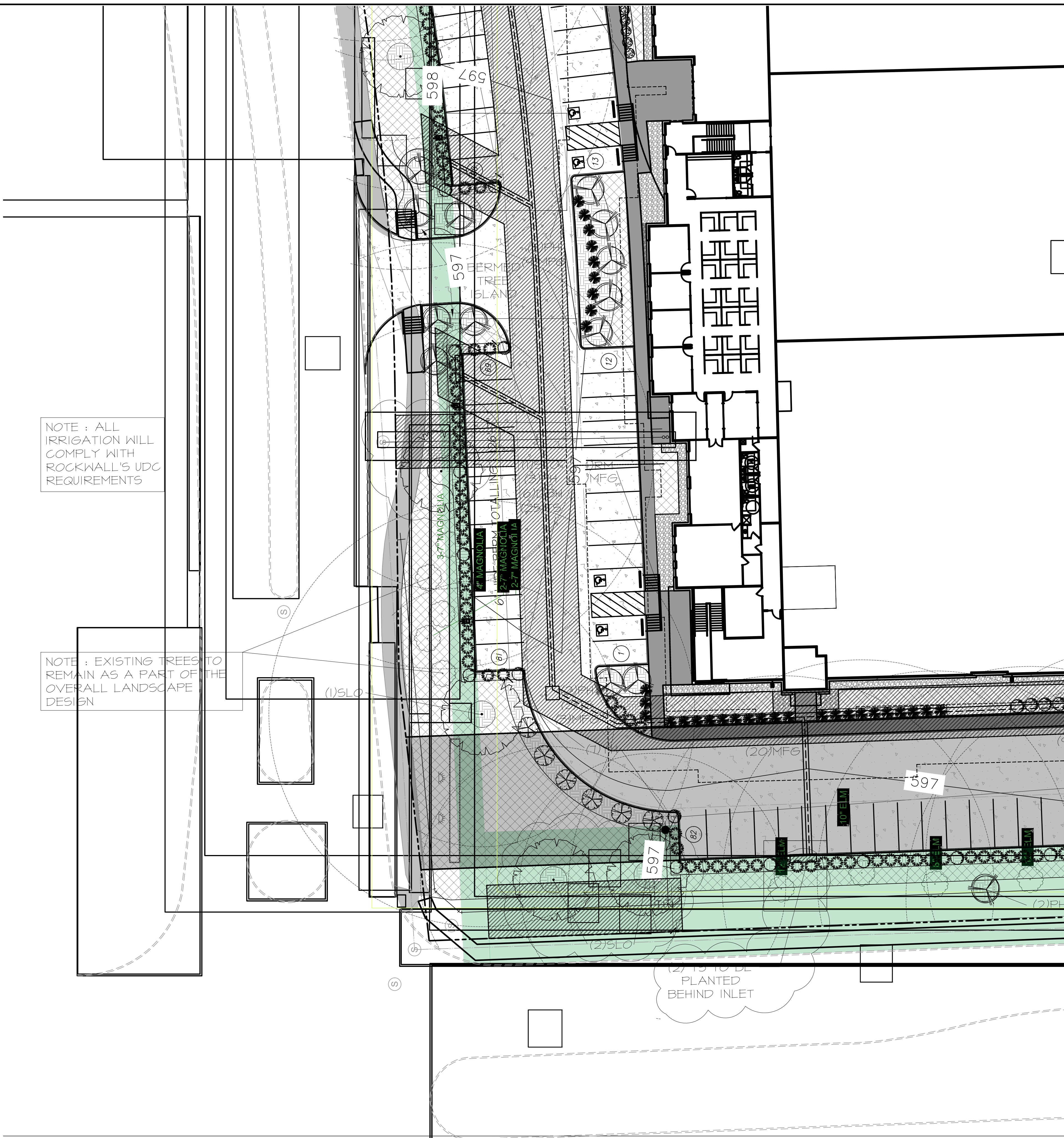
DESIGN	DRAWN	CHKD
MP	MP	MP

**CHEWTERS CHOCOLATE**

Case No. SP2022-34  
 DATE: 2026.05.07

LANDSCAPE  
 L-2

LANDSCAPE PLAN  
 SCALE: 1/2" = 1'-0"  
 Scale: 1" = 20'-0"



NOTE : ALL IRRIGATION WILL COMPLY WITH ROCKWALL'S UDC REQUIREMENTS

NOTE : EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN

(2) 15' TO BE PLANTED BEHIND INLET

LANDSCAPE PLAN  
SCALE: 1:20  
Scale: 1" = 20'-0"

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**REQUIRED LANDSCAPE :** 15% OF TOTAL AREA

69583 SF	1.60 AC
----------	---------

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**LANDSCAPE PROVIDED :**

97,466 SF*	2.238 AC
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Planning & Zoning Commission, Chairman  
Director of Planning and Zoning

PLAN STATUS

REV.	DATE	CHANGE BY
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**CHEWTERS CHOCOLATE**  
2911 DISCOVERY BLVD / LOT 1 BLOCK B  
ROCKWALL TECH PARK, PH II  
ROCKWALL, TEXAS

db constructors, inc.  
2400 GREAT WESTWEST PARKWAY  
FORT WORTH, TX  
817.626.7300  
INFO@DBCONSTRUCTORS.COM

**OWNER :**  
ROCKWALL EDC +  
2610 OBSERVATION TRAIL  
ROCKWALL, TX  
972.772.0025

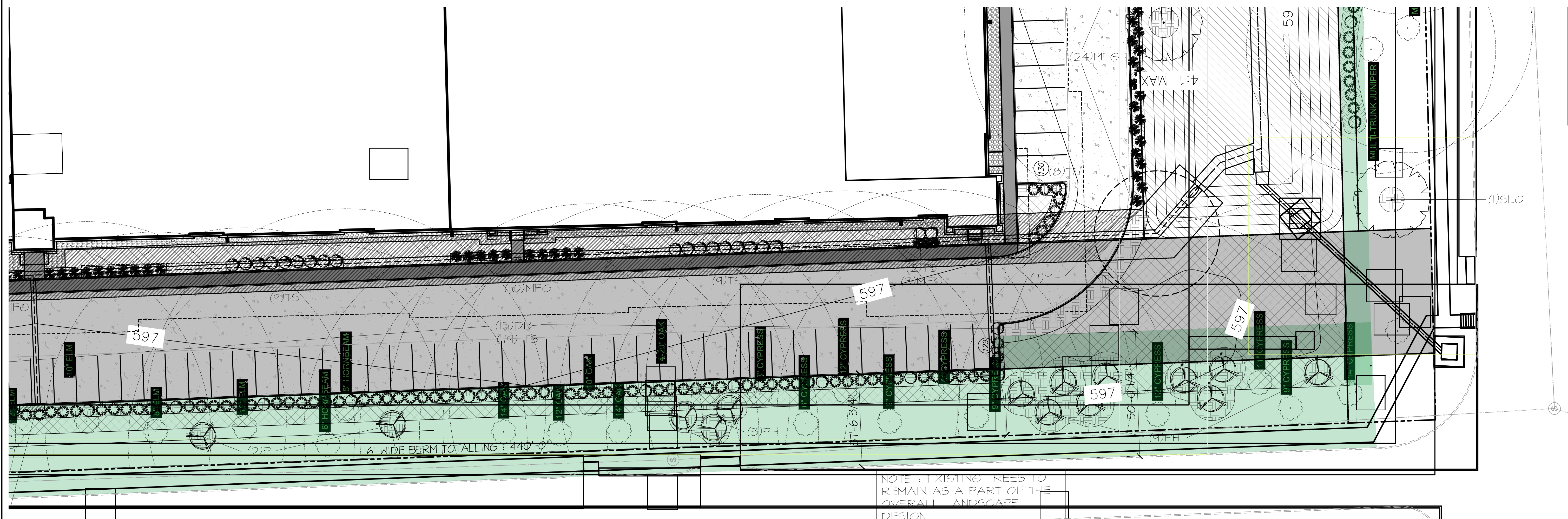
**CHEWTERS CHOCOLATE**  
1648 DERWENT WAY  
DELTA, BC  
604.515.7117

