



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 201 Interurban Street

SUBDIVISION West Street Addition

LOT 1 BLOCK A

GENERAL LOCATION NEC Interurban St. and Highland Dr

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING DT

CURRENT USE Vacant

PROPOSED ZONING Same

PROPOSED USE Office

ACREAGE 0.43

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Davenport Rental Property

☐ APPLICANT Cliff Lewis Builders

CONTACT PERSON Natalee Davenport

CONTACT PERSON Cliff Lewis

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

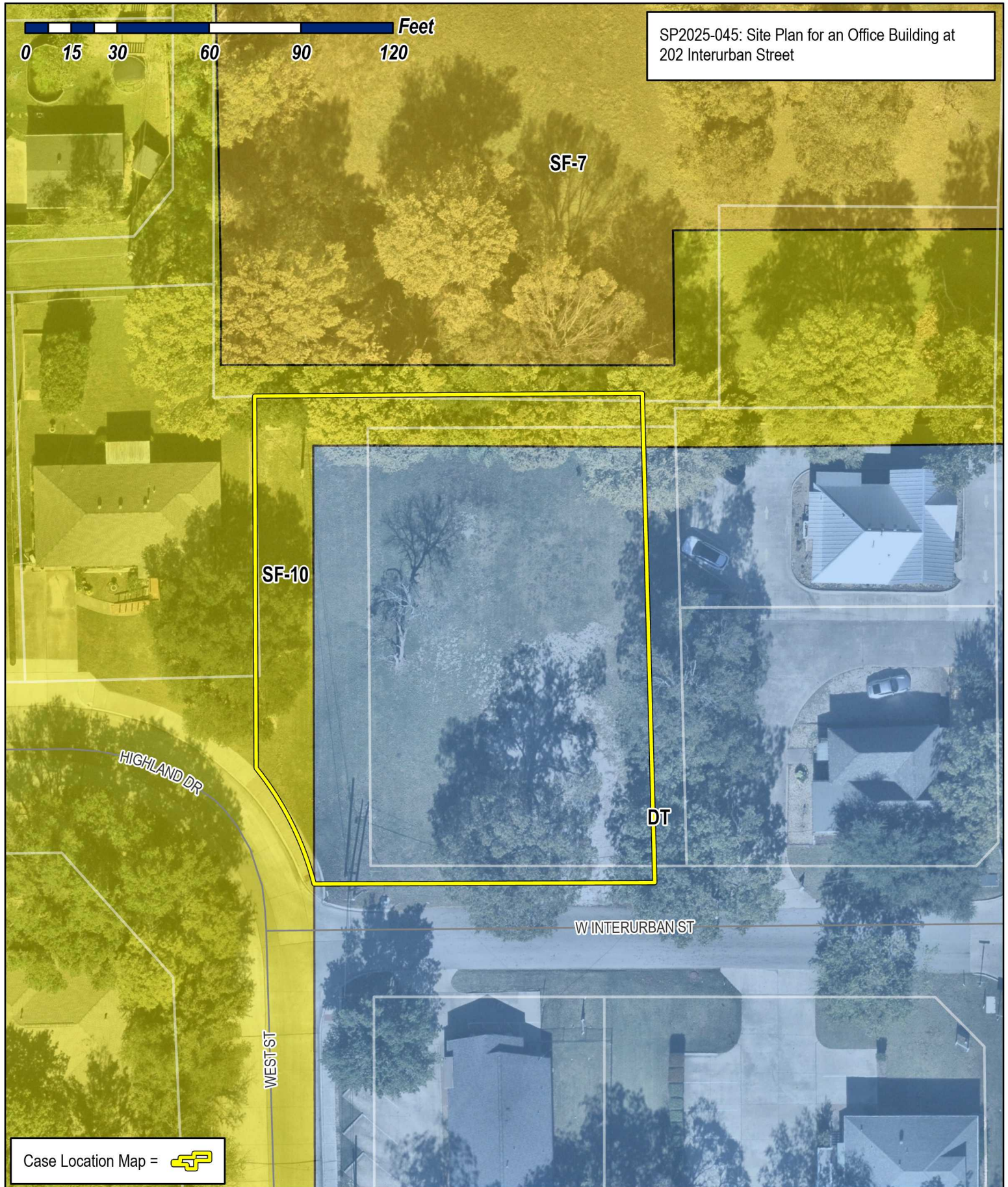
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

