



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

## PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

## SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

## ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

## OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

## NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2071 Summer Lee Drive, Suite R 103, Rockwall, TX 75032

SUBDIVISION Harbor - Rockwall The

LOT

8

BLOCK

A

GENERAL LOCATION HARBOR - ROCKWALL, THE, BLOCK A, LOT 8, ACRES 12.894, (REPLAT 2017)

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-7

CURRENT USE

PROPOSED ZONING

PROPOSED USE

Amusement Arcade Business

ACREAGE 12.89

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER PA Harbor Retail, LLC

☒ APPLICANT Joyful Claw, LLC

CONTACT PERSON Jeff Carter

CONTACT PERSON Sairong Cheng

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

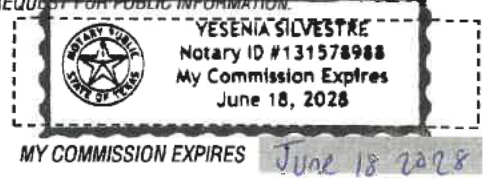
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sairong Cheng [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 205.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 8th DAY OF September, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

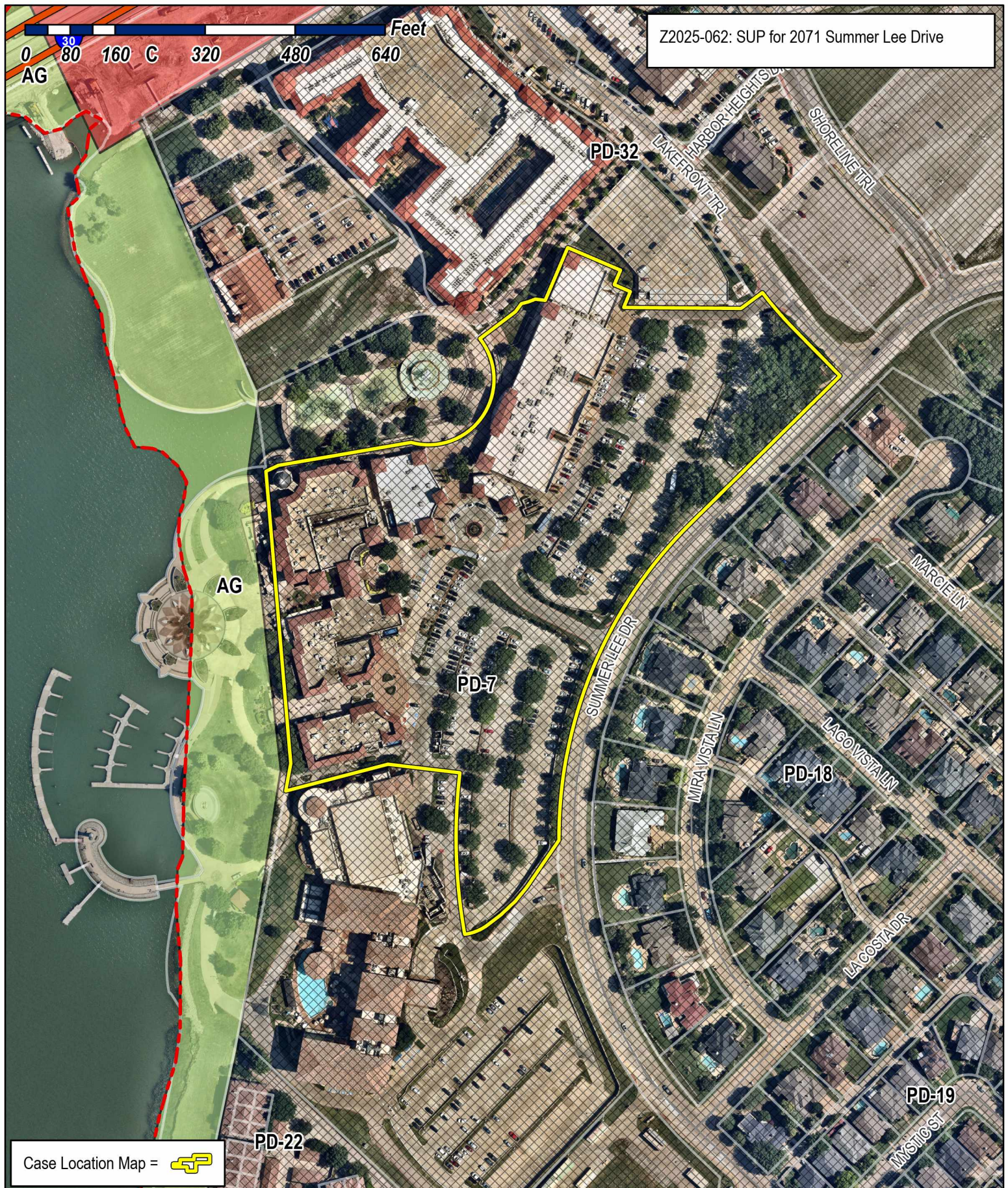
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8th DAY OF September, 2025.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



