



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1575 TECHNOLOGY WAY, ROCKWALL TX 75032

SUBDIVISION NOLAN POWER BUILDING

LOT 1 BLOCK C

GENERAL LOCATION NW CORNER OF TECHNOLOGY WAY AND OBSERVATION TRAIL

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LI - LIGHT INDUSTRIAL

CURRENT USE WAREHOUSE

PROPOSED ZONING LI - LIGHT INDUSTRIAL

PROPOSED USE WAREHOUSE

ACREAGE 2.11

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER SS REALTY, LTD

☒ APPLICANT TRIANGLE ENGINEERING, LLC

CONTACT PERSON ~~WILLIAM B SHAW~~ Spencer Shaw

CONTACT PERSON ELLIOTT BOGART

ADDRESS

NOTARY VERIFICATION [REQUIRED]

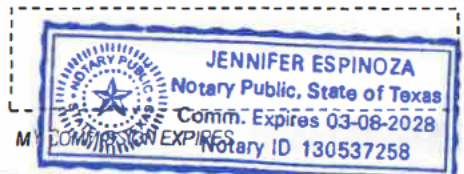
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Spencer Shaw [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 310.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS 12th DAY OF December, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS TH 12th DAY OF December, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 25 50 100 150 200 Feet

SP2025-044: Amended Site Plan for an Expansion
of an Existing Warehouse/ Manufacturing Facility
at 1575 Technology Way



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



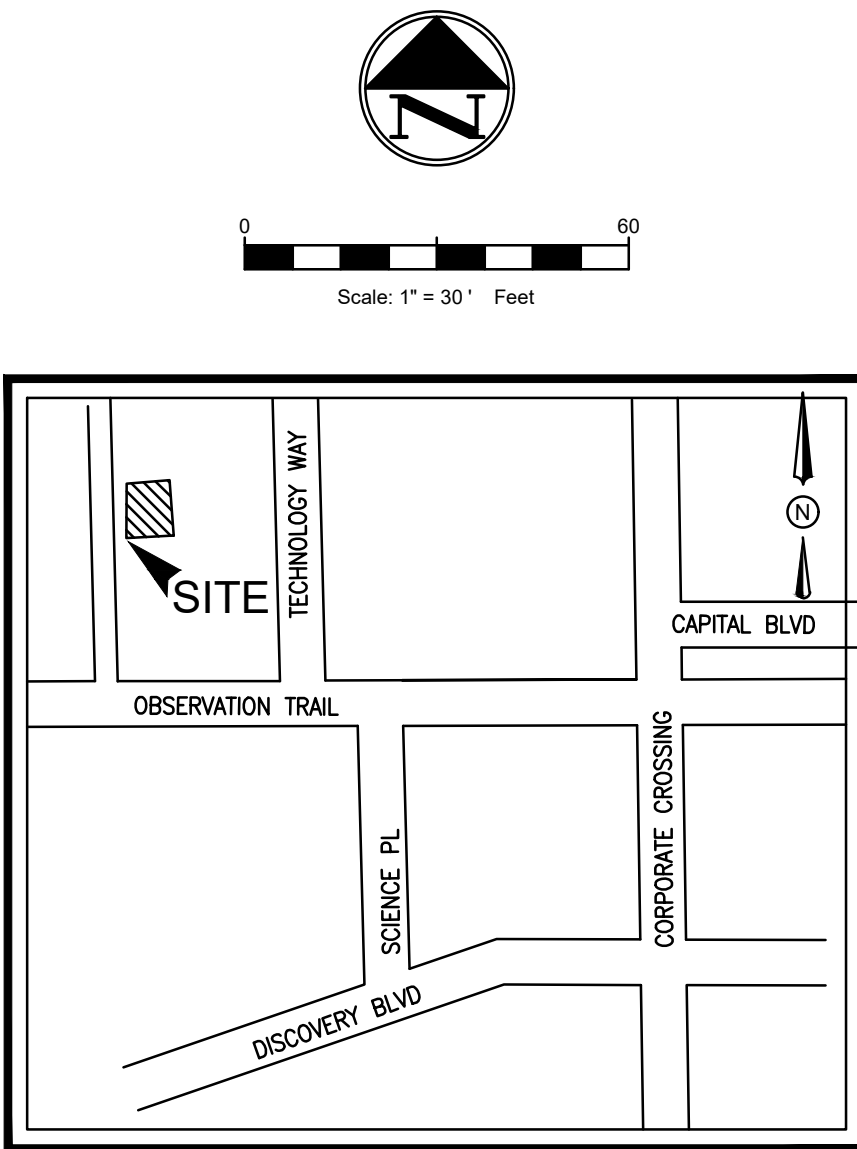
BOUNDARY LINE TABLE		
LINE #	DISTANCE	BEARING
L1	402.34'	N00°47'55"W
L2	229.25'	N89°30'15"E
L3	380.65'	S00°47'33"E
L4	28.99'	S44°12'27"W
L5	208.70'	S89°12'27"W

