



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2389 Saddlebrook Ln Rockwall TX 75087

SUBDIVISION Saddlebrook II

LOT _____

BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE _____

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE _____

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

- ☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

Stephen B Duncan

☐ APPLICANT

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS _____

ADDRESS _____

CITY, STATE & ZIP _____

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Stephen B. Duncan [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS 9 DAY OF August, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 9 DAY OF August, 2025.

OWNER'S SIGNATURE

Stephen B Duncan
Karen R Frederick

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



KAREN R. FREDERICK
Notary Public, State of Texas
Notary ID 1078992-5
My Commission Exp. 03-18-2026

MY COMMISSION EXPIRES 3-18-2026



Z2025-054: SUP for an Accessory Structure at
2389 Saddlebrook Lane

SADDLEBROOK LN

SF-16

FM 1141

1141

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

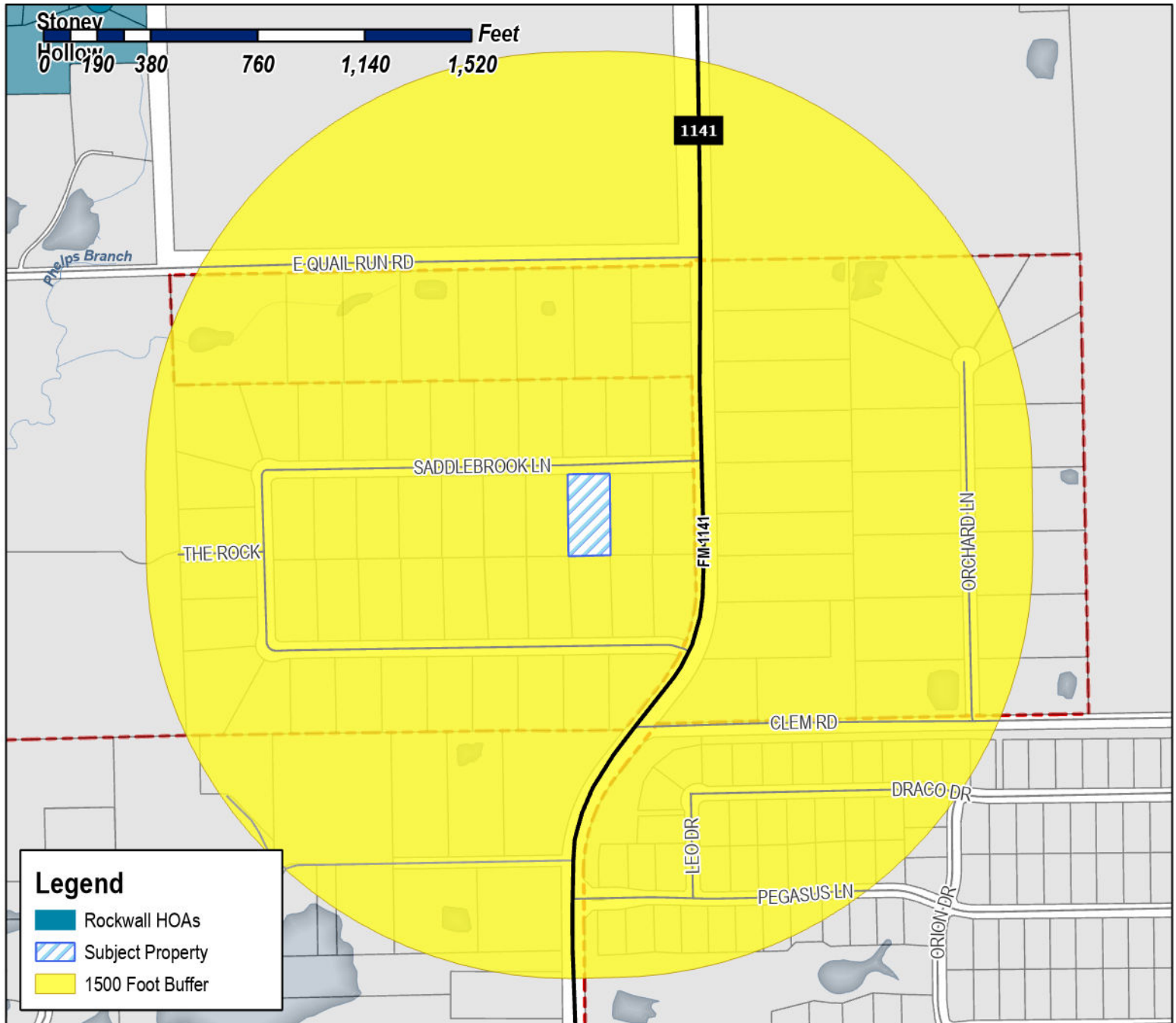




City of Rockwall

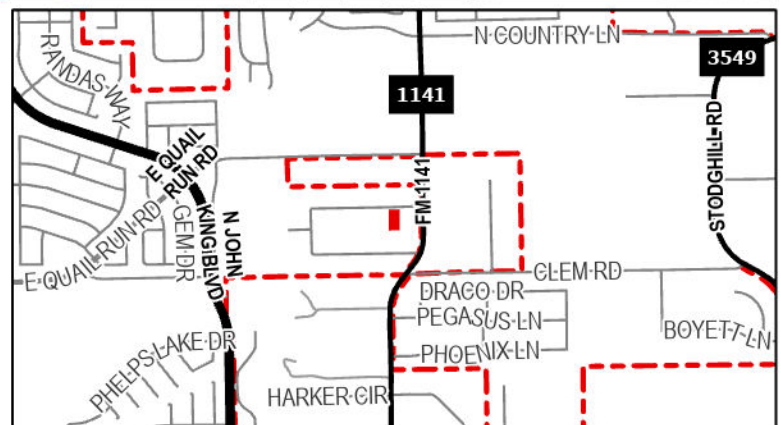
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Case Number: Z2025-054
Case Name: SUP for an Accessory Structure