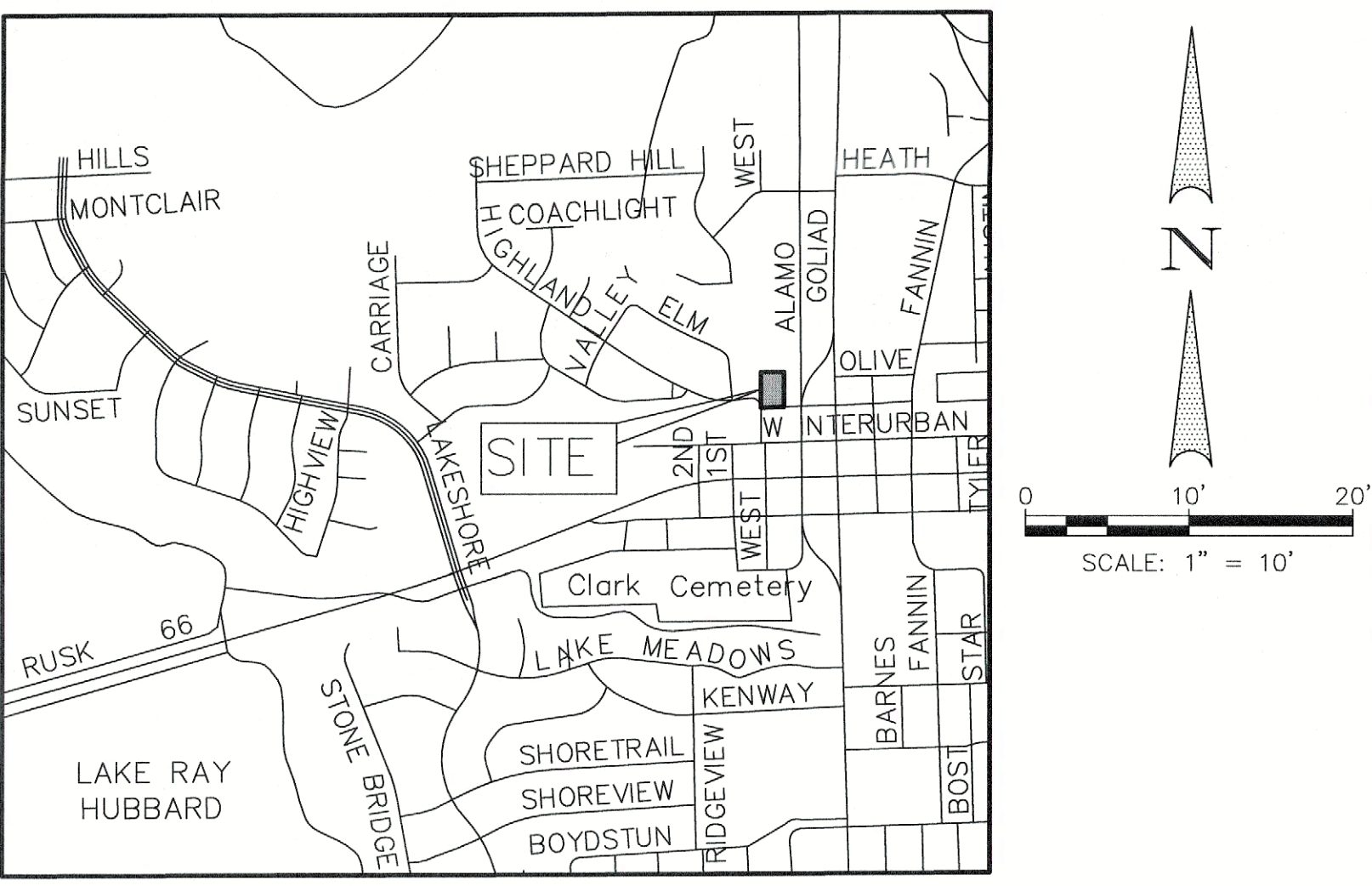
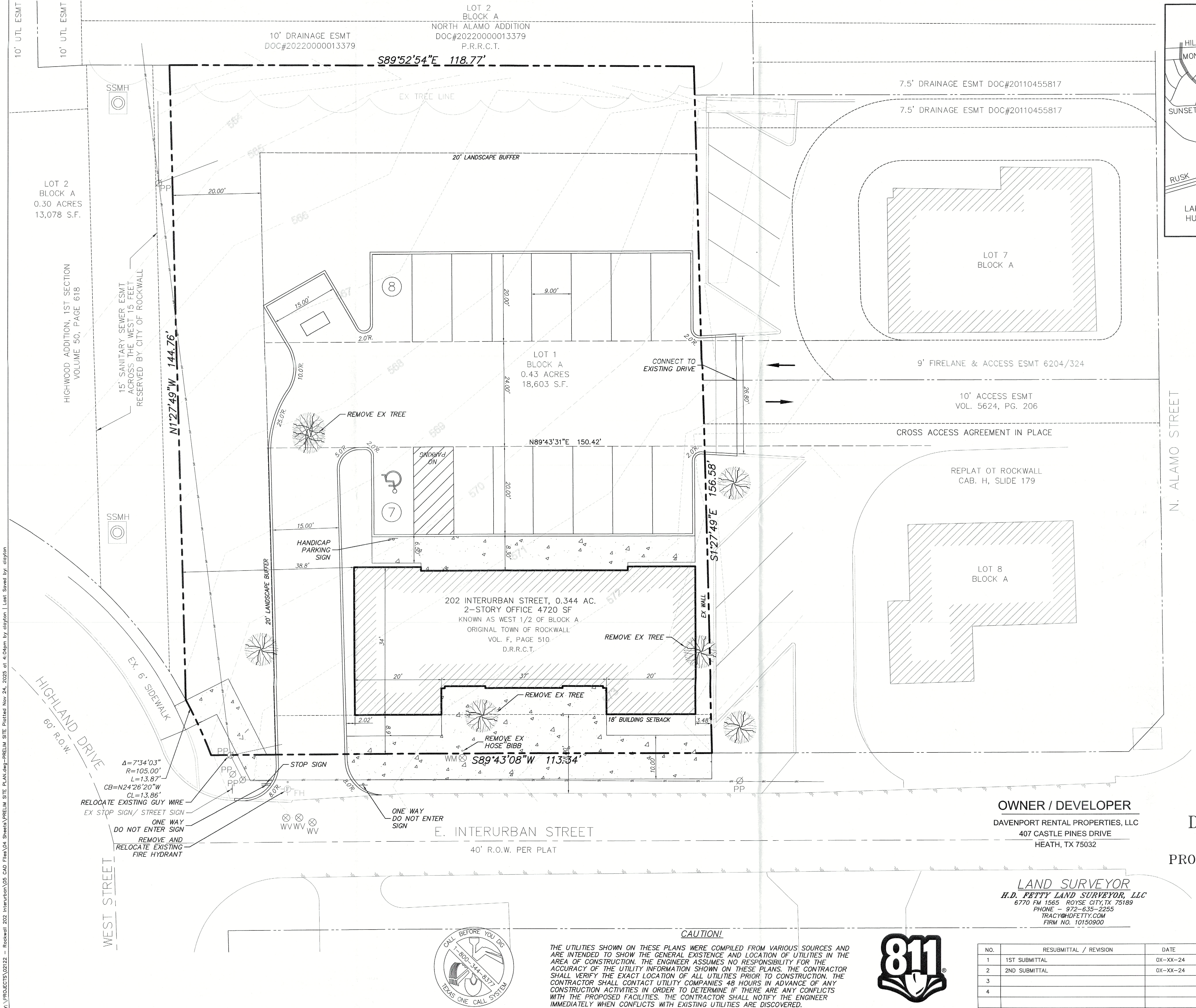


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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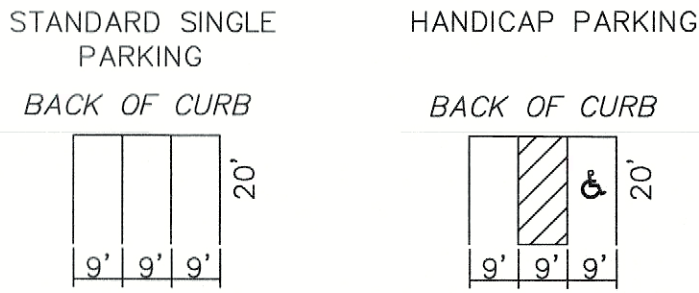


SITE DATA TABLE	
ZONING:	DT : DOWNTOWN DISTRICT
CURRENT USE:	NONE
PROPOSED USE:	OFFICE BUILDING
LOT AREA:	14,933 S.F. - 0.344 AC
BUILDING SQUARE FOOTAGE:	4,720 S.F.
PARKING REQUIRED (1:300)	16
PARKING PROVIDED:	19
HANDICAP PARKING REQUIRED	1

SITES NOTES

1. RETAINING WALLS 3' AND OVER MUST BE ENGINEERED. ALL RETAINING WALLS MUST BE ROCK OR STONE FACE. NO SMOOTH CONCRETE WALLS.
2. MAXIMUM 4:1 SLOPE FOR GRADES.
3. DOWNTOWN DISTRICT - 18' FRONT BUILD-TO LINE 10' PEDESTRIAN WALKWAY MINIMUM OF 2 STORES