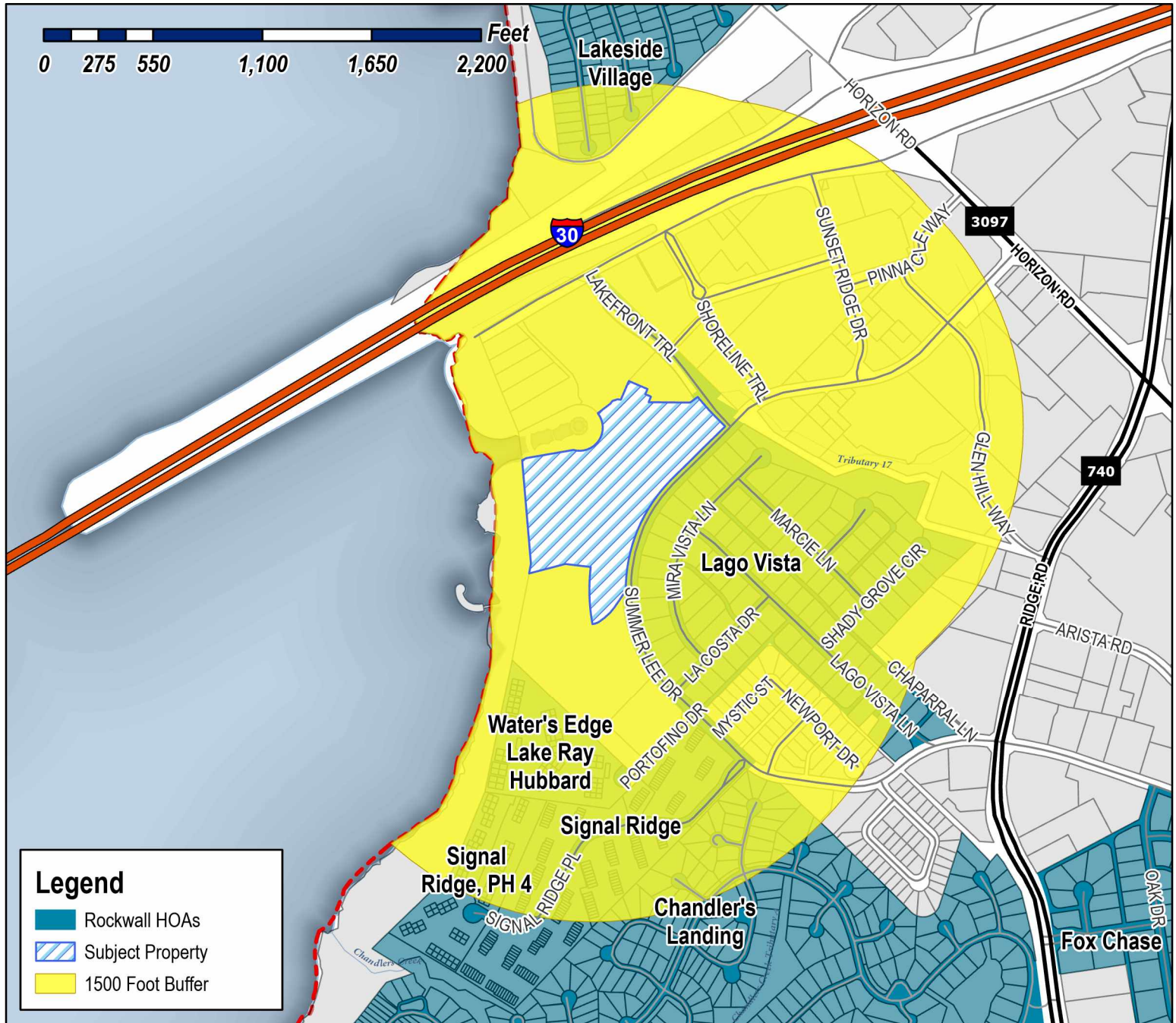




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**Case Number:** Z2025-062  
**Case Name:** SUP for 2071 Summer Lee Drive  
**Case Type:** Zoning  
**Zoning:** Planned Development 7 (PD-7)  
**District:**  
**Case Address:** 2071 Summer Lee Drive

**Date Saved:** 9/10/2025

For Questions on this Case Call (972) 771-7745



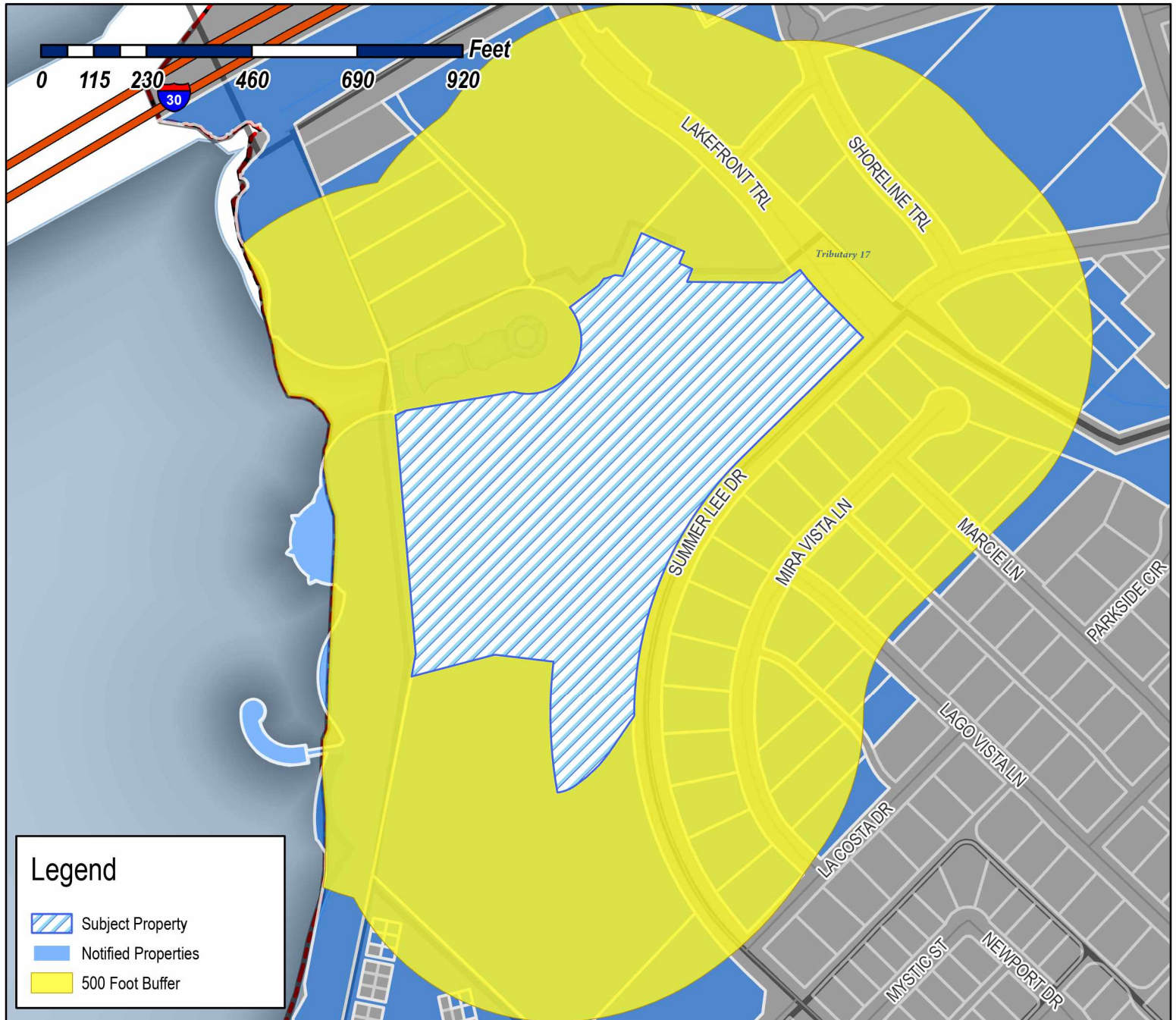




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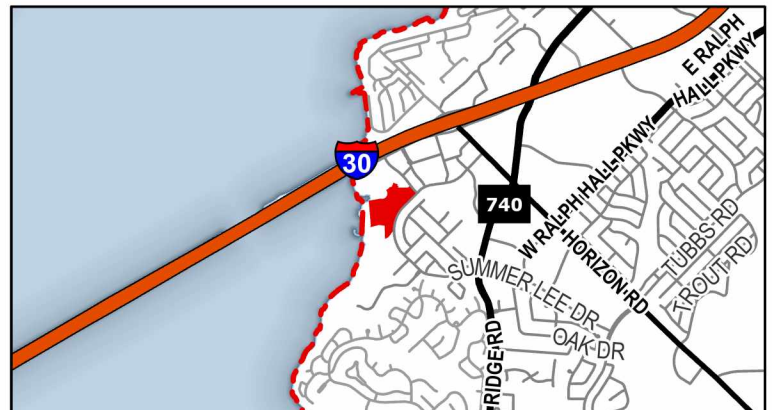
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RESIDENT  
1995SUMMER LEEDR  
ROCKWALL, TX 75087