Case Type: Zoning
Zoning: Single-Family 16 (SF-16) District
Case Address: 2389 Saddlebrook Lane

Date Saved: 8/15/2025
For Questions on this Case Call (972) 771-7745





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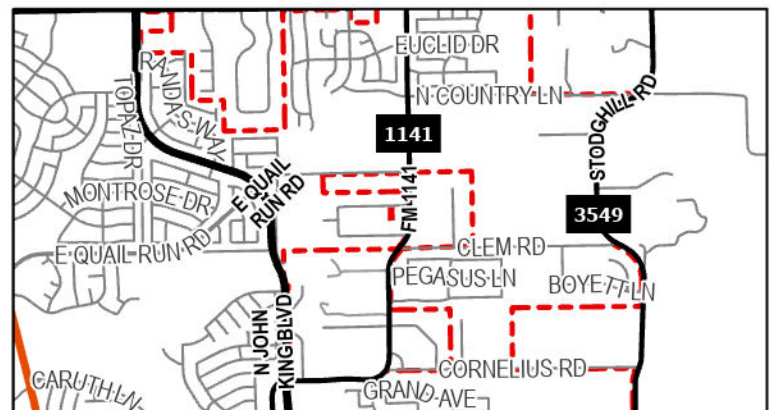
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DUNCAN BRYAN AND BEVERLY
2389 SADDLEBROOK LN
ROCKWALL, TX 75087

DIETRICH SHELLEY L & DAROLD T
2393 SADDLEBROOK LN
ROCKWALL, TX 75087

CALDERON ALEJANDRO & ROSARIO
2373 SADDLEBROOK LN
ROCKWALL, TX 75087

SPINER YWAINE & JOAN FROEHLICH
2377 Saddlebrook Ln
Rockwall, TX 75087

WHISENHUNT BARRY I & JOYCE D
2381 SADDLEBROOK LN
ROCKWALL, TX 75087

OSBORNE MICHAEL B & DESIRAE M
2313 Saddlebrook Ln
Rockwall, TX 75087

MUGGEO THOMAS & PATRICIA M
2317 SADDLEBROOK LN
ROCKWALL, TX 75087

TRUITT PAMELA MARIE & ROBERT EDWIN
2372 Saddlebrook Ln
Rockwall, TX 75087

SMITH WILLIAM CLEVE JR &
EDITH LILLIAN
2312 SADDLEBROOK LN
ROCKWALL, TX 75087

LLOYD DANIEL AND REBECCA R
2316 SADDLEBROOK LANE
ROCKWALL, TX 75087

TAYLOR BRANDON G & AMANDA H
2320 SADDLEBROOK LN
ROCKWALL, TX 75087

JONES JAMES E
2309 SADDLEBROOK LN
ROCKWALL, TX 75087

BASHAM ERIC B
2376 SADDLEBROOK LN
ROCKWALL, TX 75087

W D DEFEBAGH REVOCABLE TRUST 2023
WALTER WAYNE DEFEBAGH & DAWN ANN
DEFEBAGH - TRUSTEES
2380 SADDLEBROOK LN
ROCKWALL, TX 75087