**APPLICANT :**  
DB CONSTRUCTORS, INC  
MATTHEW J PETERSON  
972.837.6244  
MATTHEW@DBCONSTRUCTORS.COM

DESIGN	DRAWN	CHKD
MP	MP	MP

**CHEWTERS CHOCOLATE**

Case No. SP2022-34  
DATE: 2026.05.07  
LANDSCAPE  
L-3

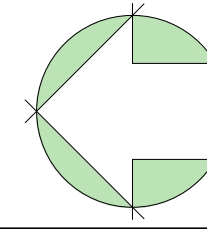


NOTE: EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN

NTMWD NOTES:

- A. North Texas Municipal Water District (NTMWD) 84-inch water transmission pipeline is located within limits of construction.
- B. Operation of heavy earthmoving equipment, compaction equipment or heavy construction equipment, such as concrete trucks, shall be restricted to specific crossing points across NTMWD easements, as approved by the NTMWD. The crossings shall be designated and verified to provide a minimum of five-feet of cover.
- C. To assure that placing of significant loads over the NTMWD pipeline does not damage the existing pipeline, no materials shall be stockpiled on the NTMWD easement without authorization from the NTMWD. If the contractor desires to use NTMWD's easement for stockpile of materials, contact NTMWD Engineering at (972) 442-5405 so your plans for use of NTMWD's easement can be reviewed.
- D. A minimum of 4.5 feet separation between bottom of pavement and top of NTMWD pipeline is required. In addition, if separation between bottom of pavement and top of pipeline is less than 4.5 feet, then a thickened pavement section is required.
- E. Crossing of the NTMWD easement with other utilities, such as TV cable, phone, gas and electric, shall be coordinated with the NTMWD to avoid damage to the NTMWD facilities.
- F. Outdoor lighting, landscaping, screening walls or other facilities shall not be installed in NTMWD easements without written approval of the NTMWD.
- G. Unless otherwise shown or required, a minimum of two-foot clearance shall be provided for all utilities crossing the NTMWD pipelines.
- H. "The contractor shall contact NTMWD Line Locates at (469) 626-4569 at least 48 hours prior to performing any work in the vicinity of the NTMWD facilities."

CORPORATE CROSSING



LANDSCAPE PLAN  
SCALE: 1:20

CHEWTERS CHOCOLATE

Revised: 10-Jul-22 & 11-Nov-22 & 7-May-26

SITE TABULATIONS:

TOTAL SITE AREA:	463,889 SF	10.65 AC
TOTAL IMPERVIOUS:	340,010 SF	7.81 AC
ROADS + PARKING:	130,965 SF	3.007 AC
BUILDING:	189,866 SF	4.359 AC
BUILDING SIDEWALKS:	8,631 SF	0.198 AC
EXISTING SIDEWALKS:	3,586 SF	0.082 AC
ROW SIDEWALKS:	6,962 SF	0.160 AC
REQUIRED LANDSCAPE:	15% OF TOTAL AREA	69,583 SF / 1.60 AC
PROPOSED LANDSCAPE:		
TURF / GRASS AREA:	40,918 SF	0.939 AC
MULCHED BEDS:	23,439 SF	0.538 AC
GRASSED PORTION OF DETENTION:	33,109 SF	0.760 AC
LANDSCAPE PROVIDED:	97,466 SF*	2.238 AC

\*THE EXISTING TREES ON CORPORATE CROSSING & SPRINGER NOT COUNTED IN THIS CALCULATION

REQUIRED PARKING:

OFFICE:	7925 SF	1/300	26 SPACES
RETAIL:	2700 SF	1/250	11 SPACES
WAREHOUSE:	90500 SF	1/1000*	91 SPACES
MANUFACTURING:	85161 SF	1/500*	170 SPACES
TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION):			298 SPACES

\*AS DETERMINED BY DIRECTOR IS MORE APPROPRIATE

PARKING PROVIDED:

OFFICE:	7925 SF	1/300	26 SPACES
RETAIL:	2700 SF	1/250	12 SPACES
WAREHOUSE:	90500 SF	1/1000*	20 SPACES
MANUFACTURING:	85161 SF	1/500*	108 SPACES
TOTAL PARKING PROVIDED:			166 SPACES

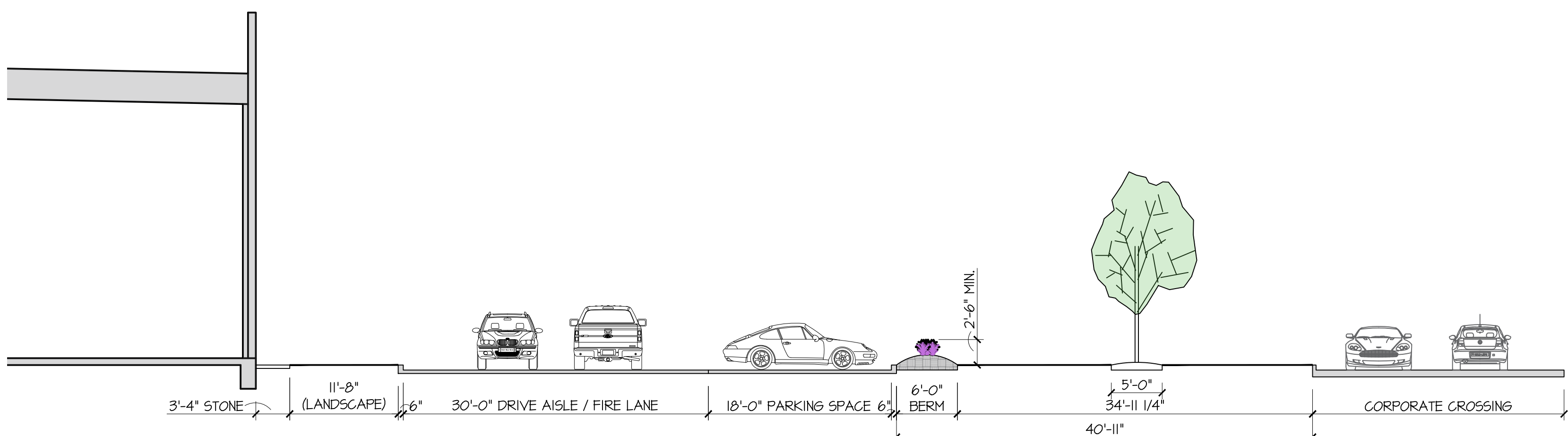
NOTE: INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES

SYMBOL	QTY	COMMON NAME	ADDR	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
	17	SOUTHERN LIVE OAK	SLO	Quercus Virginiana	5" CALIPER MINIMUM, 12' HT., 4' SPREAD; 4' BRANCH HT. (CONTAINER GROWN)	MIN. 40' O.C.
	9	CEDAR ELM	CE	Ulmus Crassifolia	4" CALIPER MINIMUM, 9' HT.; 3' SPREAD; 3' BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.C.
	43	POSSEMHAW HOLLY	PH	Ulmagnolia Speciosa	MULTI-TRUNK, MIN. 4" HT., FULL / EVEN BRANCHING	± 10'
	14	YAPON HOLLY	YH	Ilex Vomitoria (Yaupon)	5 GAL., 48" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
	64	DWARF BURFORD HOLLY	DBH	Ilex cornuta 'burfordiana'	5 GAL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
	238	TEXAS SAGE	TS	Leucophyllum sp.	30" MIN. HT., EVEN BRANCHING AND MATCHING	3'
	11	ROSEMARY	CTS	Leucophyllum	24" MIN. HT., EVEN BRANCHING AND MATCHING	± 6'
	134	MEXICAN FEATHER GRASS	MFG	Sorghastrum nutans	3 GAL.	± 3'-5'
		BERMUDA GRASS (TIFTUF)		Cynodon Dactylon x C. transvaalensis	ALL TURF GRASS TO BE BERMUDA	40,918 SF
		BUFFALO GRASS		Buchloe Dactyloides	DETENTION POND NATIVE GRASS	33,109 SF
		MULCHED BEDS				23,439 SF
		ROCK				4,827 SF

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2026

WITNESS OUR HAND, this \_\_\_ day of \_\_\_, 2026

Planning & Zoning Commission, Chairman      Director of Planning and Zoning



REV.	DATE	CHANGE BY	PLAN STATUS
	05-07-2026	JC - FOOD SAFETY MEASURES	MP
	06-17-2022	SITE PLAN SUBMITTAL	MP
	07-06-2022	SP RESUBMITTAL	MP
	07-10-2022	REVISED LANDSCAPE	MP
	11-10-2022	CITY COMMENTS	MP
	05-25-2024	CIVIL REV / NTMWD	MP
	07-17-2024	CITY COMMENTS	MP
	10-02-2024	FIRE HYDRANT	MP

**CHEWTERS CHOCOLATE**  
2911 DISCOVERY BLVD / LOT 1 BLOCK B  
ROCKWALL TECH PARK, PH II  
ROCKWALL, TEXAS

db constructors, inc.  
2400 GREAT SOUTHWEST PARKWAY  
FORT WORTH, TX 817.626.7300  
INFO@DBCONSTRUCTORS.COM

OWNER:  
ROCKWALL EDC + 2610 OBSERVATION TRAIL  
ROCKWALL, TX 972.772.0025

CHEWTERS CHOCOLATE  
1648 DERWENT WAY  
DELTA, BC 604.515.7117

APPLICANT:  
DB CONSTRUCTORS, INC  
MATTHEW J PETERSON  
972.837.6244  
MATTHEW@DBCONSTRUCTORS.COM

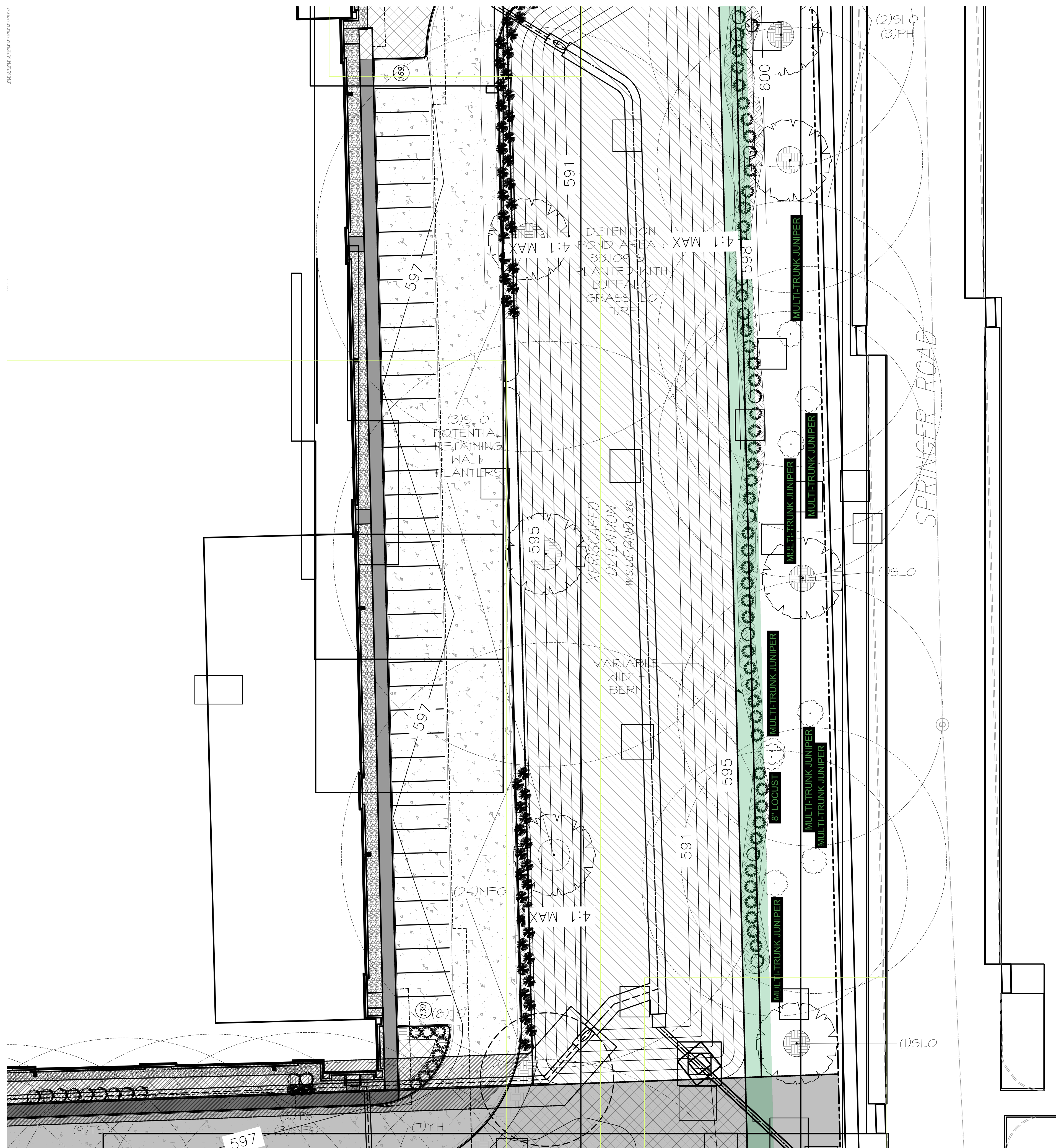
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. SP2022-34