HARVILLE BRET  
2003 PORTOFINO DR  
ROCKWALL, TX 75032

RESIDENT  
201EI30  
ROCKWALL, TX 75087

ARKOMA REALTY LTD  
A TEXAS LTD PARTNERSHIP  
203 E INTERSTATE 30  
ROCKWALL, TX 75087

ARKOMA REALTY LTD  
A TEXAS LTD PARTNERSHIP  
203 E INTERSTATE 30  
ROCKWALL, TX 75087

RESIDENT  
203EI30  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
205 W RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
2055SUMMER LEEDR  
ROCKWALL, TX 75087

RESIDENT  
2057SUMMER LEDR  
ROCKWALL, TX 75087

RESIDENT  
205I30  
ROCKWALL, TX 75087

BUSTILLO RAFAEL  
2197 PORTOFINO DRIVE  
ROCKWALL, TX 75032

TOMBLIN REGINALD WAYNE AND  
MARIA EMILY MATHEWS  
2201 PORTOFINO DR  
ROCKWALL, TX 75032

MOORE PATRICIA  
2203 PORTOFINO DRIVE  
ROCKWALL, TX 75032

KURT PFLIEGER REVOCABLE TRUST  
KURT LORING PFLIEGER - TRUSTEE  
2208 PORTOFINO DR  
ROCKWALL, TX 75032

EWING WENDY L  
2212 PORTOFINO DR  
ROCKWALL, TX 75032

KUBIT THOMAS MICHAEL & KIMBERLY D  
2214 PORTOFINO DR  
ROCKWALL, TX 75032

SARMIENTO FAMILY TRUST  
REYNALDO DOMINGO SARMIENTO - TRUSTEE  
2218 PORTOFINO DR  
ROCKWALL, TX 75032

RESIDENT  
2220PORTOFINODR  
ROCKWALL, TX 75087

ROCKWALL LOT 3 OWNER LLC  
255 Alhambra Cir Ste 760  
Coral Gables, FL 33134

2055 SUMMER LEE ROCKWALL OWNER LLC  
255 Alhambra Cir Ste 760  
Coral Gables, FL 33134

RESIDENT  
2600LAKEFRONTTRAIL  
ROCKWALL, TX 75087

RESIDENT  
2601LAKEFRONTTR  
ROCKWALL, TX 75087

HARBOR LAKE POINTE INVESTORS LLC  
2701 Sunset Ridge Dr Ste 607  
Rockwall, TX 75032

101 HUBBARD DR LLC  
2701 Sunset Ridge Dr Ste 610  
Rockwall, TX 75032

THOMPSON GARY  
2730 MIRA VISTA LN  
ROCKWALL, TX 75032

MCKINNEY MARVIN  
2738 MIRA VISTA LANE  
ROCKWALL, TX 75032

KAPRANTZAS VICTORIA J AND  
ROSALIE A CRACCHIOLO  
2748 MIRA VISTA LANE  
ROCKWALL, TX 75032

COOLIDGE JONATHAN S & CATHEY M  
2756 MIRA VISTA LN  
ROCKWALL, TX 75032

DOUGLAS JOETTA & ROY  
2766 MIRA VISTA LN  
ROCKWALL, TX 75032

BAILEY RICHARD A AND GENA B  
2774 MIRA VISTA LN  
ROCKWALL, TX 75032

TURNER KATHY BAIRD  
2782 MIRA VISTA  
ROCKWALL, TX 75032

RESIDENT  
2782MIRA VISTALN  
ROCKWALL, TX 75087

SIDEREAS BRENDON L ET UX  
2790 MIRA VISTA LN  
ROCKWALL, TX 75032

KIDD DAVID A AND MARY S SOTELO-KIDD  
2800 MIRA VISTA LANE  
ROCKWALL, TX 75032

RESIDENT  
2800LAKEFRONTTRL  
ROCKWALL, TX 75087

RESIDENT  
2800MIRA VISTALN  
ROCKWALL, TX 75087

YU JOHNNY & HAE SUK  
2804 MARCIE LN  
ROCKWALL, TX 75032

MILLER DARYL & CAMILLE STEARNS  
2805 LAGO VISTA LN  
ROCKWALL, TX 75032

VANHOF ENTERPRISES LLC  
2805 MARCIE LANE  
ROCKWALL, TX 75032

PRESTENBERG W JAY & PATSY R  
2806 LAGO VISTA LN  
ROCKWALL, TX 75032

POLGAR ROBERT PETER & MARLA  
2807 MIRA VISTA LN  
ROCKWALL, TX 75032

RESIDENT  
2808MIRA VISTALN  
ROCKWALL, TX 75087

BUTLER ROVON AND ROSALYN  
2813 LAGO VISTA LN  
ROCKWALL, TX 75032

CASSADY CHARLES P  
2814 MARCIE LN  
ROCKWALL, TX 75032

BENNETT CLIFF AND STELLA  
2815 MARCIE LN  
ROCKWALL, TX 75032

BRADFORD PATRICIA L  
2816 LAGO VISTA LN  
ROCKWALL, TX 75032

JOHNSTON MARK D AND LISA P  
2818 MIRA VISTA LN  
ROCKWALL, TX 75032

RESIDENT  
2821LAGO VISTALN  
ROCKWALL, TX 75087

FRY ROBIN KAY  
2822 MARCIE LN  
ROCKWALL, TX 75032

HOOD ANTOINE M & ROGUE N  
2823 MIRA VISTA LN  
ROCKWALL, TX 75032

NGUYEN LE MINHCHAU AND  
BRYAN NGUYEN LE AND JESSICA NGUYEN LE  
2824 LAGO VISTA LN  
ROCKWALL, TX 75032

RESIDENT  
2825MARCIELN  
ROCKWALL, TX 75087

MCBANE JANET T AND  
TRESA LEE MCBANE  
2828 MIRA VISTA LN  
ROCKWALL, TX 75032

TOLBERT MELISSA RENAE  
2834 LAGO VISTA LANE  
ROCKWALL, TX 75032

ROCHA GUADALUPE  
2835 Mira Vista Ln  
Rockwall, TX 75032

WOMBLE JOHN & GINGER  
2836 MIRA VISTA LN  
ROCKWALL, TX 75032

TAGGART FAMILY TRUST  
MICHAEL JORDAN TAGGART & KELLY ANNE  
TAGGART - TRUSTEES  
2843 MIRA VISTA LN  
ROCKWALL, TX 75032

SOLERO DANIEL J AND ANDREA  
2844 MIRA VISTA LN  
ROCKWALL, TX 75032

LAKE FRONT TRAIL LP  
2850 Shoreline Trl Ste 200  
Rockwall, TX 75032

TOP NOTCH LEASING LLC  
2900 S Peachtree Rd  
Balch Springs, TX 75180

RUBY REAL ESTATE, LLC  
3000 CUSTER RD STE 270 PMB 1595  
PLANO, TX 75075

LAKEFRONT TRAIL ROCKWALL HOTEL LP  
3021 RIDGE ROAD A-120  
ROCKWALL, TX 75032

RESIDENT  
303EI30  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
ATTN;MARY SMITH  
385 S GOLIAD ST  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
ATTN;MARY SMITH  
385 S GOLIAD ST  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
385 S GOLIAD ST  
ROCKWALL, TX 75087