GRAY RYAN D AND MARISA C
2384 SADDLEBROOK LN
ROCKWALL, TX 75087

OSBORNE AARON & BARBARA
2305 SADDLEBROOK LANE
ROCKWALL, TX 75087

BARON JEFFREY MICHAEL & JEANNE MARIE
2324 SADDLEBROOK LANE
ROCKWALL, TX 75087

PUTCHINSKI PAUL & SHANNON
2385 SADDLEBROOK LANE
ROCKWALL, TX 75087

CALLICOATT GEORGE & JUDY
2388 SADDLEBROOK LN
ROCKWALL, TX 75087

THORMAHLEN KARL M SR & ETUX
2392 SADDLEBROOK LN
ROCKWALL, TX 75087

AMUNDSON DAVID O & ALICIA K
2328 SADDLEBROOK LN
ROCKWALL, TX 75087

MINNICH SHAWN C & WENDY A
2396 SADDLEBROOK LN
ROCKWALL, TX 75087

CULP TERRI L
2301 SADDLEBROOK LN
ROCKWALL, TX 75087

FLEMING DONALD CHARLES LIV TR
DONALD CHARLES FLEMING TRUSTEE
2397 SADDLEBROOK LN
ROCKWALL, TX 75087

MURPHEY HARVEY W
2304 SADDLEBROOK LN
ROCKWALL, TX 75087

WILLESS BARBARA NELL
2471 FM 1141
ROCKWALL, TX 75087

LONGINO JANICE PEREZ
2415 FM 1141
ROCKWALL, TX 75087

BROWNRIGG JOHNNY AND ANGELA
2439 FM 1141
ROCKWALL, TX 75087

BELL BRYAN & PRISCILLA
1660 E QUAIL RUN RD
ROCKWALL, TX 75087

KEGGEREIS NORMA
1650 E QUAIL RUN RD
ROCKWALL, TX 75087

LANG PAUL M ET UX
700 E 1st St
La Feria, TX 78559

ECHOLS JAMES WADE
2307 E 2307 QUAIL RUN RD
ROCKWALL, TX 75087

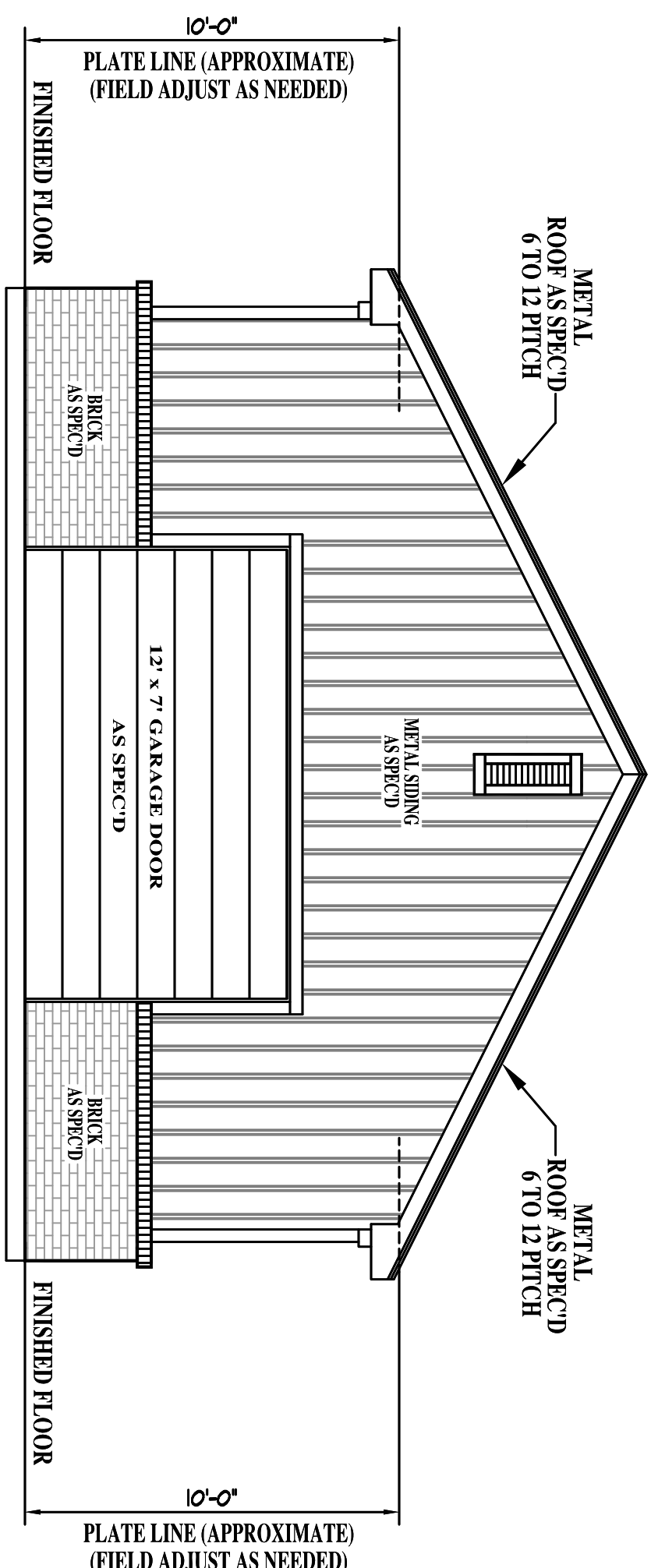
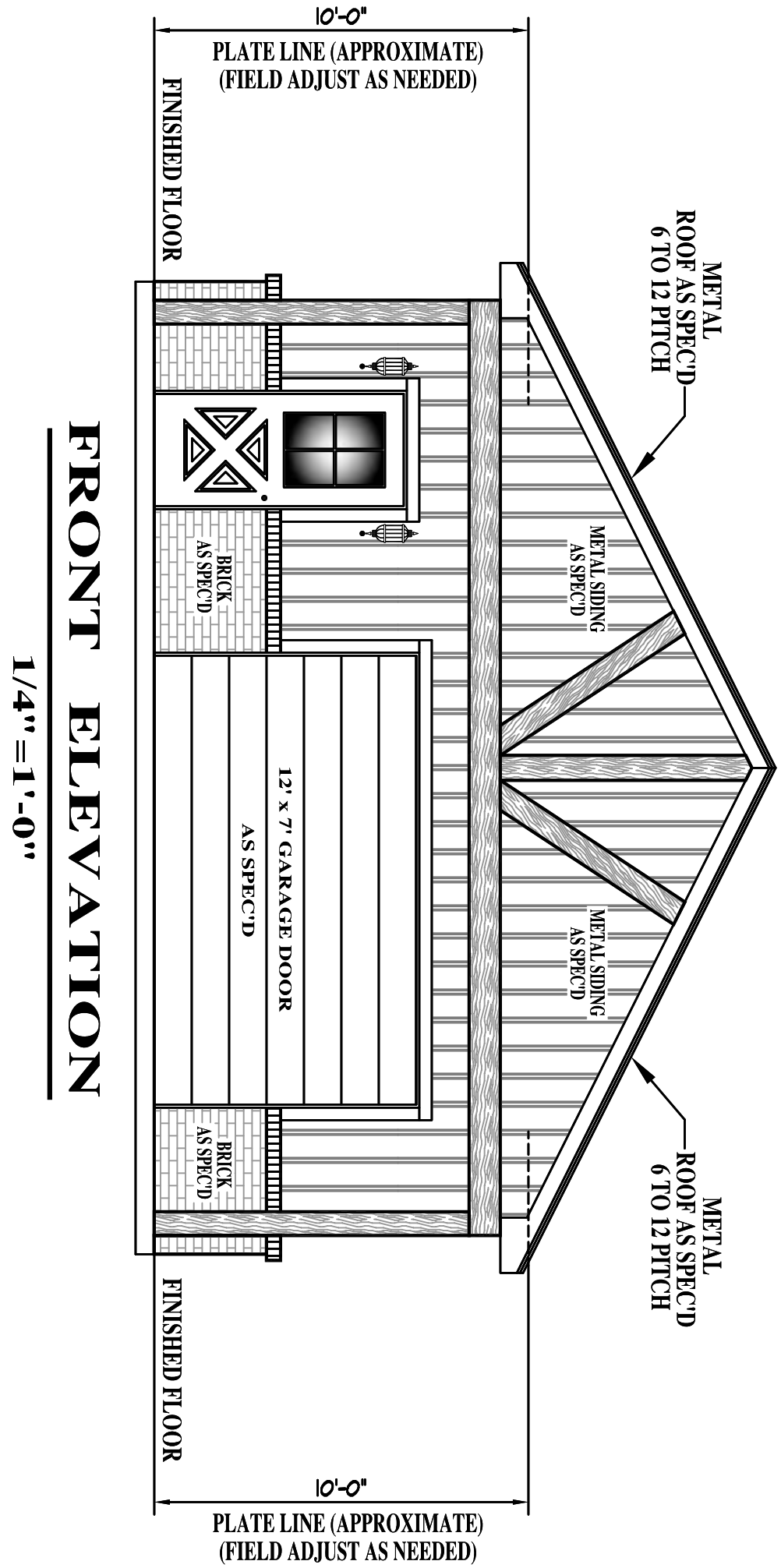
ROSS JACOB L
2541 FM 1411
ROCKWALL, TX 75087