DATE: 2026.05.07

LANDSCAPE L-4



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- North Texas Municipal Water District (NTMWD) 84-inch water transmission pipeline is located within limits of construction.
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**CHEWTERS CHOCOLATE**  
 16-Jun-22  
 Revised: 10-Jul-22 & 11-Nov-22 & 7-May-26

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**REQUIRED LANDSCAPE:** 15% OF TOTAL AREA  
 69,583 SF 1.60 AC

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MULCHED BEDS:	23,439 SF	0.538 AC
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**PARKING PROVIDED:**

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MANUFACTURING:	108 SPACES

166 SPACES

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\_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

LANDSCAPE PLAN  
 SCALE: 1:20

REV.	DATE	CHANGE	BY
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 ROCKWALL TECH PARK, PH II  
 ROCKWALL, TEXAS

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 2400 GREAT SOUTHWEST PARKWAY  
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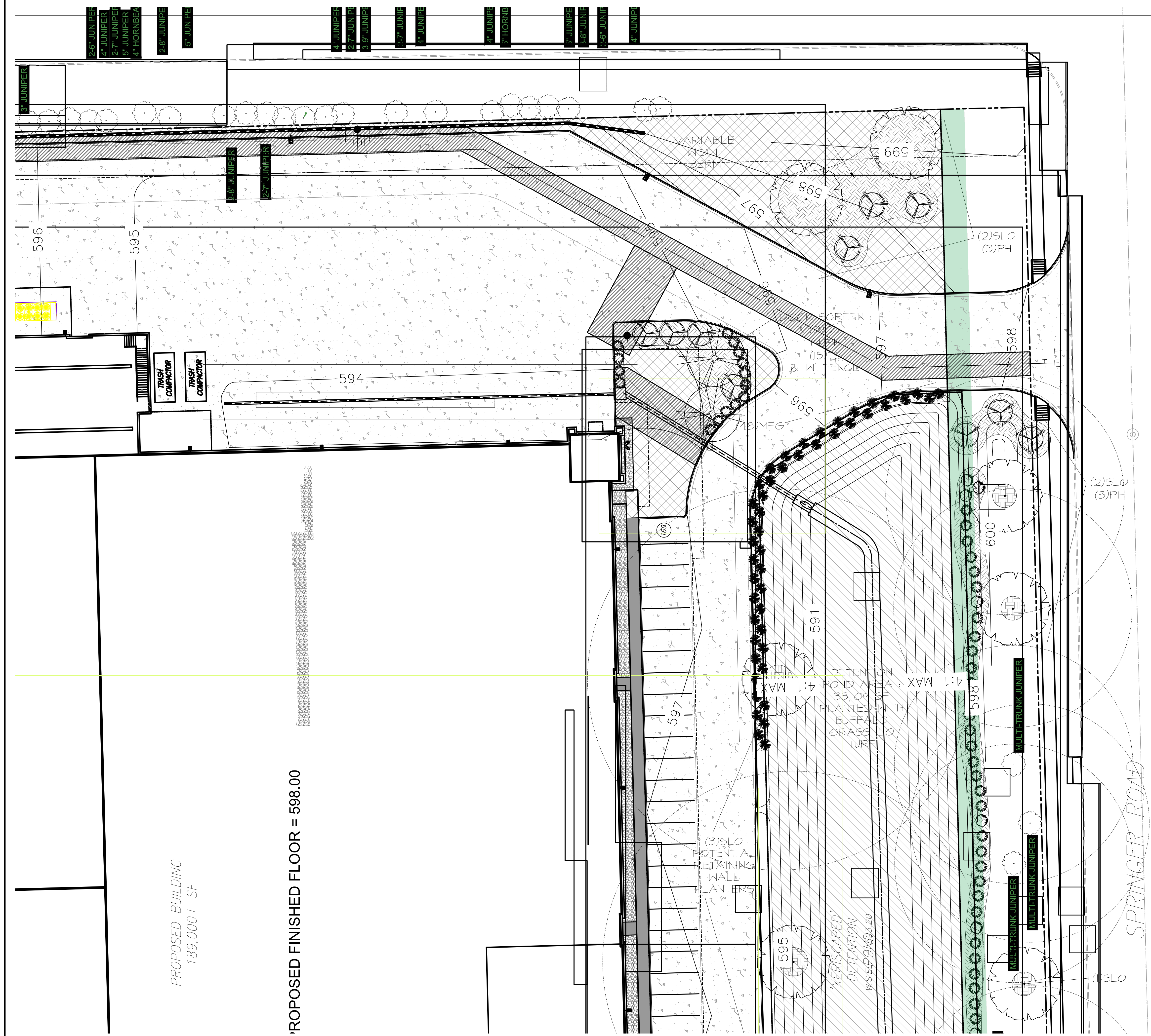
**OWNER:**  
 ROCKWALL EDC +  
 2610 OBSERVATION TRAIL  
 ROCKWALL, TX  
 972.772.0025

**CHEWTERS CHOCOLATE**  
 1648 DERWENT WAY  
 DELTA, BC  
 604.515.7117

**APPLICANT:**  
 DB CONSTRUCTORS, INC  
 MATTHEW J PETERSON  
 972.837.6244  
 MATTHEW@DBCONSTRUCTORS.COM

DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE  
 Case No. SP2022-34  
 DATE: 2026.05.07  
 LANDSCAPE  
 L-5



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APPROVED :  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2026