BPD REALTY GROUP LLC  
4515 DORSET RD  
DALLAS, TX 75229

SARMIENTO FAMILY TRUST  
507 AZALEA LN  
MT PLEASANT, TX 75455

CRABB JESSICA M ESTATE OF  
C/O BANK OF AMERICA TRUST  
575 MARYVILLE CENTRE DR SUITE 511  
ST LOUIS, MO 63141

PA HARBOR RETAIL LLC  
8222 Douglas Ave Ste 390  
Dallas, TX 75225

PA HARBOR RETAIL LLC  
8222 Douglas Ave Ste 390  
Dallas, TX 75225

ABLON AT HARBOR VILLAGE OWNER LLC  
8222 DOUGLAS AVE STE 390  
DALLAS, TX 75225

CLEMENTS BOB L  
PO BOX 1850  
MCKINNEY, TX 75070

CULPEPPER /SPATEX JV  
%GARY SHULTZ  
PO BOX 190569  
DALLAS, TX 75219

CULPEPPER /SPATEX JV  
%GARY SHULTZ  
PO BOX 190569  
DALLAS, TX 75219

CULPEPPER/SPATEX JV  
% GARY SHULTZ  
PO BOX 190569  
DALLAS, TX 75219

CULPEPPER /SPATEX JV  
%GARY SHULTZ  
PO BOX 190569  
DALLAS, TX 75219

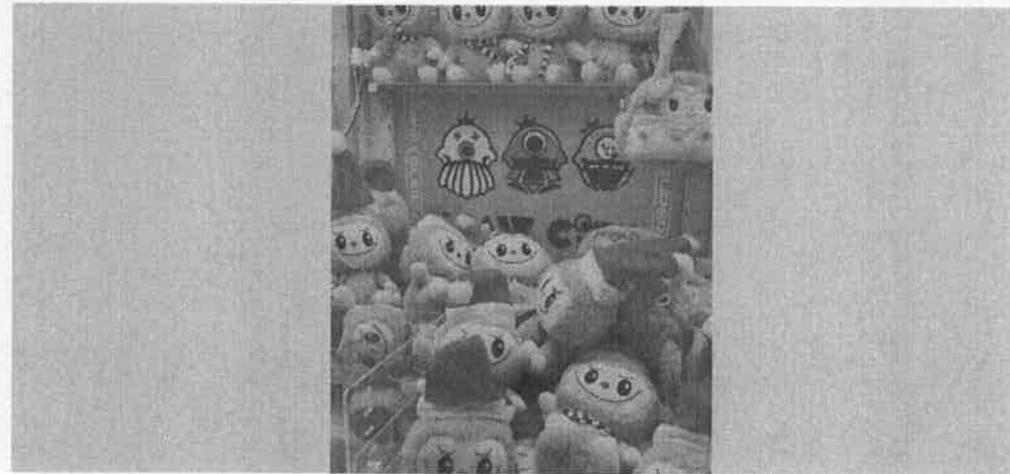
ROCKWALL RENTAL PROPERTIES LP  
PO BOX 818  
TERRELL, TX 75160

# JOYFUL CLAW

## About Us

Get Hooked On The Claw!

At joyful claw, you don't just play, you play to upgrade! Win small prizes and trade them up for even bigger rewards. Along with our claw machines, you can snap memorable moments in our photo booths and browse our hand-picked collection of collectibles such as anime figures, blind boxes, trading cards and more unique trinkets.





## How Does Joyful Claw Work?



CMK Trade Up system:

How it works:

1. Purchase tokens (1 token per play)
2. Play and win plushies
3. Trade in plushies for a bigger prize OR exchange for Kingdom Coins

(1 Plushie = 1 Kingdom Coin)

CMK Rules:

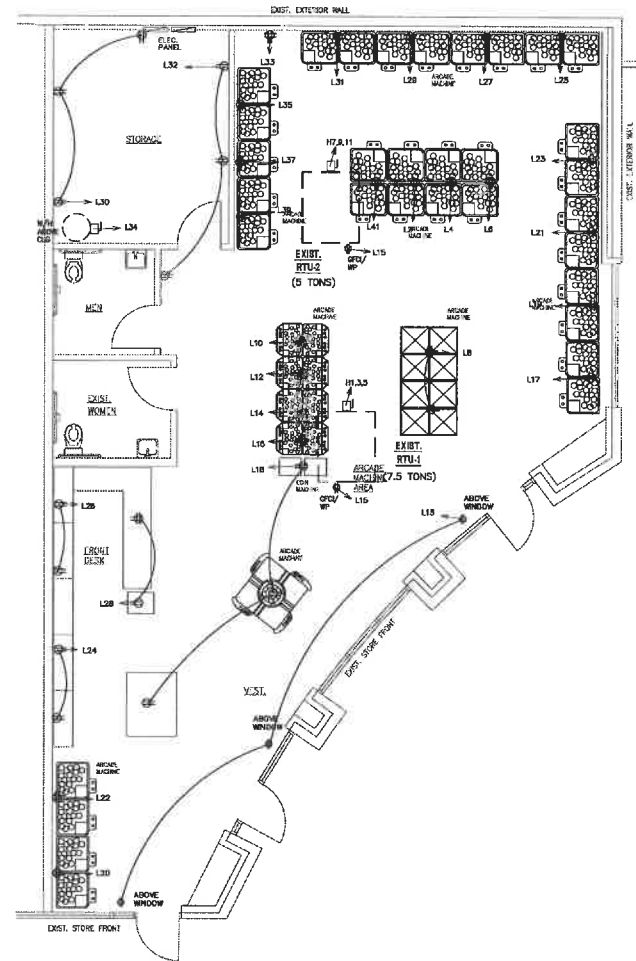
- Trade in plushies or exchange for Kingdom Coins are only valid within same visit
- Plushies that have left CMK are considered used, and are no longer eligible for trade-ins or exchange. No exceptions
- Kingdom Coins can be saved until your next visit



Trade in the plushies you don't want for our kingdom coin to save up for bigger prizes!

# GENERAL NOTES:

1. PROVIDE JUNCTION BOX IN WALL AND RUN PULL WIRE FOR TELEPHONE AND/OR RUN FROM RECEPTACLE IN CEILING TO 7 DAY TIME SWITCH TO CONTROL LIGHTS. MOUNT DATA LINE OUTLET TO AN ACCESSIBLE LOCATION ABOVE CEILING LINE. PROVIDE 3/4" CONDUIT IN CONCRETE, SLAB OR MASONRY WALL.
2. CONTRACTOR NEED TO CONFORM WITH OWNER ABOUT EQUIPMENT FOR ALL RECEPTABLES HEIGHT & LOCATION IN BAR AREAS AND WATER STATION BEFORE INSTALLATION.
3. SECURITY CAMERA TO BE INSTALLED BY CONTRACTOR. LOCATION AND HEIGHT OF CAMERA TO BE CONFIRMED WITH OWNER.
4. CONTRACTOR NEED TO CONFORM WITH OWNER FOR THE RECEPTABLE LOCATIONS & HEIGHTS BEFORE INSTALLATION.