FLOOD PLAIN NOTE

ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY OANEL NO. 48397C0045L, DATED SEPTEMBER 26, 2008 BY GRAPHIC PLOTTING ONLY, THIS PROPERTY APPEARS TO BE WITHIN ZONE "X". (AREAS DETERMINED TO BE (INSIDE/OUTSIDE) THE (0.2% OR 1%) ANNUAL FLOODPLAIN. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR ITS STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

EASEMENT/SETBACK LEGEND	
BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

EXISTING LEGEND		
● 1/2" IR FOUND	○-○ IRRIGATION VALVE	▨ NO PARKING
● 1/2" IR SET	○-○ WATER VALVE	▨ CONCRETE
● 5/8" IR FOUND	○-○ FIRE HYDRANT	▨ GRAVEL
● 3/8" IR FOUND	○-○ UTILITY POLE	▨ BRICK
● 60-D NAIL FOUND	○-○ WATER METER	▨ STONE
● PK NAIL SET	○-○ GAS METER	▨ WOOD DECK
● 1/2" IP FOUND	○-○ A.C. PAD	▨ BUILDING WALL
● X-FOUND	○-○ TRANS. BOX	▨ TILE
● X-SET	○-○ GAS MARKER	▨ BUILDING LINE
● 1" IR FOUND	○-○ OVERHEAD UTILITY LINE	▨ EASEMENT
● 1" IP FOUND	○-○ GUY WIRE ANCHOR	▨ BOUNDARY
● POINT FOR CORNER	○-○ BARBED WIRE FENCE	▨ HIGHBANK LINE
■ CON. MONUMENT	○-○ IRON FENCE	▨ PARKING STRIPE
■ 3/4" IP FOUND	○-○ CHAINLINK FENCE	▨ HANDICAP SPACE
■ TELE. BOX	○-○ WOOD FENCE	
■ CABLE BOX	○-○ PIPE RAIL FENCE	
■ ELECTRIC BOX	○-○ COVERED AREA	
■ BRICK COLUMN	○-○ ASPHALT	
■ STONE COLUMN	○-○ FIRE LANE STRIPE	
○ STORM DRAIN MH.	○-○ BRICK RET. WALL	
○ SAN. SEW. CO.	○-○ STONE RET. WALL	
○ BOLLARD POST	○-○ CON. RET. WALL	
○ LIGHT POLE		
○ SAN. SEW. MH.		



VICINITY MAP
N.T.S.

SITE DATA SUMMARY TABLE	
SITE ACREAGE:	2.11 ACRES (91,878.41 S.F.)
ZONING:	LIGHT INDUSTRIAL (LI)
PROPOSED USE:	WAREHOUSE ADDITION
BUILDING AREA:	26,100 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	28'
BUILDING COVERAGE:	28.41%
FLOOR AREA RATIO:	0.28
IMPERVIOUS AREA:	62,295.74 S.F. (67.80%)
PERVIOUS/LANDSCAPE AREA:	29,582.67 S.F. (32.20%)
TOTAL PARKING REQUIRED 1 SP PER 1000 S.F.	27 SPACES
REGULAR PARKING PROVIDED:	27 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	29 SPACES

SITE GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
- THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
- WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERETO.
- THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
- ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING.
- THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
- ALL CURB RADIUS TO BE 10' OR 2' UNLESS OTHERWISE NOTED ON THE SITE PLAN.
- AREA UNDER DUMPSTER SHALL DRAIN TO THE PROPOSED OIL SEPARATER.