WITNESS OUR HAND, this \_\_\_\_ day of \_\_\_\_, 2026

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

05.07.2026    LOC : FOOD SAFETY MEASURES | MP

REV.	DATE	CHANGE	BY
	06.17.2022	SITE PLAN SUBMITTAL	MP
	07.08.2022	SP RESUBMITTAL	MP
	07.10.2022	REVISED LANDSCAPE	MP
	11.10.2022	CITY COMMENTS	MP
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 2400 GREAT SOUTHWEST PARKWAY  
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 DB CONSTRUCTORS, INC  
 MATTHEW J PETERSON  
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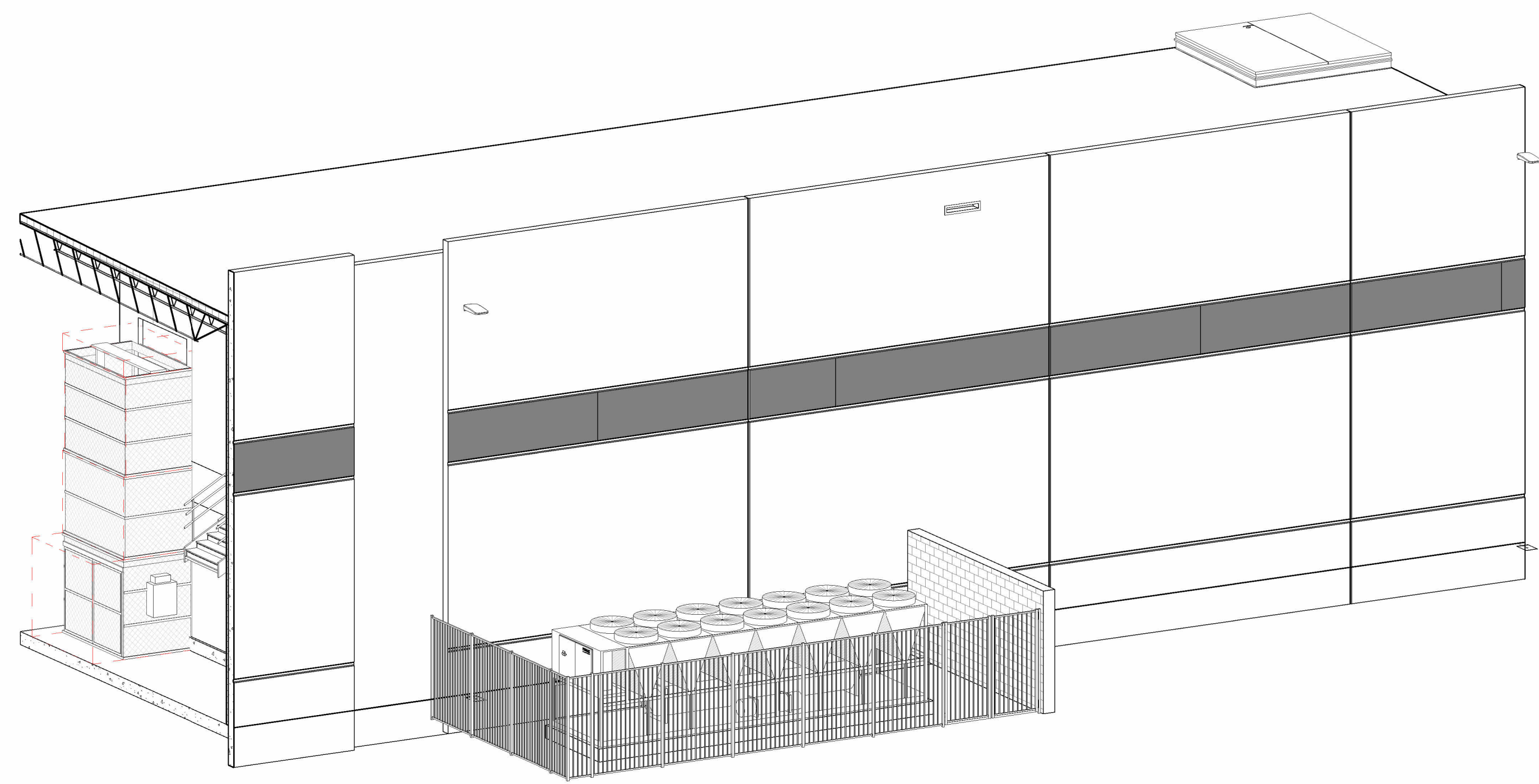
DESIGN	DRAWN	CHKD
MP	MP	MP