01 ELECTRICAL PLAN - power  
SCALE: 1/4"=1'-0"



SEAL/NOTARY  
JOYFUL CLAW, INC.  
ALLIANCE OF TEXAS  
Houston, Texas 77025  
Phone: 832.377.4829  
Email: JCLAW@GMAIL.COM

**JC**

**Joyful Claw**  
2071 Summer Lee Dr., Suite 2103  
Rockwell, Texas 75087

## PROJECT INFORMATION:

PROJECT NO.: 2827

DATE:

ISSUE:

REVISION:

DATE:

ISSUE:

REVISION:

DATE:

ISSUE:

REVISION:

DATE:

ISSUE:

REVISION:

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Sheet:

**ELECTRICAL  
PLAN  
(power)**

**E2.0**



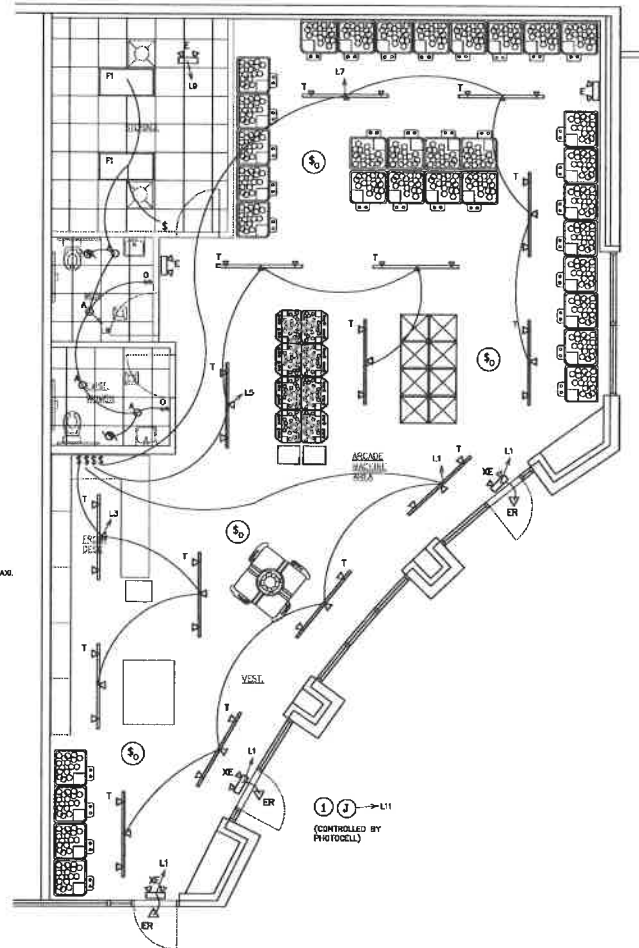
# ELECTRICAL SPECIFICATIONS:

- A. THE CONTRACTOR SHALL EXECUTE THE WORK IN STRICT ACCORDANCE WITH LOCAL, STATE AND NATIONAL CODES, APPLICABLE REGULATIONS AND ORDINANCES.
- B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND PAY FOR ALL SUCH PERMITS REQUIRED FOR WORK UNDER THIS CONTRACT.
- C. ALL WORK SHALL BE DONE IN A NEAT AND PROFESSIONAL MANNER BY COMPETENT AND EXPERIENCED WORKMEN IN THEIR TRADE.
- D. ALL MATERIALS AND EQUIPMENT USED UNDER THIS CONTRACT SHALL BE NEW AND IN GOOD WORKING ORDER AND BE U.L. APPROVED.
- E. ALL BUILDING WIRING REQUIRED FOR THIS PROJECT SHALL BE BASED ON SOFT DRAWN COPPER, CONDUCTIVITY OF NOT LESS THAN LESS THAN THAT OF 80% PURE COPPER, TYPE 800 WIRE INSULATION, #12 MINIMUM ALL WIRING #10 OR LARGER SHALL BE STRANDED TYPE WITH COLORED TAPE USE AT ALL BOXES TO IDENTIFY EACH PHASE AND CIRCUIT. ALL WIRING #12 MAY BE SOLID AND COLOR CODED AS REQUIRED BY NEC CODE.
- F. CONDUIT INDOORS SHALL BE EMT, 1/2" MINIMUM CONDUIT UNDERGROUND AND IN SLAB SHALL BE NOT DIPPED, RIGID GALVANIZED STEEL. CONDUIT EXPOSED OUTDOORS SHALL BE HOT DIPPED RIGID GALVANIZED STEEL.
- G. CONTRACTOR SHALL PROVIDE A SERVICE FEEDER FROM THE TENANTS POWER LOAD CENTER TO THE MAIN DISCONNECT, METER AND EXISTING MAINWAY OR WEATHERHEAD. VERIFY AT JOB SITE THE EXACT CONDITIONS AND REQUIREMENTS NEEDED. SEE ONE LINE DIAGRAM.
- H. ALL PANEL, BOARDS SHALL HAVE A TYPE WRITTEN SCHEDULE OF EQUIPMENT LOADED ON EACH CIRCUIT. ALL LIGHTS SHALL BE LOCALLY SWITCHED WITH WALL TOGGLE SWITCHES UNLESS INDICATED OR NOTED OTHERWISE.
- I. PROVIDE A COPPER GROUND WIRE TO ALL RECEPTACLES AND ALL DIRECT CONNECTED EQUIPMENT. CONDUIT GROUND MAY BE USED FOR LIGHTING SYSTEM GROUNDING AS APPROVED BY CODE. PROVIDE A WIRE GROUND IN ALL FOLDERS AND SUB-FOLDERS AS SHOWN, BUT IN NO CASE SHALL IT BE SMALLER THAN CODE REQUIREMENT.
- J. COORDINATE EXACT ALL POWER AND TELEPHONE SERVICE REQUIREMENTS WITH LOCAL POWER AND TELEPHONE COMPANIES.
- K. PROVIDE EMPTY CONDUIT FOR TELEPHONE AND COMPUTER CABLE SYSTEMS AS INDICATED ON DRAWING. PROVIDE A PULL WIRE IN ALL EMPTY CONDUIT SYSTEMS. AT EACH TELEPHONE OUTLET PROVIDE AN OUTLET BOX WITH CONDUIT OR PULL WIRE AS REQUIRED TO AN ACCESSIBLE LOCATION ABOVE CEILING. PROVIDE CONDUIT WITH PULL WIRE THE CEILING IS NOT ACCESSIBLE.
- L. MOUNT ALL RECEPTACLES AND POWER OUTLETS 18" ABOVE FINISHED FLOOR UNLESS NOTED OR INDICATED OTHERWISE. COORDINATE THE MOUNTING ALL OUTLETS THAT ARE MOUNTED IN COUNTERS WITH THE OWNER'S REPRESENTATIVE.
- M. PROVIDE A GROUND FAULT PROTECTED, WEATHERPROOF, DUPLEX RECEPTACLE AS REQUIRED BY NATIONAL ELECTRICAL AND CITY CODES, ADJACENT TO EACH AIR COOLED CONDENSER AND/OR ROOF TOP UNIT OUTDOORS.
- N. ALL ELECTRICAL WORK SHALL BE RUN THROUGH THE BUILDING JOIST WEB AND/OR AS CLOSE TO THE STRUCTURE AS POSSIBLE.
- O. ALL BREAKERS IN PANEL BOARDS SHALL BE 20 AMP, SPARKS UNLESS INDICATED OTHERWISE.
- P. COMPLIANCE OF STATE ENERGY CODE.