RICHARDSON FRANKLIN AND JENNIFER
2343 EAST QUAIL RUN ROAD
ROCKWALL, TX 75087

FISHER JERRY F & STEPHEN N
170 CLEM RD
ROCKWALL, TX 75087

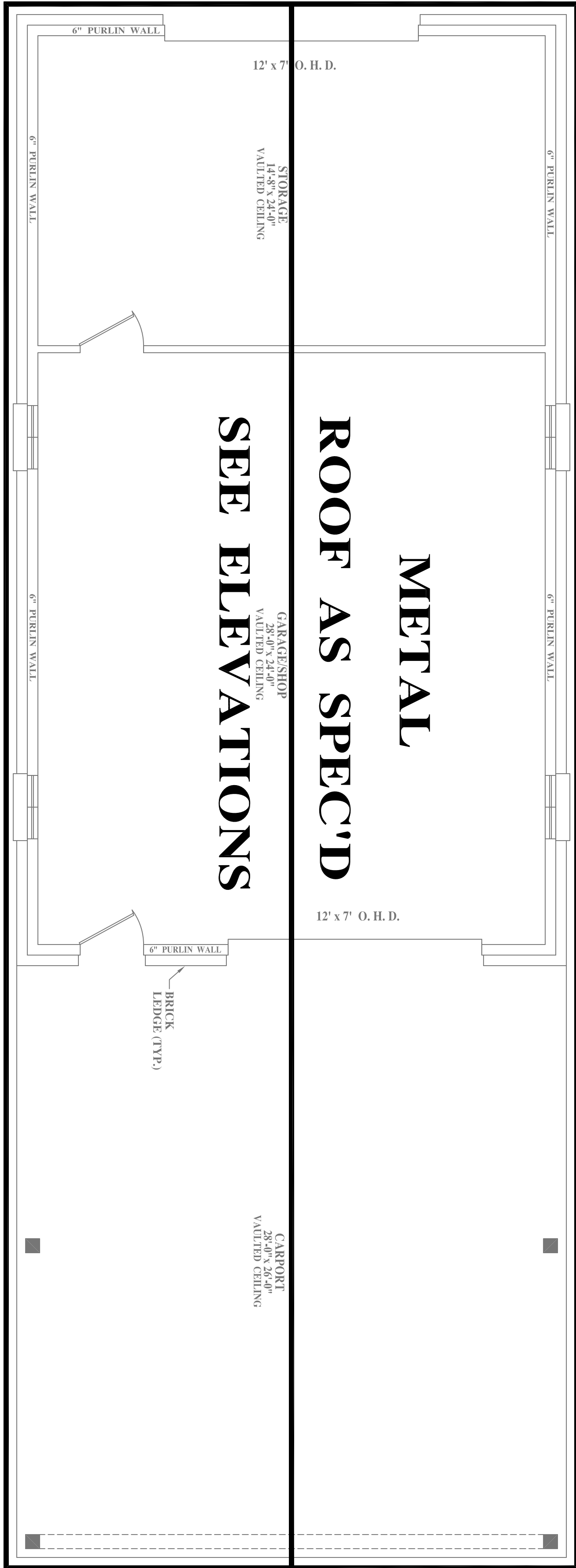
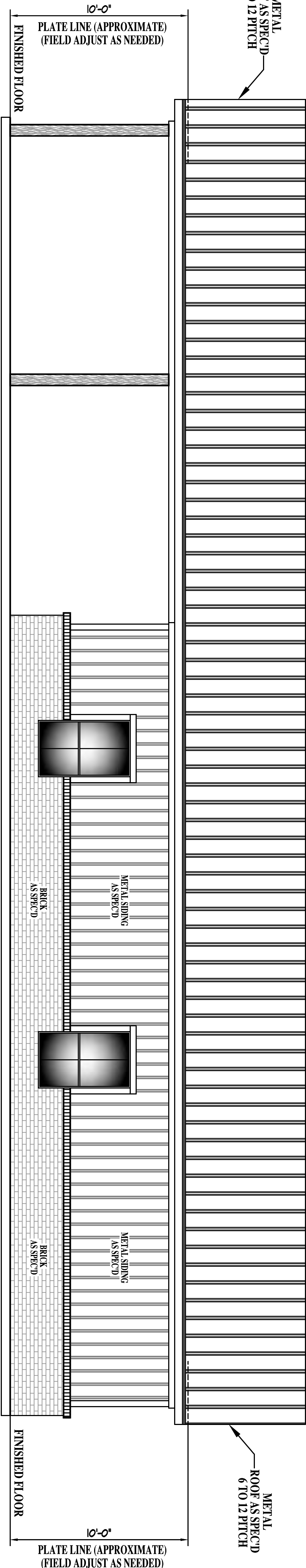
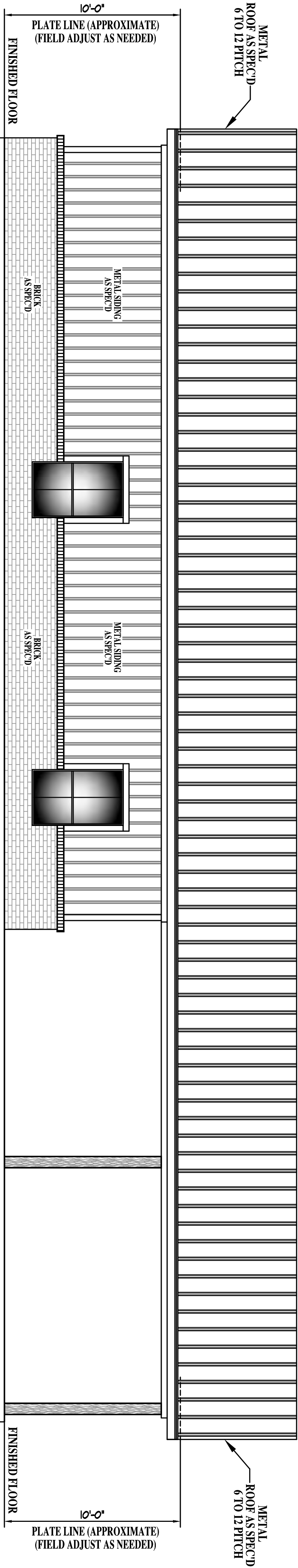
CONFIDENTIAL
2308 SADDLEBROOK LN
ROCKWALL, TX 75087