**CHEWTERS CHOCOLATE**  
 Case No. SP2022-34  
 DATE: 2026.05.07  
 LANDSCAPE  
 L-6

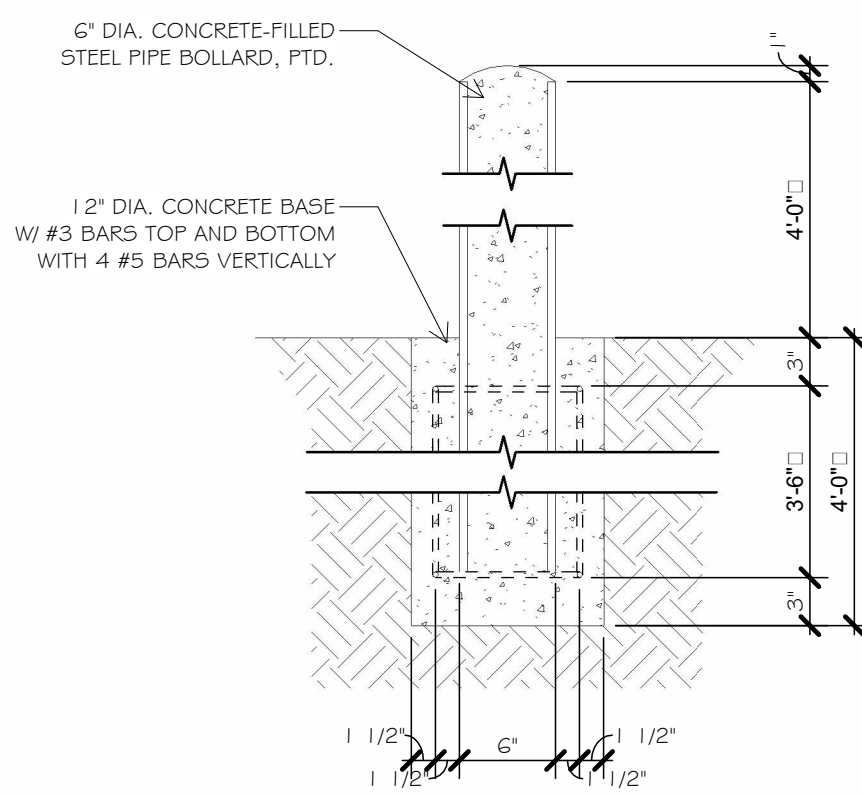
PROPOSED FINISHED FLOOR = 598.00

PROPOSED BUILDING  
 189,000± SF

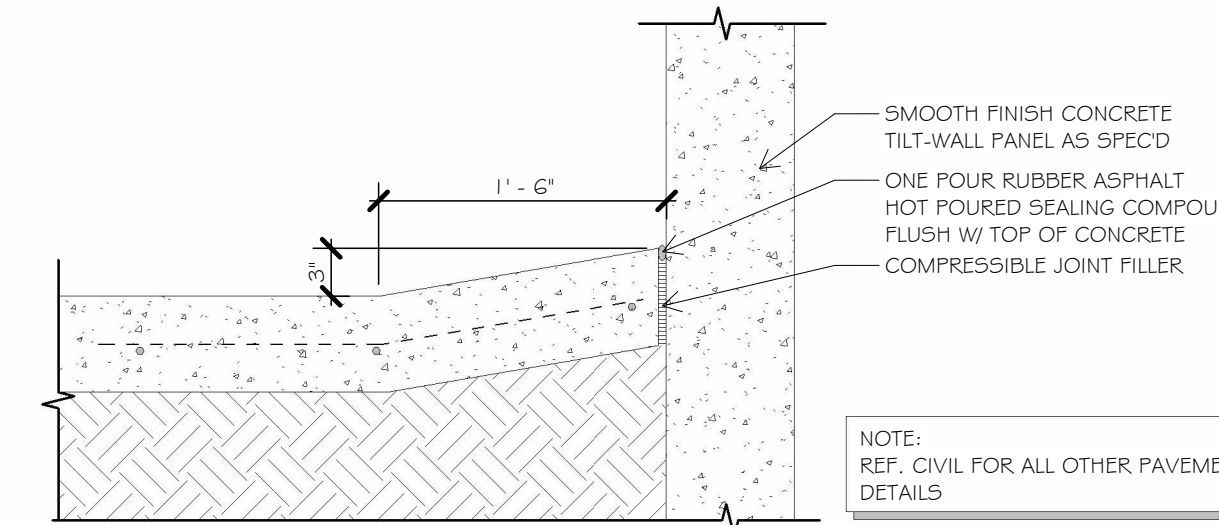
LANDSCAPE PLAN  
 SCALE: 1:20



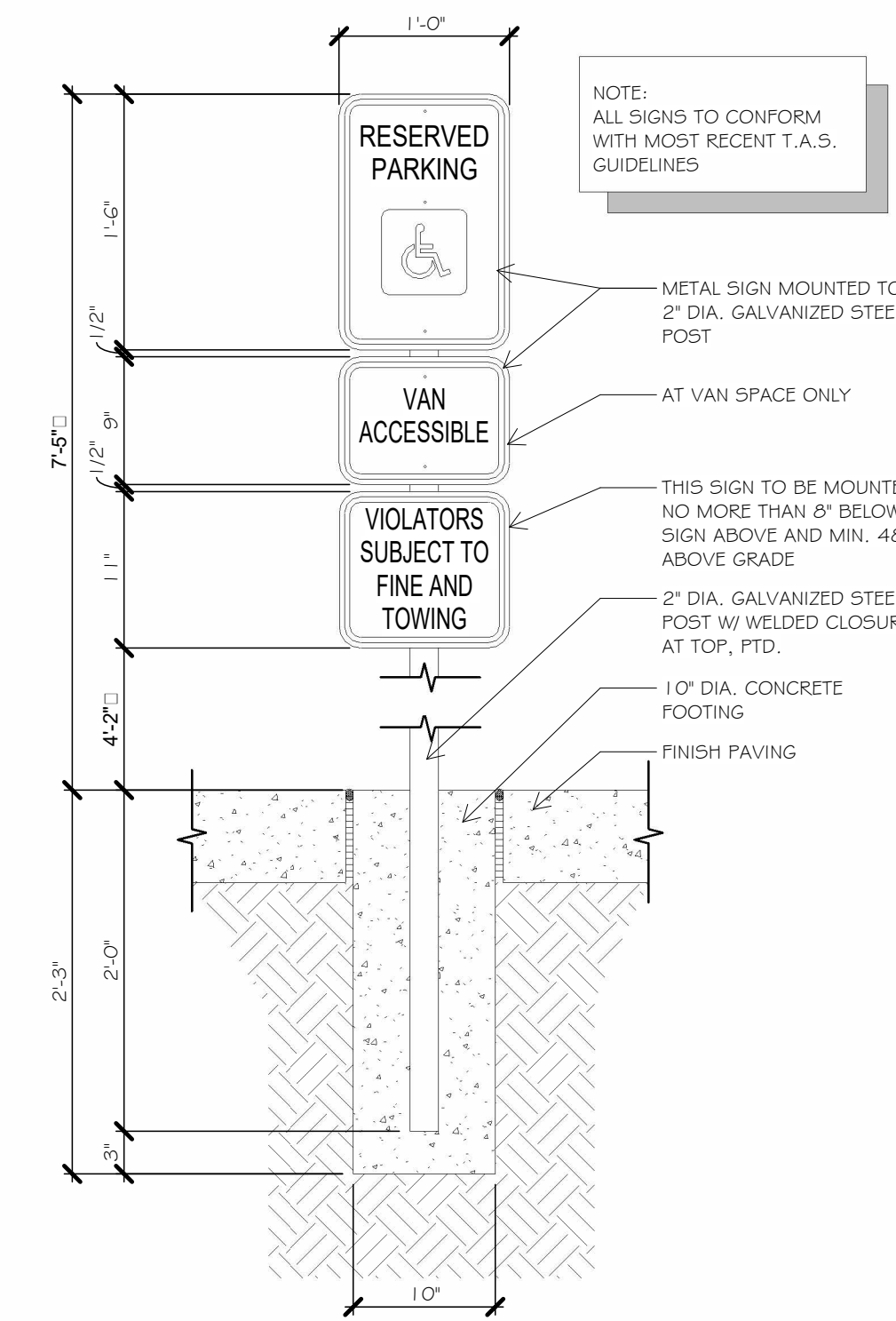
**7 3D VIEW AT CHILLER UNIT**  
SCALE:



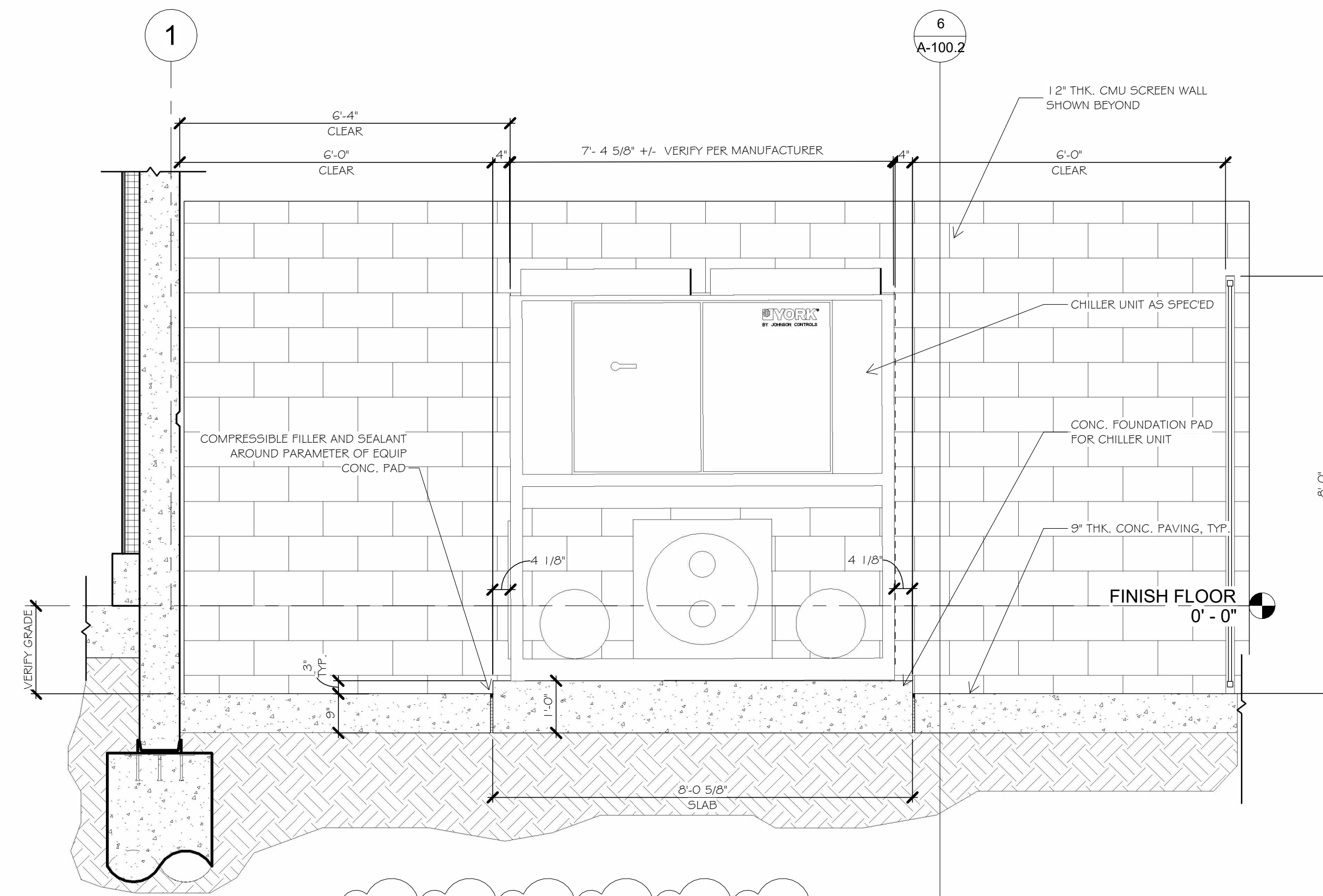
**3 PIPE BOLLARD DETAIL SECTION**  
SCALE: 1" = 1'-0"



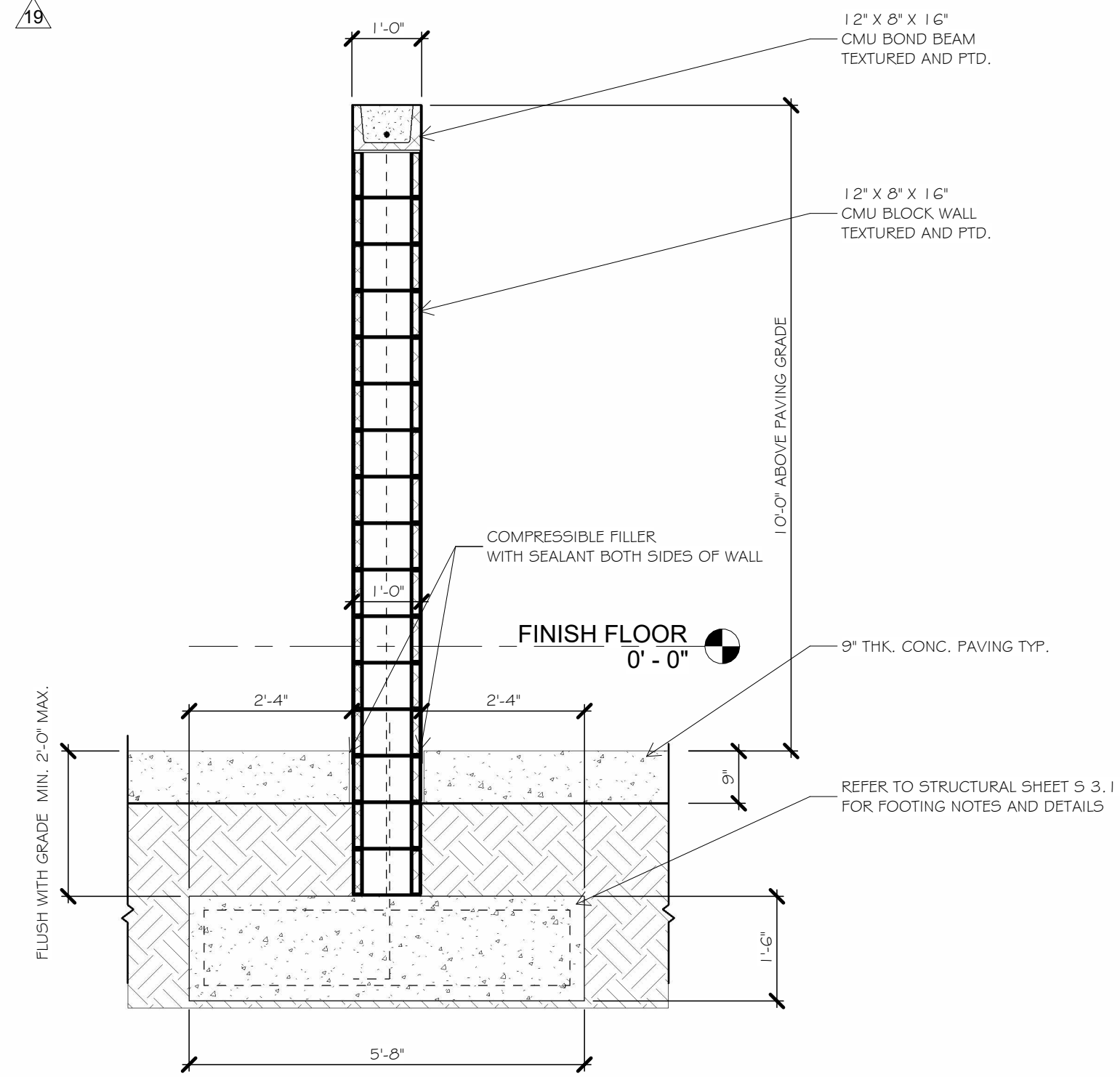
**2 PAVING @ BUILDING FACE (TRUCK COURT)**  
SCALE: 1" = 1'-0"