# LIGHTING FIXTURE SCHEDULE:

- F1 METALUX 240P/1000/0400 OPT SERIES 2004 FEET, 5000 LUMENS INTEGRATED LED GENERAL PURPOSE LED PANEL 4000K
- X LITHOMIA: LUMENS ELK 120V/277V, DET LIGHT WITH BATTERIES BACK UP, PROVIDE 90 MIN. EMERGENCY POWER
- NE LITHOMIA: M001250 120/277V, 1 PHASE, COMBO OF DET & EMERGENCY LIGHT FIXTURE, COMPLETE WITH BATTERIES TO MEET CODE, LAMPS, ARROWS AS REQUIRED, TWO SEALED BEAMS FOR EMERGENCY LIGHTING, CONNECT BATTERIES TO A HOT CIRCUIT TO MAINTAIN BATTERIES CHARGED AND LAMPS TO A CONTROLLED CIRCUIT, PROVIDE MIN. 90 MINUTES EMERGENCY POWER.
- E LITHOMIA: M001250 120/277V, 1 PHASE, EMERGENCY LIGHT FIXTURE, COMPLETE WITH BATTERIES TO MEET CODE, LAMPS, ARROWS AS REQUIRED, TWO SEALED BEAMS FOR EMERGENCY LIGHTING, CONNECT BATTERIES TO A HOT CIRCUIT TO MAINTAIN BATTERIES CHARGED AND LAMPS TO A CONTROLLED CIRCUIT, PROVIDE MIN. 90 MINUTES EMERGENCY POWER.
- ER REMOTE EMERGENCY LIGHTING HEAD, NEMA 3R
- A RECESSED LIGHT, LED, 20W, 120V.
- T TIME CONTROL

§ 1 B-LEVEL SWITCHES SWITCH § 1 CONTROLS LIGHTING INDICATED "§"  
SWITCH § 1 CONTROLS LIGHTING INDICATED "§"



# LIGHTING CONTROLS COMPLYING WITH 2021 IECC:

- S0 WALL OCCUPANT SENSOR CONTROLS COMPLYING SECTION 408.5.2.1 OF 2021 IECC
- S0 CEILING OCCUPANT SENSOR CONTROLS COMPLYING SECTION 408.5.2.1.1, 408.5.2.1 OF 2021 IECC
- S0 DAYLIGHT SENSOR CONTROLS COMPLYING SECTION 408.5.3 OF 2021 IECC DAYLIGHT-RESPONSIVE. DAYLIGHT RESPONSIVE CONTROLS ARE REQUIRED IN ALL SPACE WITH MORE THAN 150K.
- S1 TIME SWITCH CONTROLS COMPLYING SECTION 408.5.2 OF 2021 IECC WITH MANUAL OVERRIDE, 2 HOURS MAX.

# KEYED NOTES:

- 1 PROVIDE JUNCTION BOX AND CIRCUIT FOR TENANT'S BONS, TAPE AND TAG ALL WIRES FOR FINAL CONNECTIONS BY 30N CONTRACTOR. RUN TO
- 2 CONNECT ALL DET AND EMERGENCY LIGHTS TO A HOT CIRCUIT TO MAINTAIN THE BATTERIES CHARGED UP. CONNECT ALL DET LAMPS TO A CIRCUIT THAT IS LOCALLY SWITCHED ON AND OFF.
- 3 CONTROL EXHAUST FANS WITH LIGHT.

# ELECTRICAL LEGEND:

NL	NIGHT LIGHT
AFV	ABOVE FINISHED FLOOR
WP	WEATHER PROOF ENCLOSURE OR COVER
MCB	MAIN CIRCUIT BREAKER
<b>TRACK LIGHT</b>	
HPT	HIGH POWER FACTOR
W-1	WEMA W-100 ENCLOSURE, W/ OUT DOOR WEATHER PROOF, 1" INDOOR
3P	3 PHASE OR 3 POLE DEVICE
3W	3 WIRE ONCE OR SYSTEM
F1	RECESSED OR SURFACE MOUNT FLUORESCENT FIXTURE 2'-4" OR 2'-6" SURFACE OR RECESS TYPE, ELECTRONIC BALLAST, 120V OR 277V
	SURFACE OR CHAIN HUNG MOUNT 4 FEET OR 8 FEET FLUORESCENT FIXTURE, ENERGY SAVING BALLAST.
RO	RECESSED OR SURFACE MOUNT INCANDESCENT OR H.L.D. FIXTURE, SAME DESIGNATIONS AS ABOVE.
§	WALL MOUNTED TOGGLE SWITCH, 15 AMP, 120/277 VOLT RATED, MOUNT 48" ABOVE FINISHED FLOOR, COMPLETE WITH SMOOTH PLASTIC PLATE
S0	SWITCH WITH PILOT LIGHT
§M	MOUNT SWITCH, IDENTICAL TYPE WITH PROPER THERMAL ELEMENT, INSTALLED FOR MOTOR PROTECTION, COMPLETE WITH SMOOTH PLASTIC PLATE.
§ 1	B-LEVEL SWITCHES: SWITCH § 1 CONTROLS LIGHTING INDICATED "§" SWITCH § 1 CONTROLS LIGHTING INDICATED "§"
→	CONDUIT AND WIRE HANGING TO PANEL, LETTER INDICATED PANEL & CIRCUIT INDICATED, SEE PANEL SCHEDULE FOR NUMBER OF CONDUCTORS AND ANY SPECIAL REQUIREMENTS.
□	SIXTY DISCONNECT SWITCH, HEAVY DUTY TYPE (SD), NEMA (1) FOR INDOORS AND NEMA (3R) FOR OUT DOORS.
X	DET LIGHT W/BATTERIES BACK UP TO MEET NFPA LIFE SAFETY CODE.
E	EMERGENCY LIGHT W/BATTERIES BACK UP, SEALED BEAM TO MEET LIFE SAFETY CODE.
XE	COMBINATION DET AND EMERGENCY LIGHT FIXTURE TO MEET NFPA, LIFE SAFETY CODE.
⚡	EXHAUST FAN - MOTOR CONNECTION
⚡	TELEPHONE OUTLET, PROVIDE BOX IN WALL WITH PULL WIRE TO AN ACCESSIBLE LOCATION ABOVE CEILING.
⚡	STANDARD DUPLEX OUTLET, 20 AMPS, 120 VOLT, 2 POLE, 3 WIRE GROUNDING TYPE
⚡	DIAPHRAGM OUTLET (2 DUPLEX OUTLET GROUNDING TYPE) 20A, 120V
GF	STANDARD DUPLEX OUTLET, 20AMPS, 120V, 2POLE, 3W WITH GROUND FAULT INTERRUPTER PROTECTION.
⚡	STANDARD OUTLET 15A, 20A, 30A, (GROUNDING) 208V, 240V, SINGLE PHASE OR 3 PHASE (SEE PANEL SCHEDULE FOR CONNECTION)