SITE LEGEND	
CONCRETE CURB	▬
SAW-CUT LINE	▬
FENCE	X X
FIRE LANE	▬
STRIPING	▨
PARKING SPACES	X
MONUMENT/PYLON SIGN	■
WHEEL STOPS	■
HANDICAP LOGO	♿
HANDICAP SIGN	♿
RAMP	▬
BOLLARD	●
TRAFFIC ARROW	➔
FIRE HYDRANT	●
DUMPSTER	■
SANITARY SEWER MANHOLE	○
SANITARY SEWER CLEANOUT	○
SANITARY SEWER DOUBLE CLEANOUT	○
SANITARY SEWER SAMPLE PORT	○
GREASE TRAP	○
DOMESTIC WATER METER	○
IRRIGATION METER	○
GAS METER	○
TRANSFORMER	■
LIGHT POLE	■
POWER POLE	■

"ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUME NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN"

TABLE 1: PAVEMENT DESIGN THICKNESS

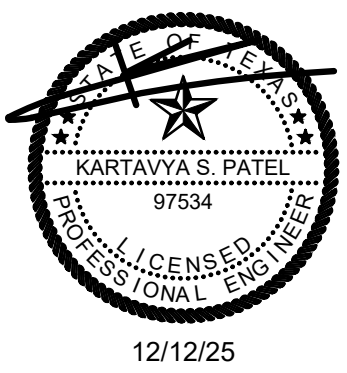
STREET/PAVEMENT TYPE	MINIMUM THICKNESS (INCHES)	STRENGTH 28 DAY (PSI)	STEEL REINFORCEMENT		PAVING MATERIAL
			BAR#	SPACING (OCEW)	
PARKING LOT	6"	3000	#3	18"	CONCRETE (6.5 SACK/C.Y.)
FIRE LANE/DRIVE AISLE	6"	3500	#3	18"	CONCRETE (6.5 SACK/C.Y.)
DUMPSTER PAD	7"	3500	#3	18"	CONCRETE (6.5 SACK/C.Y.)

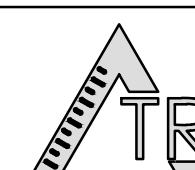
NOTE: PER SOIL REPORT RECOMMENDATIONS LIME STABILIZATIONS CAN BE ELIMINATED BY INCREASING PAVEMENT THICKNESS BY 1"

PROJECT CONTACT LIST	
ENGINEER TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	OWNER/DEVELOPER SS REALTY, LTD 6031 CONNECTION DRIVE, SUITE 600 IRVING, TX 75039 CONTACT: MR. WILLIAM B SHAW PHONE: 214-630-7800
SURVEYOR TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: DAVID MCCULLAH PHONE: 469-784-9321	ARCHITECT FRANZ AECHITECTS 7608 BENBROOK PARKWAY BENBROOK, TEXAS 76126 JASON BEANE PHONE: 817-851-6107





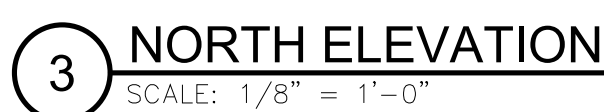
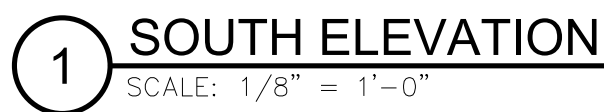
NO.	DATE	DESCRIPTION	BY
1	12/12/25	1st CITY SUBMITTAL	PK
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SITE PLAN					
WAREHOUSE ADDITION					
OBSERVATION TRAIL AND TECHNOLOGY WAY					
CITY OF ROCKWALL					
ROCKWALL COUNTY, TEXAS 75032					
NOLAN POWER BUILDING LOT 1 BLOCK C					
<div></div>					
T: 469.331.8566 F: 469.213.7145 E: info@triangle-engr.com W: triangle-engr.com O: 1782 W. McDermott Drive, Allen, TX 75013					
Planning Civil Engineering Construction Management					
P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	EB	12/12/25	SEE SCALE BAR	162-25	C-3.0
TX. P.E. FIRM #11525					