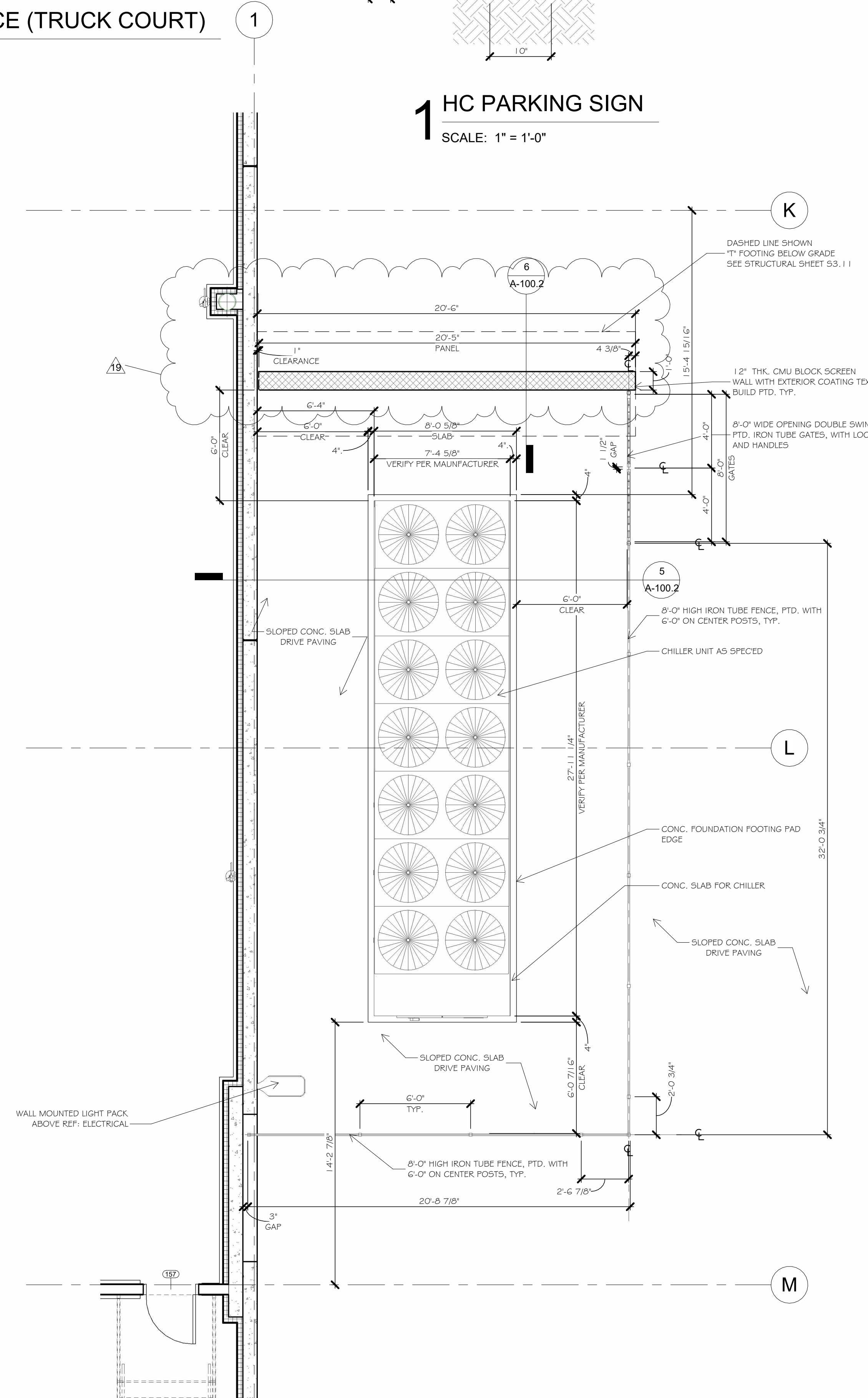
**1 HC PARKING SIGN**  
SCALE: 1" = 1'-0"



**5 SECTION AT CHILLER**  
SCALE: 1/2" = 1'-0"



**6 SECTION AT CHILLER SCREEN WALL**  
SCALE: 1/2" = 1'-0"



**4 ENLARGED PLAN AT CHILLER**  
SCALE: 1/4" = 1'-0"

**GENERAL CONTRACTOR / ARCHITECT**

DB CONSTRUCTORS, INC.  
2400 GREAT SOUTHWEST PARKWAY  
FORT WORTH, TX 76106  
817-496-7300

CONTACTS:  
JEFF DODD  
(jdodd@dbconstructors.com)  
MATT WEISS (mweiss@dbconstructors.com)  
CHRIS LINDSEY (clindsey@dbconstructors.com)  
CHRISTOPHER HARRIS (charris@dbconstructors.com)

**STRUCTURAL ENGINEER**

AW STRUCTURAL ENGINEERING, PLLC  
2808 FM 425 Apt 344  
Lubbock, TX 79409  
811-633-2628

**MECHANICAL AND PLUMBING ENGINEER**

B & H ENGINEERS, INC.  
811 E. JOHN CARPENTER HWY.

**CIVIL ENGINEER**

DCO ENGINEERING  
1608 KELLER PARKWAY, SUITE 100  
KELLER, TX 75448

**OWNER**

ChocXO Chocolatiers  
1648 DERWENT WAY,  
SHELTON, IA 52081

**CONTACT:**

PETER HIGGINS  
(phiggins@chocowners.com)

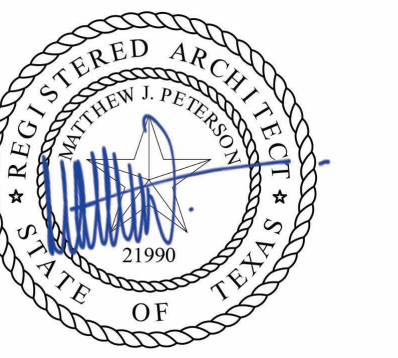
**OWNER**

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1648 DERWENT WAY,  
SHELTON, IA 52081

**CONTACT:**

PETER HIGGINS  
(phiggins@chocowners.com)

No.	Description	Date
19	CHANGE TO CMU WALL	08-16-23



SHEET TITLE  
**ENLARGED SITE PLANS, DETAILS, & LARGE CHILLER**

PROJ. NO. 2403 SHEET NO. A-100.2  
DATE 08-27-23  
DRAWN DISC | CHRD  
CW MPCW MP

RE-STAMPED SHELL 7/22/25  
SHELL PERMIT 4/8/25

6/11/2024 3:18:47 PM - ChocXOs Chocolatiers (Architecture) (REVIT DRAWINGS) (ChocXOs Revit Main Drawing File 2024) (X:\m\work\removed-4-17-26.dwg) (X:\Jobs\2024 - Jobs\2403 - THIS DOCUMENT AND THE DESIGNS CONTAINED THEREIN REMAINS THE PROPERTY OF DB CONSTRUCTORS, INC. AS AN INSTRUMENT OF PROFESSIONAL SERVICE. IT IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF DB CONSTRUCTORS, INC.)