01 ELECTRICAL PLAN - lighting  
SCALE: 1/4"=1'-0"



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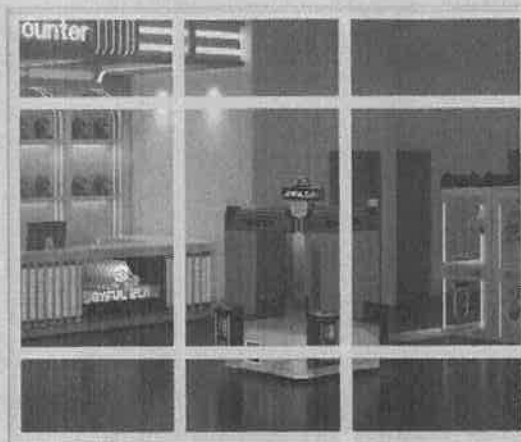
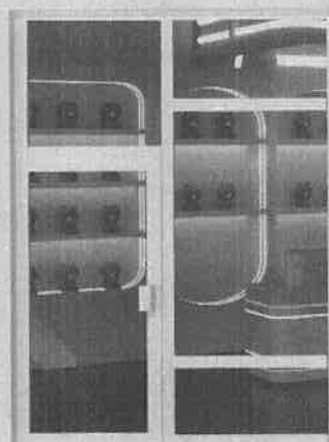
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# PROJECT INFORMATION:

PROJECT NO.: 2837  
DATE: \_\_\_\_\_  
ISSUE: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
PRINTED ON: \_\_\_\_\_  
OWNERS REP OF DOCUMENTS: \_\_\_\_\_  
REMARKS: \_\_\_\_\_

# ELECTRICAL PLAN (Lighting)

E1.0









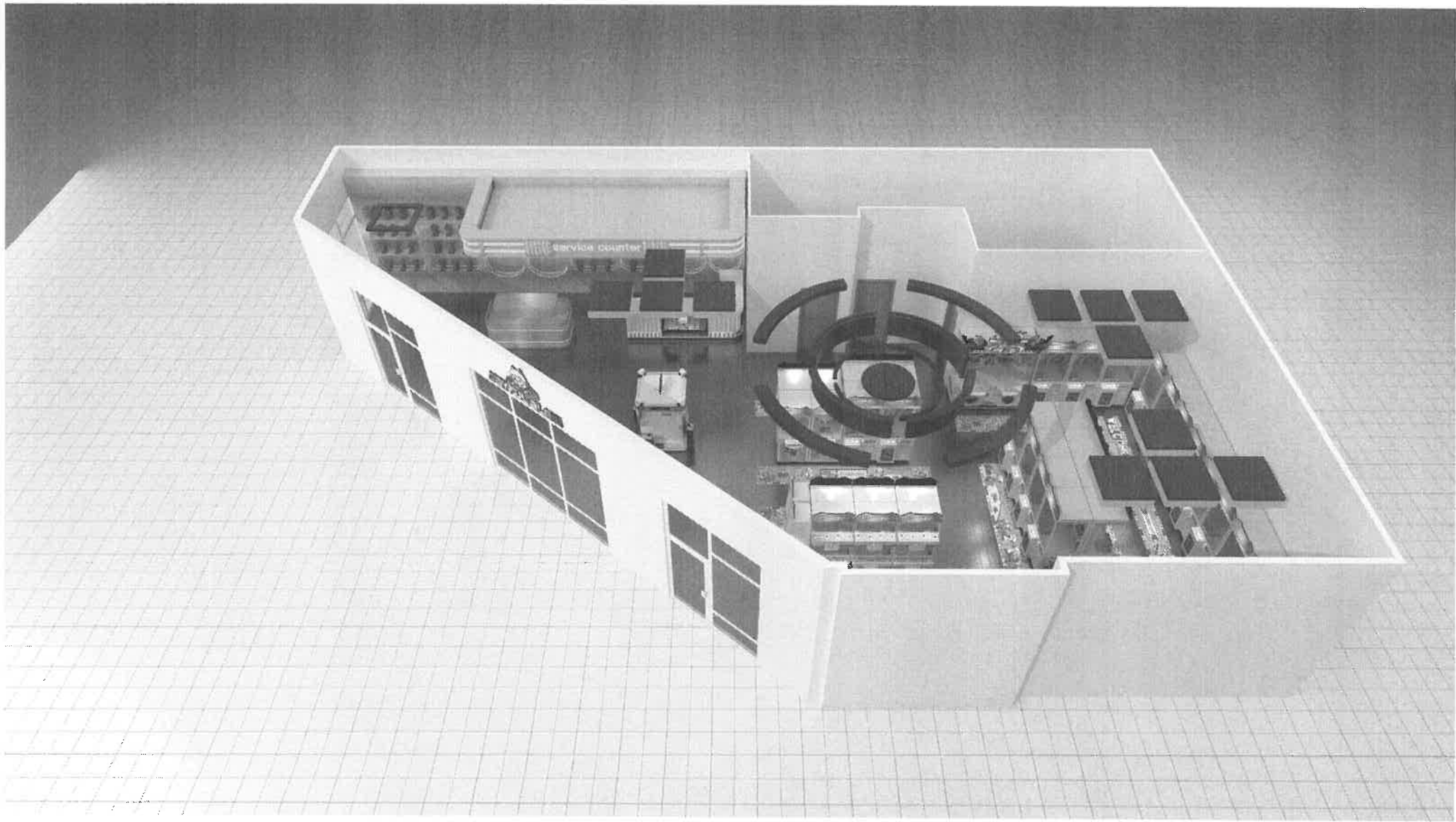












# OCCUPANT LOAD CALCULATIONS

AREA	FOOTAGE	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
VEST.	200 S.F.	—	0
FRONT DESK	148 S.F.	150	1
ARCADE MACHINE AREA	1169 S.F.	11	106
RESTROOMS	130 S.F.	—	0
STORAGE	185	200	1
			108