FINISH LEGEND

STONE PATTERN	TEXTURED PAINT
	



FRANZ
architects

7608 Bertrick Parkway
Bertrick, Texas 76126
(817) 737-9922
www.Franzarchitects.com

STANDARD SUPPLY WAREHOUSE
1575 TECHNOLOGY WAY
ROCKWALL, TX 75032

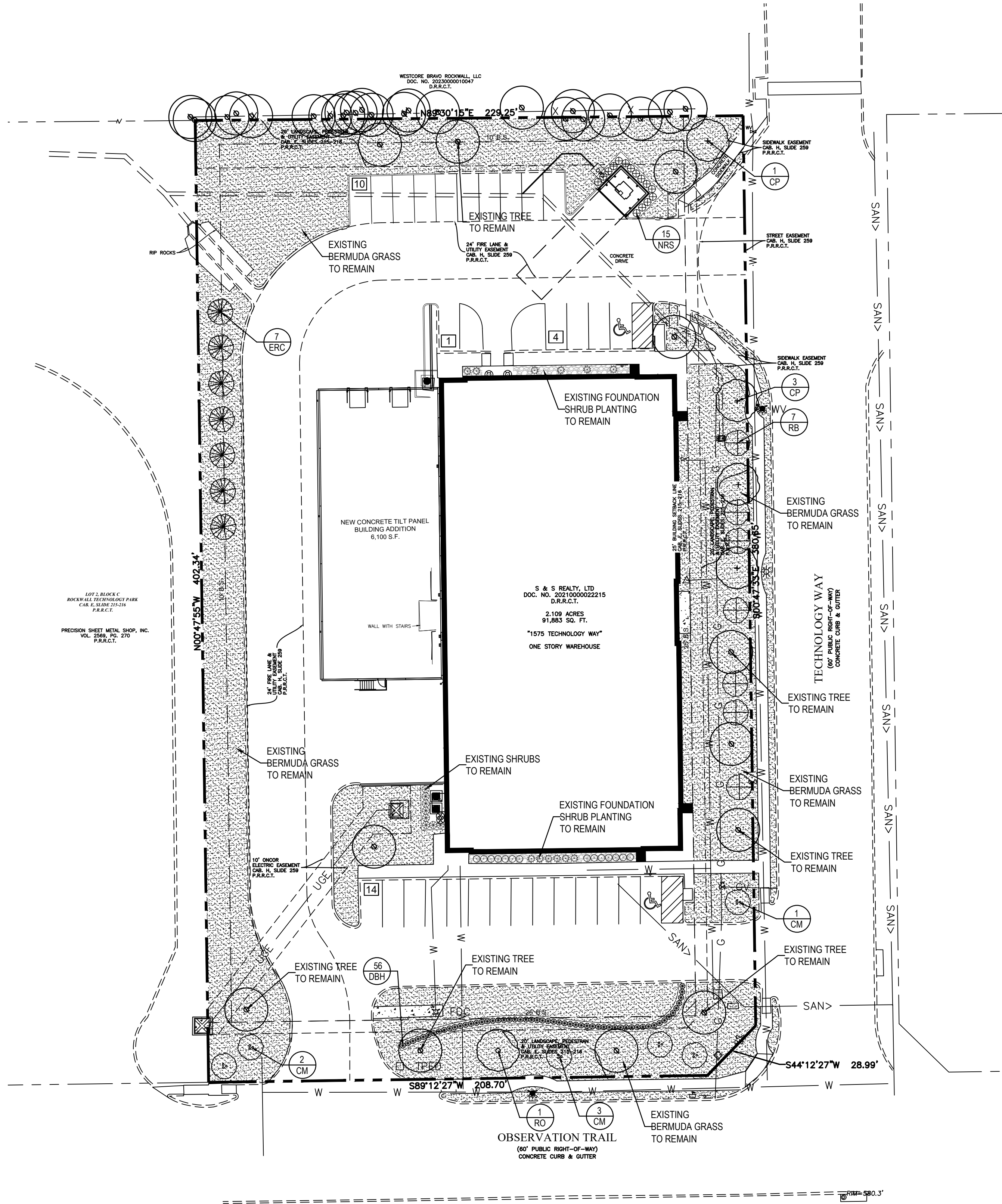
Revisions:

File Name: 25233-A2.0
Project No: 25233
Date: 12/08/2025
Drawn By: JLB
Checked By: TI

SHEET

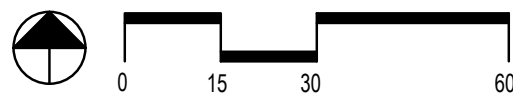
A2.0

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01 LANDSCAPE PLAN

SCALE 1"=30'-0"



EXISTING PLANT LEGEND:

- EXISTING TREE
- EXISTING RED YUCCA
- EXISTING DWARF YAUPON HOLLY
- EXISTING BERMUDA GRASS

PROPOSED PLANT LEGEND:

- CHINESE PISTACHE - 4" CALIPER
- RED OAK - 4" CALIPER
- GRAPE MYRTLE - 4' HEIGHT
- EASTERN RED CEDAR - 4' HEIGHT
- REDBUD - 4' HEIGHT
- DWARF BURFORD HOLLY - 5 GALLON
- NELLIE R. STEVENS HOLLY - 7 GALLON

LANDSCAPE TABULATIONS:

SITE REQUIREMENTS (Total Site Area 91,878.41 S.F.)
Requirements: A minimum 15% of the site area to be landscaped.

Required 13,782 S.F. (15%) Provided 28,884 S.F. (35%)

FRONT YARD REQUIREMENTS
Requirements: A minimum 50% of required landscape must be located in front yard.

Required 6,891 S.F. (50%) Provided 16,093 S.F. (117%)

STREET REQUIREMENTS
Requirements: A minimum (1) canopy tree (4" cal) and (1) accent tree (4' ht.) per 50 L.F. of frontage.

OBSERVATION TRAIL (224 L.F.)

Required (5) Canopy trees (5) Accent trees Provided (4) Existing Canopy Trees & (1) Proposed Canopy Tree (5) Proposed Accent Trees

TECHNOLOGY WAY (395 L.F.)

Required (8) Canopy Trees (8) Accent Trees Provided (4) Existing Canopy Trees & (4) Proposed Canopy Trees (8) Proposed Accent Trees

PARKING LOT REQUIREMENTS (29 Spaces)
Requirements: A minimum (1) canopy tree (4" cal.) per 20 parking spaces.

Required (2) Canopy Trees Provided (2) Existing Canopy Trees
ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM THAT MEETS THE REQUIREMENTS OF THE TCEQ AND THE CITY OF ROCKWALL UGS

PLANT MATERIAL SCHEDULE

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CP	4	Chinese Pistache	<i>Pistacia chinensis</i>	4" cal.	container, 12" ht., 5' spread, 6" clear straight trunk
RO	1	Red Oak	<i>Quercus rubra</i>	4" cal.	container, 12" ht., 5' spread, 6" clear straight trunk
CM	6	Crape Myrtle	<i>Lagerstroemia indica</i>	4" ht.	container, 4" ht., 3' spread, 3 or 5 canes, tree form
ERC	7	Eastern Red Cedar	<i>Juniperus virginiana</i>	4" ht.	container, 4" ht., 3' spread, full to base
RB	7	Redbud	<i>Cercis canadensis</i>	4" ht.	container, 4" ht., 3' spread, single straight trunk

SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DBH	56	Dwarf Burford Holly	<i>Ilex cornuta</i>	5 gal.	container, 24" ht., 20" spread
NRS	15	Nellie R. Stevens	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	container, 36" ht., 30" spread

GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	<i>Cynodon dactylon</i> '419'		solid sod refer to notes