CONFIDENTIAL
2505 FM 1141
ROCKWALL, TX 75087



NOTES:

1. ALL PLATE LINES ARE ESTIMATES ONLY & MUST BE FIELD VERIFIED & ADJUSTED AS NEEDED TO MAKE ROOF ALIGN PROPERLY.
2. ALL ROOF PITCHES ARE ESTIMATES ONLY AND MUST BE FIELD VERIFIED AND ADJUSTED AS NEEDED TO MAKE ROOF ALIGN PROPERLY.
3. ALL CEILING HEIGHTS TO BE FIELD VERIFIED AND APPROVED BY OWNER & BUILDER BEFORE ANY CEILING OR ROOF RAFTERS ARE FRAMED.
4. THESE ELEVATIONS ARE RECOMMENDATIONS ONLY AND CAN BE FIELD MODIFIED AND ADJUSTED AS NEEDED PER BUILDERS INSTRUCTIONS AND OWNER APPROVAL.
5. IT IS THE RESPONSIBILITY OF THE BUILDER, OWNER & FRAMER TO FOLLOW THE ABOVE NOTES AND VERIFY AND INFORM THE OWNER AND BUILDER OF ANY AND ALL DISCREPANCIES BEFORE ROOF IS COMPLETED.



LEFT ELEVATION

1/4" = 1'-0"

ROOF PLAN

1/4" = 1'-0"

NOTE:
Ellis County Reprographics Inc. is a Drafting & Design firm only. In no way does E.C.R. represent itself as Architects or Engineers. All drawings are based on dimensions/specifications furnished to E.C.R. Inc by the builder and/or home owner.
These plans are copyrighted and the property of Ellis County Reprographics Inc. The creation and purchase of these plans do not transfer ownership.