PARKING LEGEND



APPROVED BY:

Planning & Zoning Chairman Date

Director of Planning Date

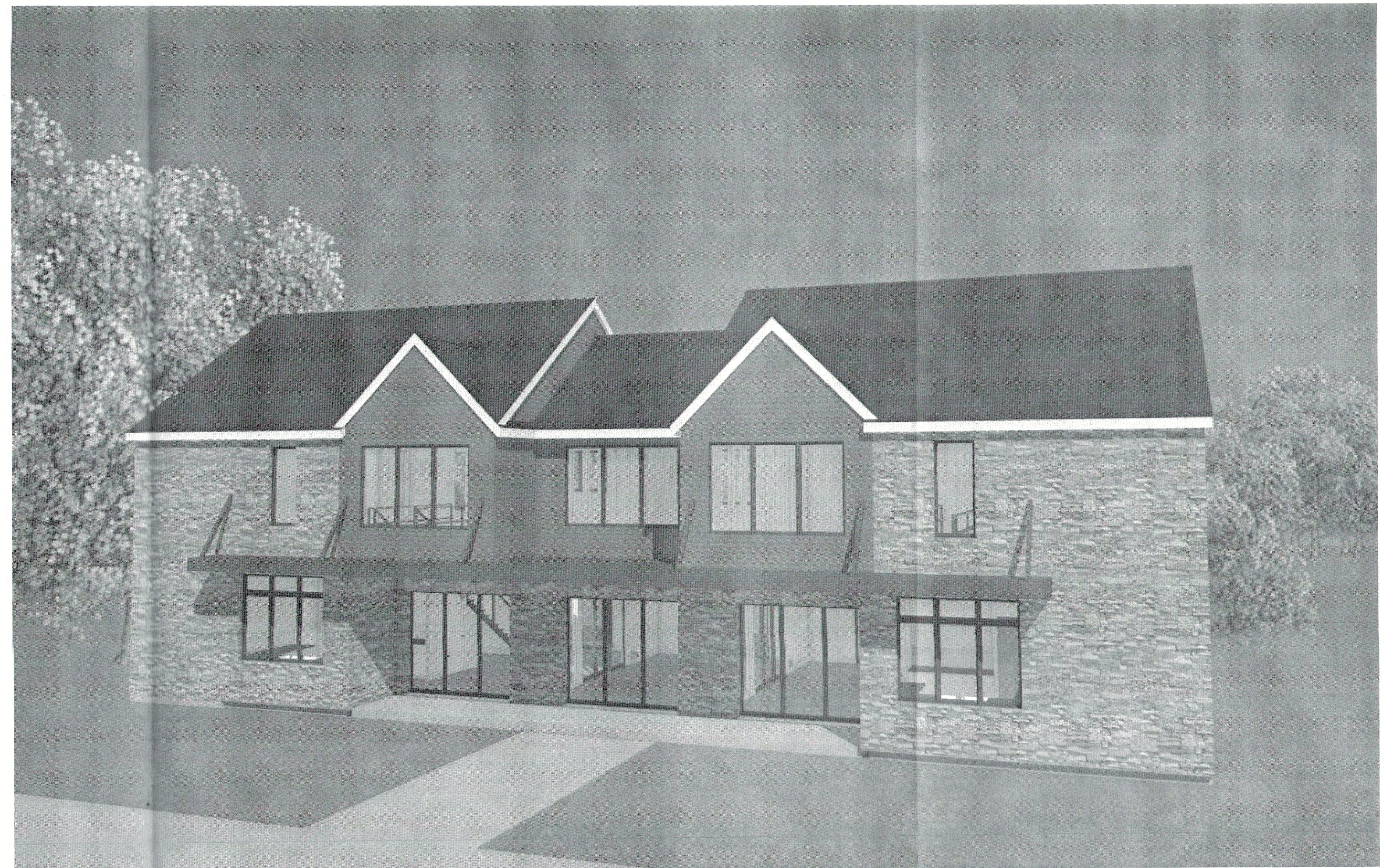
PRELIMINARY SITE PLAN
DAVENPORT RENTAL PROPERTIES
202 INTERURBAN STREET
PROPOSED LOT 1 BLOCK A DAVENPORT ADDITION
0.344 ACRES 14,933 SF
PART OF THE
B F BOYDSTUN SURVEY, ABSTRACT NO. 14,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER / DEVELOPER
DAVENPORT RENTAL PROPERTIES, LLC
407 CASTLE PINES DRIVE
HEATH, TX 75032

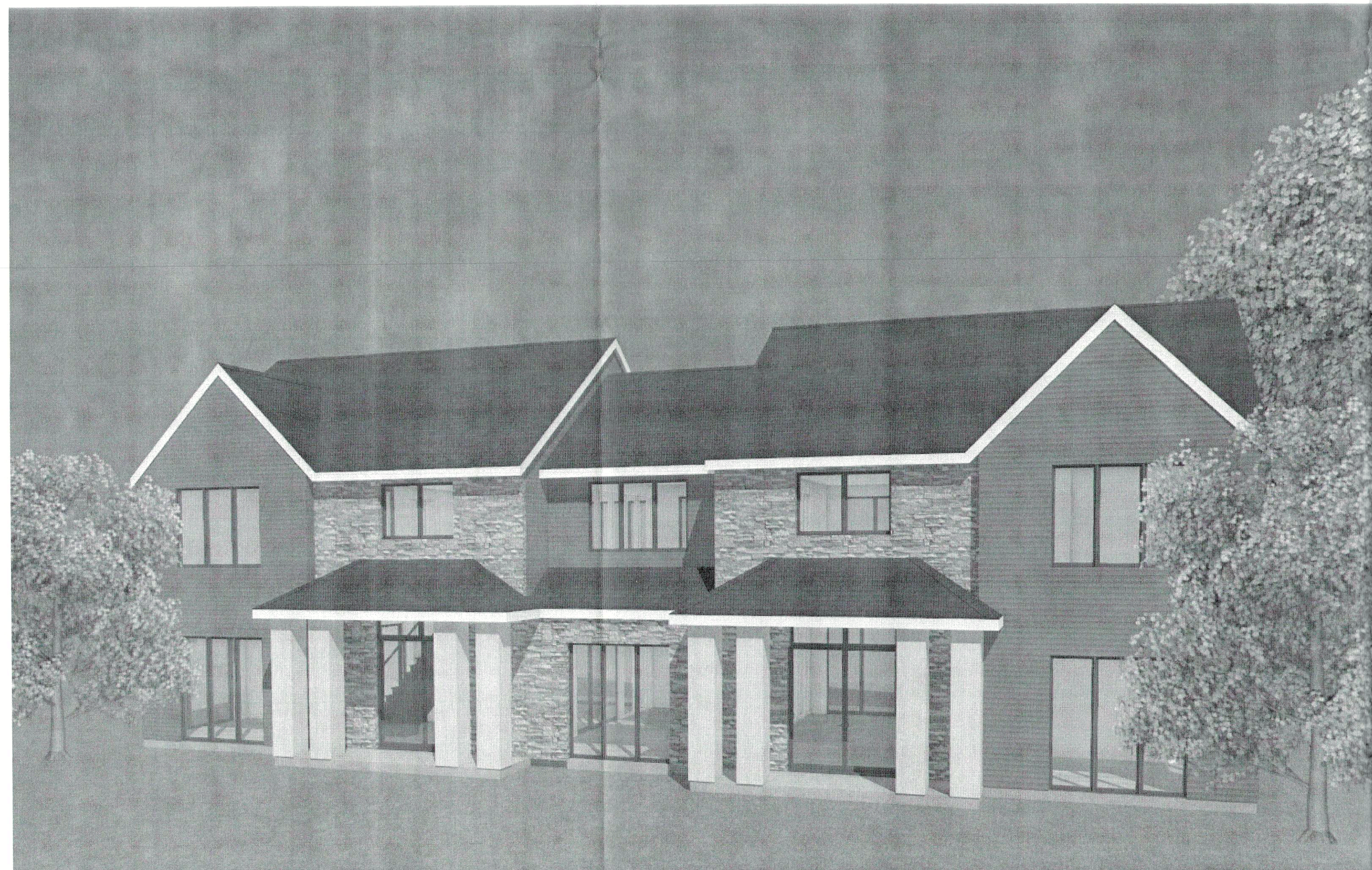
LAND SURVEYOR
H.D. FETTY LAND SURVEYOR, LLC
6770 FM 1565 ROYSE CITY, TX 75189
PHONE - 972-635-2255
TRACY@HDFETTY.COM
FIRM NO. 10150900