## GENERAL NOTES:

- ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWINGS. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL ORDINANCES AND REGULATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY FOR ALL TRADES, FOR PROPER LOCATION OF WORK UNDER THIS CONTRACT. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
- THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE JOB SITE CONDITIONS. OMISSION OF SPECIFIC DETAILS, DATA OR DRAWINGS SHALL NOT RELIEVE CONTRACTOR OF ANY RESPONSIBILITIES FOR A COMPLETE WORKING PROJECT AND SYSTEMS. THE CONTRACTOR SHALL THOROUGHLY ACQUAINT HIMSELF WITH THE CONSTRUCTION REQUIREMENTS AND DETAILS BEFORE SUBMITTING HIS BID, AS NO ALLOWANCES WILL BE ALLOWED BECAUSE OF THE CONTRACTOR'S UNFAMILIARITY WITH THE JOB SITE CONDITIONS AND PROJECT REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES AND/OR UNUSUAL CONDITIONS NOT SHOWN OR ANTICIPATED TO THE OWNER'S REPRESENTATIVE PRIOR TO FINALISING BIDS AND COMMENCEMENT OF ANY CONSTRUCTION.
- ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED BY COMPETENT WORKMEN AND EXECUTED IN A NEAT WORKMAN LIKE MANNER. THE TENANT SHALL REQUIRE EXTENDED WARRANTIES ON SOME EQUIPMENT.
- ALL PENETRATIONS MADE IN EXTERIOR WALLS OF BUILDINGS FOR CONDUIT, PIPING, WINDOWS AND DOORS SHALL BE SEALED WITH POLYSULFIDE.
- NO PENETRATION SHALL OCCUR WITHIN 12" OF ANY OTHER ROOF PENETRATIONS, EXPANSION JOINT OR EDGE DETAIL.
- ALL MATERIALS FOR PARTITIONS, WALLS, CEILINGS AND FINISHES SHALL BE APPROVED NON-COMBUSTIBLE MATERIALS.
- THE CONTRACTOR SHALL NOT PAINT ANY PLASTER, BRUSH HAMMERED CONCRETE, PRE-FINISHED TRIM OR FLASHING.
- THE CONTRACTOR SHALL SAW, CUT AND DECAVATE ANY CONCRETE REQUIRED FOR ELECTRICAL, PLUMBING OR PIPING INSTALLATION REQUIRED BY VENDORS OR SHOWN ON DRAWING BACK FILL WITH SAND COMPACTED TO 95 PROCTOR NEW REINFORCING INSTALL AND REPAIR WITH 5 BAGS 3000 PSI CONCRETE TO SAME SLAB DEPTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT ALL REFRIGERATION VENDORS SUCH AS, FREEZERS, COOLERS AND REFRIGERATION CASES AND OBTAIN COPIES OF SHOP DRAWINGS FOR EQUIPMENT PRIOR TO STARTING ANY ROUGH INSTALLATION OF UTILITIES REQUIRED.
- THE CONTRACTOR SHALL INSTALL FIRE EXTINGUISHING SYSTEMS THAT WILL BE REQUIRED BY CODE AND INSURANCE IN HALL, KITCHEN, AND OTHER AREAS, INCLUDING PORTABLE SYSTEMS THAT WILL BE REQUIRED BY FIRE CODE.
- SHELVES AND COUNTER PER GENERAL CONTRACTOR.
- ALL CONTROL SWITCHES, THERMOSTATS, ETC. SHALL BE MOUNTED WITH THE HEIGHT NOT TO EXCEED 48" MAX. HEIGHT FOR FORWARD APPROACH & 54" MAX. FOR SIDE APPROACH.
- PROVIDE LANDING AT EACH EXTERIOR DOOR. THE MANDIBLE IS 1/2" DROP FROM DOORWAY THRESHOLD TO LANDING.
- TYPE 20 STRUCTURE, NO EXISTING OR PROPOSED WOOD STRUCTURE IN THIS LEASE SPACE OR THIS BUILDING. ALL WOOD BLOCKING USED IN WALLS NEEDS TO BE FIRE TREATED.
- FIRE SPRINKLER SYSTEM BY SEPARATE PLAN AND CONTRACT. FIRE SPRINKLER COMPANY WILL SUBMIT SEPARATE PLANS FOR FIRE SERVICE.

# INDEX OF DRAWINGS

- A1.0 FLOOR PLAN
- A1.1 SITE PLAN
- A1.2 DEMOLITION PLAN
- A2.0 REFLECTED CEILING PLAN
- A3.0 FINISH SCHEDULE
- M1.0 MECHANICAL PLAN AND NOTES
- M2.0 MECHANICAL NOTES & DETAIL
- E1.0 ELECTRICAL PLAN - LIGHTING
- E2.0 ELECTRICAL PLAN - POWER
- E3.0 ELECTRICAL PANELS
- P1.0 PLUMBING PLAN - SAN. SEWER
- P2.0 PLUMBING PLAN - WATER

## BUILDING CODE INFORMATION

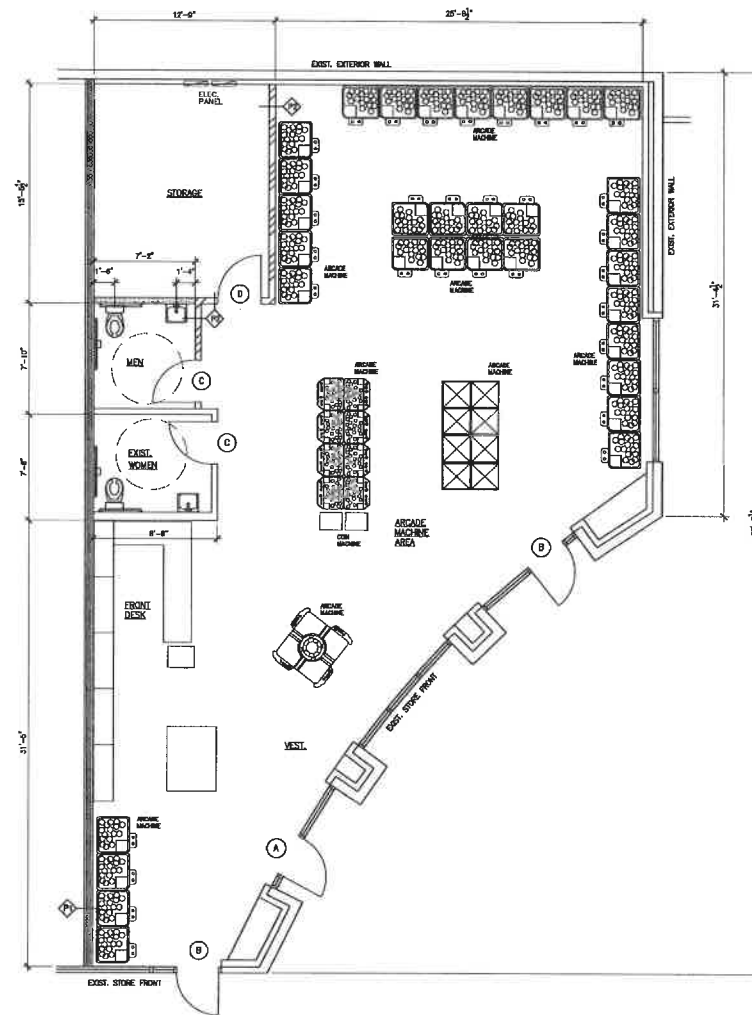
CONSTRUCTION TYPE: 2A  
OCCUPANCY TYPE: A-3  
CODE USED:  
2021 INTERNATIONAL PLUMBING CODE  
2021 INTERNATIONAL MECHANICAL CODE  
2021 INTERNATIONAL BUILDING CODE  
2021 INTERNATIONAL FIRE CODE  
2020 NATIONAL ELECTRICAL CODE  
2021 IBC  
2021 INTERNATIONAL EXISTING BUILDING CODE  
THIS LEASE SPACE IS 100% SPRINKLED.

## SCOPE OF WORK

TO REMODEL EXISTING VACANT LEASE SPACE 2,000 S.F. TO BE A NEW ARCADE GAME CENTER.  
NO FOOD OR BEVERAGES ARE PROVIDED TO THE CUSTOMERS.

## WALL LEGEND:

- EXIST. WALL
- EXIST. GLASS STORE FRONT IN ALUMINUM FRAME
- EXIST. ONE HOUR FIRE RATED PARTITION
- NEW PARTITION
- NEW PARTITION



01 FLOOR PLAN  
SCALE: 1/4"=1'-0"



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## PROJECT INFORMATION

PROJECT NO.: 2007  
DATE:  
ISSUE:  
REVISIONS:  
DRAWN BY:  
PRINTED ON:

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Revised:

FLOOR PLAN

A1.0