DRAWING:

PLANS FOR:
BRYAN DUNCAN
2389 SADDLEBROOK LANE
ROCKWALL, TEXAS

NOTICE OF NON-RESPONSIBILITY

AS THESE PLANS ARE A RECOMMENDATION ONLY, HAVING BEEN PREPARED FROM SPECIFICATIONS AND DIMENSIONS PROVIDED BY THE BUILDER/PURCHASER OF PLANS TO ECR, INC. THE PLANS SHOULD BE CHECKED AND VERIFIED PER LOCAL CODES AND SPECS BY THE BUILDER/PURCHASER OF THE PLANS. IF THERE ARE ANY ERRORS, OR EXCLUSIONS ECR, INC IS TO BE NOTIFIED UPON DISCOVERY. ECR, INC ASSUMES NO RESPONSIBILITY WHATSOEVER IF THE BUILDER/PURCHASER MODIFIES OR CHANGES THESE PLANS.
THE LIMIT OF LIABILITY FOR ECR, INC IS NOT TO EXCEED THE COST OF THE PLANS.
ELLIS COUNTY REPROGRAPHICS, INC

DRAWN BY:

Ellis County Reprographics, Inc.

351 SOUTH RING ROAD
WAXAHACHIE, TEXAS 75165
972-938-3430

DRAWN BY:

ALAN LOOSIER

BUILDER:

SCALE: 1/4"=1'-0"