NO.	RESUBMITTAL / REVISION	DATE
1	1ST SUBMITTAL	0X-XX-24
2	2ND SUBMITTAL	0X-XX-24
3		
4		

PETITT-ECO
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLLIE, TEXAS 75098
(972) 941-8400 FAX (972) 941-8401
NOVEMBER 24, 2025 CITY FILE # X



STREET SIDE



PARKING LOT SIDE (clients entry)



LAURA LOWE DESIGN
 custom home design
 since 1981
 972-462-9300

BEYOND BLUEPRINTS
 by
 CLIFF LEWIS

DAVENPORT
 RENTAL PROPERTIES, LLC
 202 INTERURBAN STREET.
 VERSION 5

DATE:

8-31-24

SCALE:

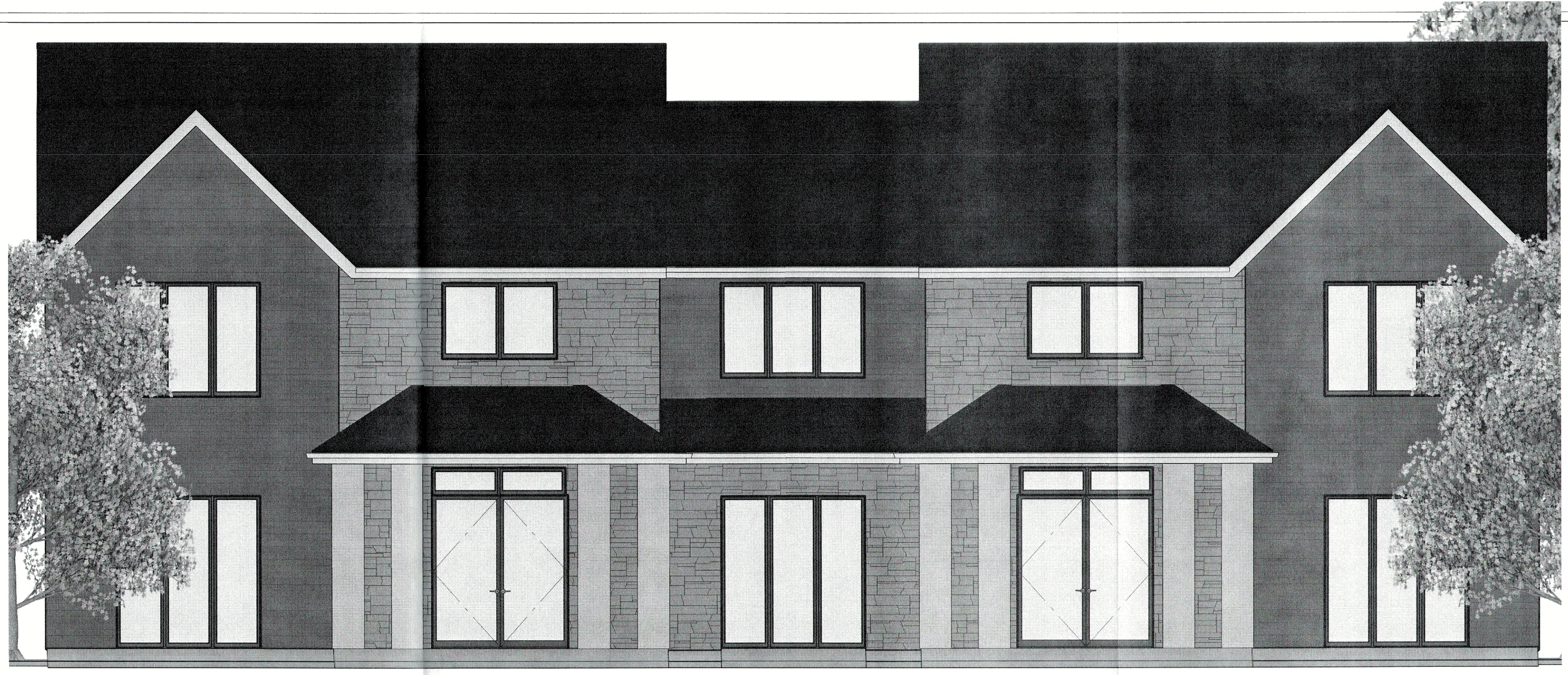
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SHEET:

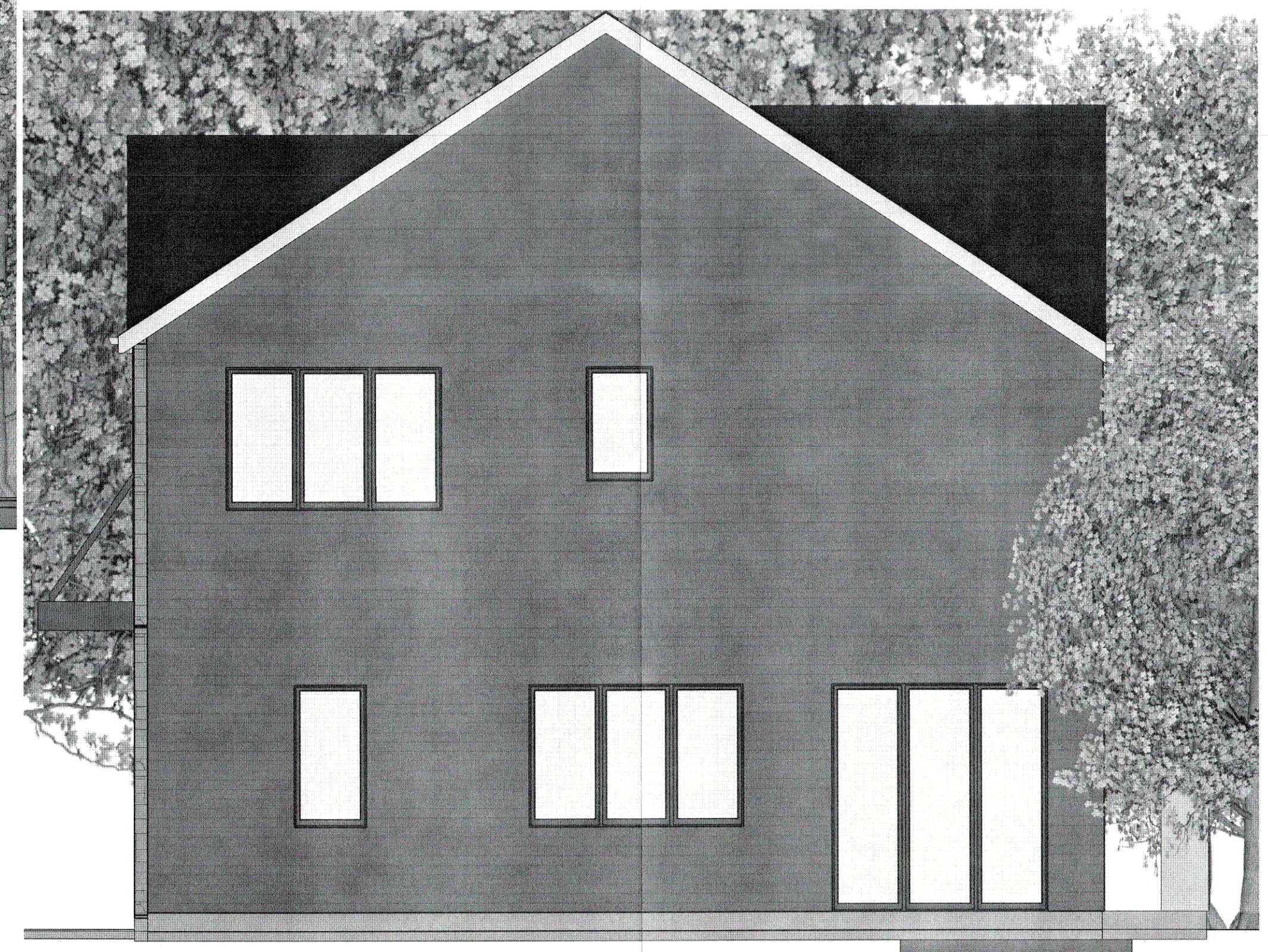
1



STREET (FRONT) ELEVATION



PARKING LOT (REAR) ELEVATION



LEFT AND RIGHT ELEVATIONS



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custom home design
since 1981
972-462-9300

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VERSION 5

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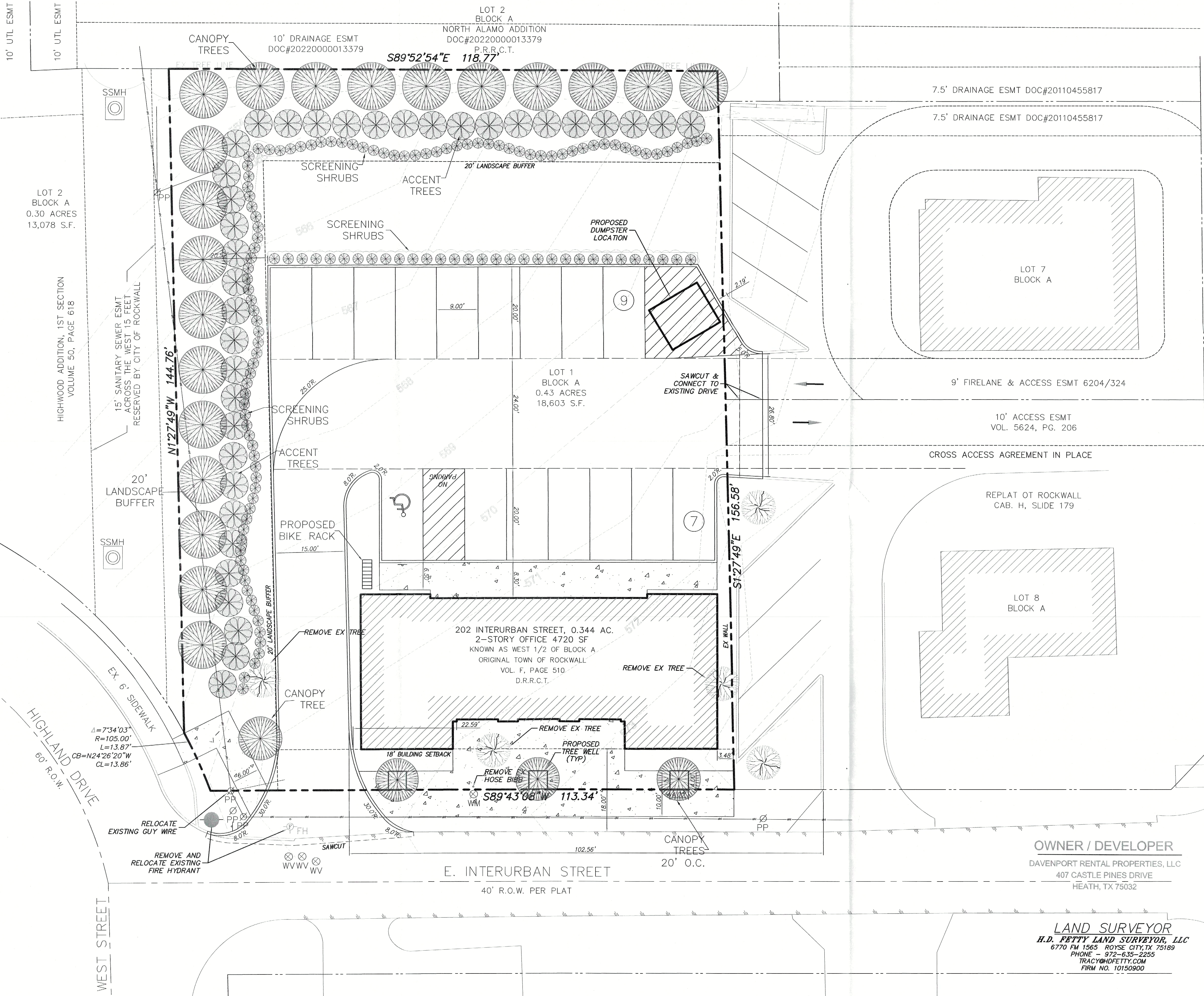
8-31-24

SCALE:

1/4"=1'0"




SHEET:

3

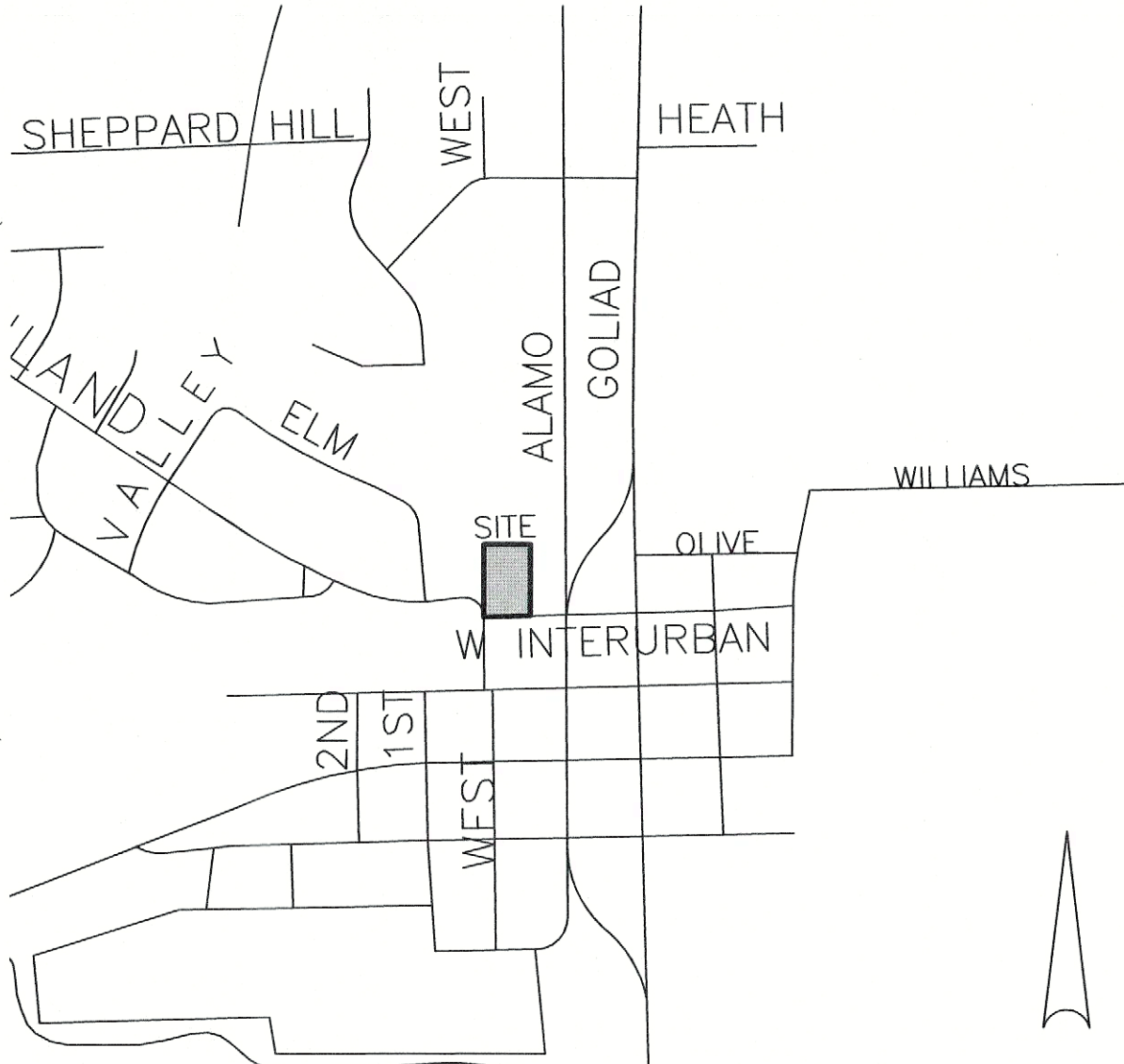


SITE DATA TABLE	
SITE AREA	0.344 ACRES (14,933 S.F.)
ZONING	DT: DOWNTOWN DISTRICT
PROPOSED USE	OFFICE
BUILDING AREA:	4,720 S.F.
LOT COVERAGE (GROSS AREA)	32%
FLOOR TO AREA RATIO	0.32: 1
BUILDING HEIGHT MAX.	30'-0"
PARKING (1:300)	
STANDARD	15 SPACES
HANDICAP	1 SPACE
TOTAL PROVIDED	16 SPACES

LANDSCAPE TABULATION	
NET AREA	0.344 ACRES (14,933 S.F.)
REQUIRED LANDSCAPE AREA-- 20% OF 14,933 S.F.	2,986 S.F.
PROVIDED LANDSCAPE AREA-- 33% OF 14,933 S.F.	4,892 S.F.
IMPERVIOUS COVERAGE-- 67% OF 14,933 S.F.	10,041 S.F.
NOTES:	
- Irrigation shall be provided to all landscaped areas.	
- Tree mitigation for this project for existing trees on this property.	
- All perimeter parking are within 50'-0" of a shade tree.	
- No trees within 5' of public utilities less than 10".	
- No trees within 10' of public utilities 10" or greater	

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	LACE BARK ELM CANOPY TREE
	
	ROSE CREEK ABELIA 5 GALLON @ INSTALLATION SHRUBS

- NOTE: THE IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC), (Subsection 05.04, of Article 08)
- GENERAL NOTES:
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
 - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
 - OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
 - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
 - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED
 - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
 - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDING AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
 - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
 - ALL PARKING SPACES ARE WITHIN 80' OF A TREE
 - ALL LANDSCAPE SHALL BE PROVIDED W/ PHASE 1 CONSTRUCTION