DATE: 07-14-2025

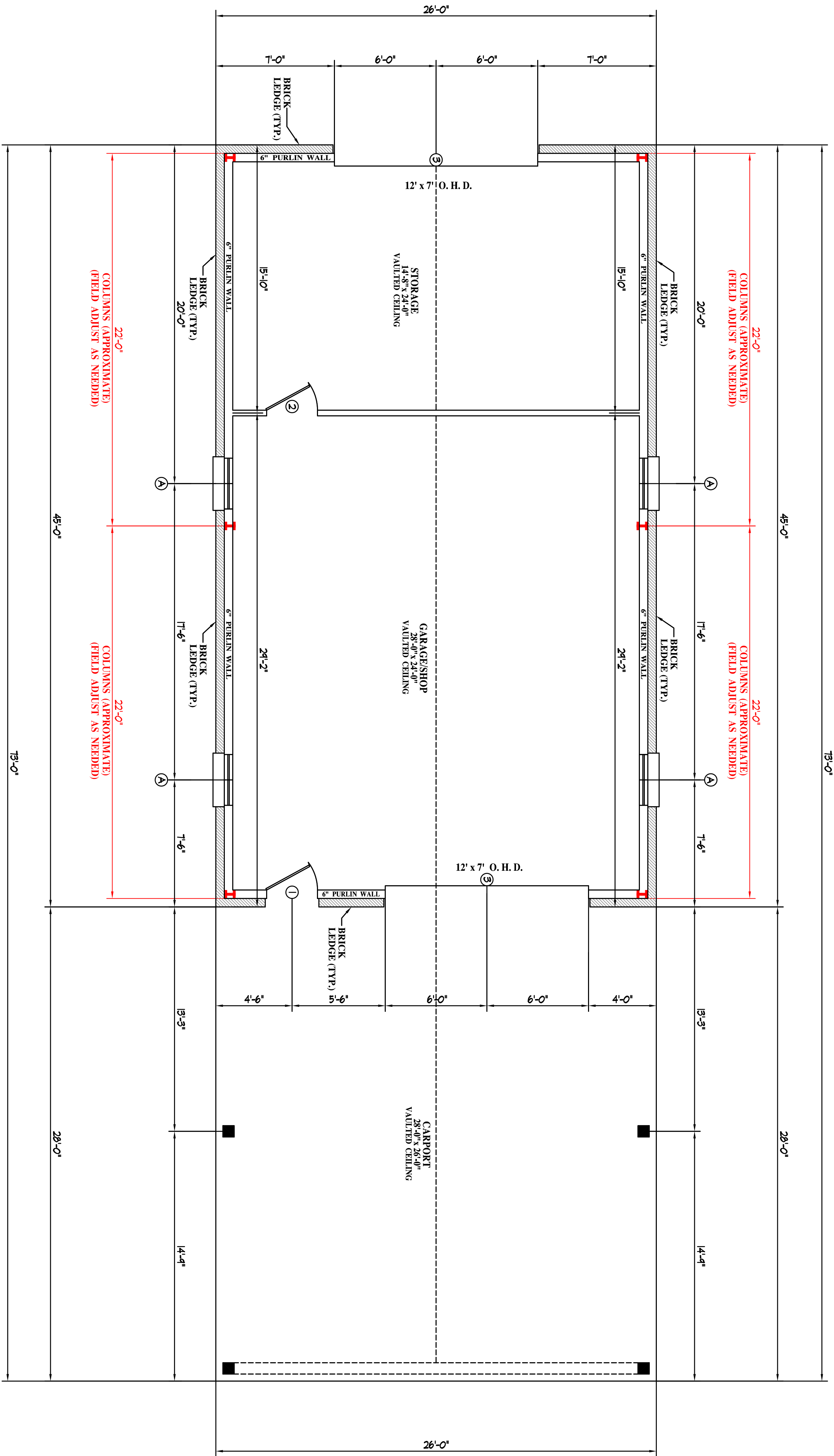
CAD FILE: DUNCAN.DWG

ELEVATIONS
AND ROOF
PLAN

SHEET NO.

A-3

DRAWING INDEX
A-1 FLOOR PLAN
A-2 ELECTRICAL PLAN
A-3 ELEVATIONS AND ROOF PLAN



FLOOR PLAN
1/4"=1'-0"

GENERAL NOTES:

1. ALL WALL STUDS SHALL BE 16" O.C. UNLESS NOTED OTHERWISE BY CONTRACTOR.
2. ALL CEILING JOIST AND ROOF RAFTERS SHALL BE 16" O.C. UNLESS OTHERWISE NOTED BY CONTRACTOR.
3. MAXIMUM SPAN FOR ROOF JOIST AND RAFTERS PER CONTRACTORS SPECS.
4. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES & ORDINANCES.
5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A COMPLETE LIST OF ALL PRODUCTS, APPLIANCES & MATERIALS TO BE USED PRIOR TO PURCHASE AND INSTALLATION.
7. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS.
8. THE CONTRACTOR SHALL PROVIDE ALL THE NECESSARY CALCULATIONS, DRAWINGS, AND OTHER REQUIREMENTS FOR THE DESIGN AND INSTALLATION OF THE FOUNDATION.
9. THE FOUNDATION SHALL BE DESIGNED BY A PROFESSIONAL STRUCTURAL ENGINEER CURRENTLY REGISTERED IN THE STATE OF TEXAS, WHO HAS AT LEAST FIVE YEARS EXPERIENCE IN THE DESIGN OF FOUNDATIONS FOR SOILS IN THE DALLAS AND FT. WORTH AREA.
10. ALL REQUIRED SOIL TESTING, INVESTIGATIONS, LAB ANALYSIS AND OTHER REQUIRED DATA SHALL BE PROVIDED BY THE CONTRACTOR.

WINDOW SCHEDULE		
NO.	TYPE	SIZE
A	VERTICAL SINGLE HUNG VINYL	3'-0" x 5'-0"

DOOR SCHEDULE		
NO.	SIZE	FIRE MATERIAL
1	3'-0" x 6'-8"	B EXTERIOR DOOR MILL CONST. (UTILITY)
2	3'-0" x 6'-8"	B INTERIOR WOOD RAISED PANEL
3	12'-0" x 7'-0"	B OVERHEAD GARAGE DOOR UNIT

COLUMN NOTE:
ALL COLUMNS ARE ESTIMATES ONLY AND NEED TO BE FIELD VERIFIED AND ADJUSTED AS NEEDED IN THE FIELD BY BUILDER.

SPACE LIST	
TITLE	SQ.FT.
GARAGE/SHOP	712
CARPORT	736
STORAGE	388
BRICK LEDGE	56
TOTAL UNDER ROOF	1892

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351 SOUTH RING ROAD
WAXAHACHIE, TEXAS 75165
972-938-3430

DRAWN BY: ALAN LOOSIER
BUILDER:
SCALE: 1/4"=1'-0"
DATE: 07-14-2025
CAD FILE: DUNCAN.DWG

PLANS FOR:
BRYAN DUNCAN
2389 SADDLEBROOK LANE
ROCKWALL, TEXAS

FLOOR PLAN
SHEET NO.
A-1

2389 Saddlebrook Ln, Rockwall TX 75087