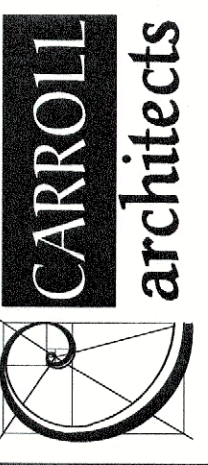
ISSUE: 10-7-2025

OWNER REVIEW: 10-7-2025

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202 INTERURBAN STREET
202 W INTERURBAN ST.,
ROCKWALL, TX 75087

LANDSCAPE



750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

LANDSCAPE PLAN

DATE: OCT 2025

PROJECT NO: 2025062

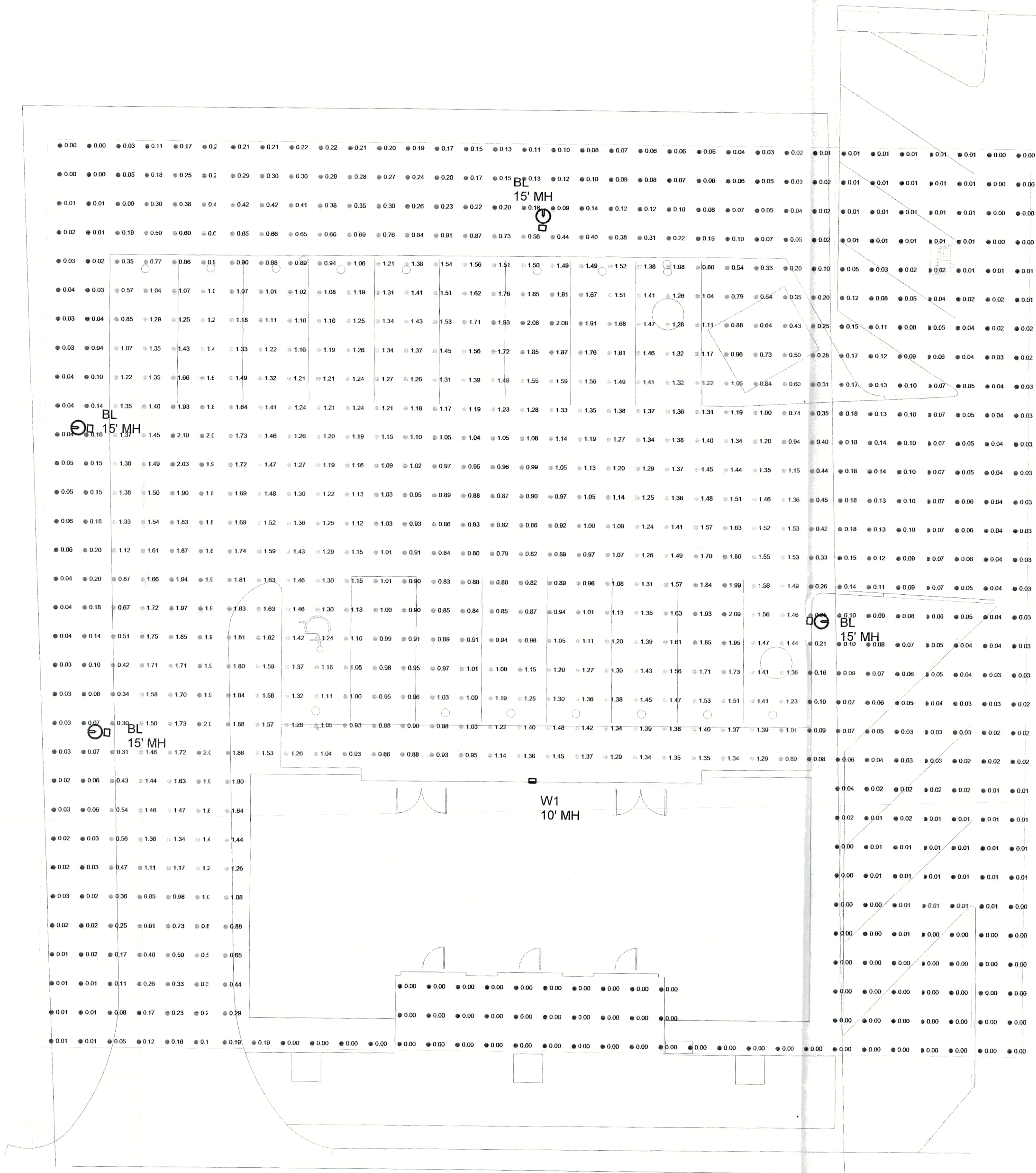
DRAWN BY: SV

CHECKED BY:

LP-1

E - LIGHTING FIXTURE SCHEDULE

TAG	MOU NTIN G	VOLTAGE	LOAD	MAKE	DESCRIPTION	MODEL
BL	POLE	120 or 277	34 VA	Lithonia	D-series Size 0 LED Area Luminaire. Fixture to have 20 LEDs 1 engine, 4000K color temperature, BLC4 distribution, and multi-voltage compatible driver.	DSX0 LED P1 40K 70 CRI BLC4 EGSR - - DM19AS 15' POLE
W1	WALL	120 or 277	7 VA	Lithonia	Lithonia WDGE2 Wall Pack. Fixture to have 650 nominal lumens, 3500K color temperature, full cutoff.	WDGE2 P0 35K 80CRI TFTM MVOLT SRM - DDBXD



1 Photometric Plan - Site
1" = 10'-0"



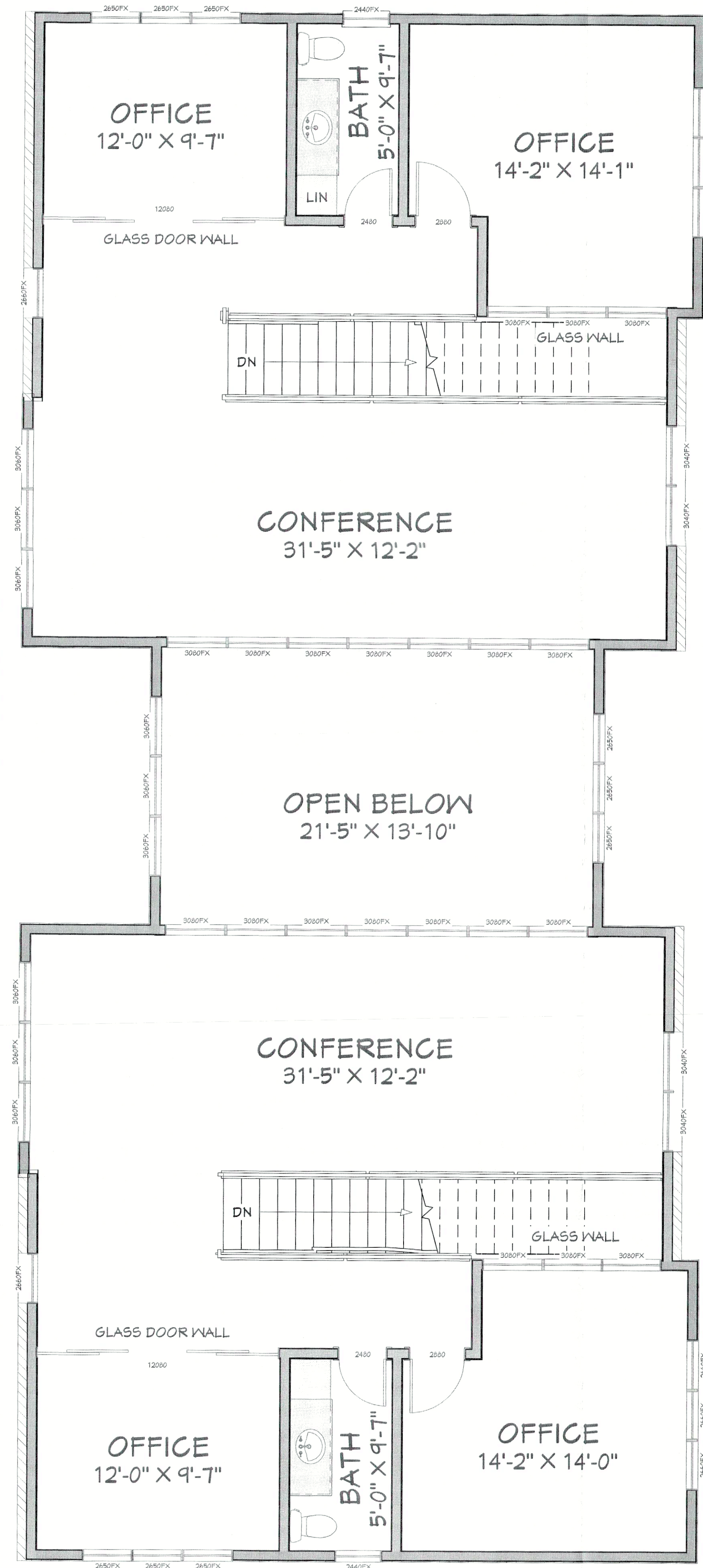
CLIENT
CLIFF LEWIS BUILDERS

PROJECT
202 INTERURBAN
202 INTERURBAN STREET
ROCKWALL, TX 75087

972-948-9396

DRAWING REVISION		
NO.	DESCRIPTION	DATE
--	FOR REVIEW	11/7/2025
The professional seal affixed to this sheet indicates that the named professional has prepared or directed the preparation of the material shown only on this sheet. Other drawings and documents not exhibiting this seal shall not be considered prepared by or the responsibility of the undersigned.		
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Drawing Title		
Photometric Plan - Site		
Drawing No.		
PM100		
Scale	1" = 10'-0"	
Drawn By	Check By	
Issue Date	Job No.	

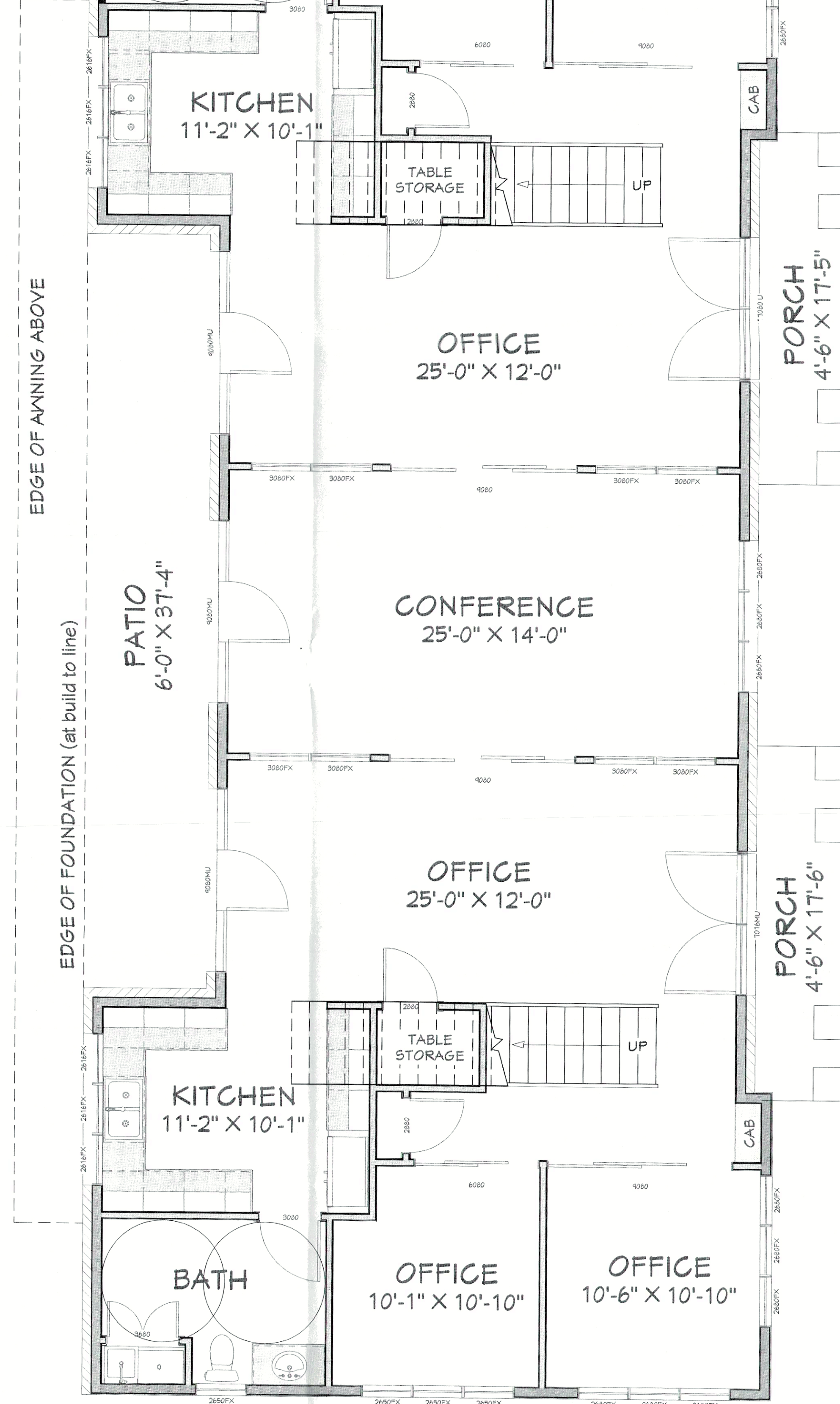
STREET SIDE OF BUILDING



SECOND FLOOR

STREET SIDE OF BUILDING

STREET SIDE OF BUILDING



FIRST FLOOR

PARKING LOT SIDE OF BUILDING

FOOTAGES

OFFICE ONE

first floor	990
1/2 confer	195
second floor	980
a/c footage	2165

porch	85
1/2 patio	110

total footage	2360
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OFFICE TWO

first floor	990
1/2 confer	195
second floor	980
a/c footage	2165

porch	85
1/2 patio	110

total footage	2360
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building footage	4720
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slab	2740
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there is an additional 320 square feet available if conference room is not 2 stories tall. Could be added to either suite.



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