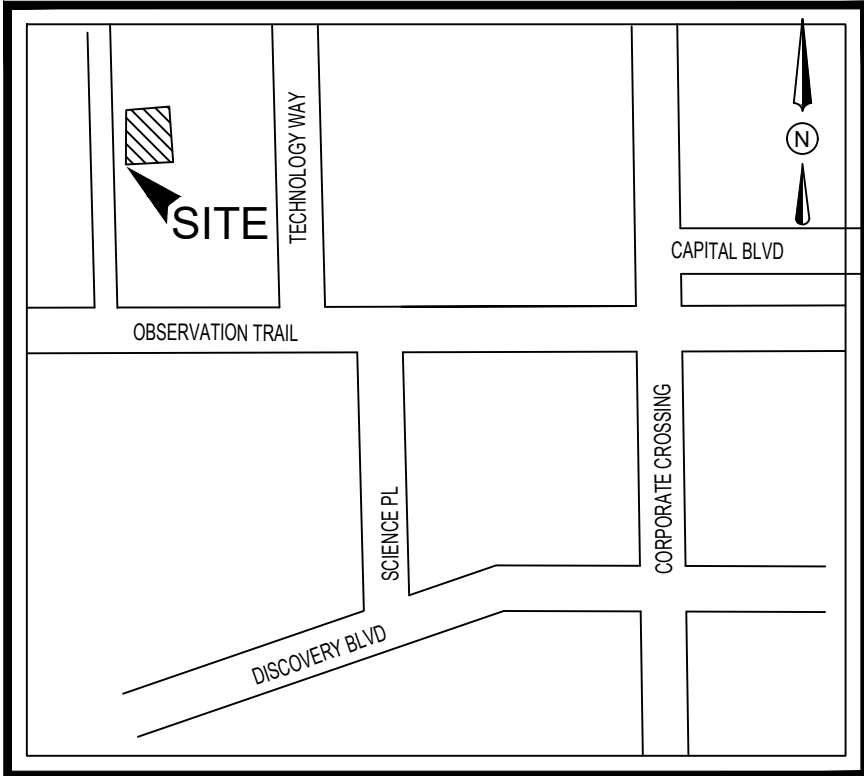
NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

SITE DATA SUMMARY TABLE

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PROJECT CONTACT LIST

ENGINEER	OWNER/DEVELOPER
TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-5558	SS REALTY, LTD 6031 CONNECTION DRIVE, SUITE 600 IRVING, TX 75039 CONTACT: MR. WILLIAM B SHAW PHONE: 214-630-7800
SURVEYOR	ARCHITECT
TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: DAVID MCCULLAH PHONE: 469-784-8321	FRANZ ARCHITECTS 7608 BENBROOK PARKWAY BENBROOK, TEXAS 76126 JASON BEANE PHONE: 817-851-6107



VICINITY MAP

N.T.S.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

GENERAL LAWN NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

SOLID SOD NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, THIS _____ day of _____, _____

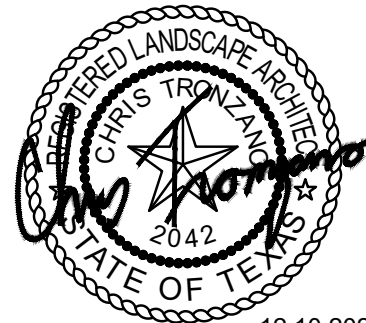
Planning & Zoning Commission, Chairman

Director of Planning and Zoning



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448

CHRIS@STUDIOGREENSPOT.COM



12.10.2025

WAREHOUSE ADDITION

OBSERVATION TRAIL AND TECHNOLOGY WAY
CITY OF ROCKWALL, TEXAS 75032
NOLAN POWER BUILDING LOT 1 BLOCK C

ISSUE:

FOR APPROVAL: 12.10.2025

DATE:

12.10.2025

SHEET NAME:

LANDSCAPE PLAN

SHEET NUMBER:

L.2

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs, and grass)
- Bed preparation and fertilization
- Notification of sources
- Water and Maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1990, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material.
- American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- Texas Association of Nurserymen, Grades and Standards.
- Horis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- Product Data: Submit complete product data and specifications on all other specified materials.
- Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
- Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- All planting areas shall be conditioned as follows:
 - Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- Grass Areas:
 - Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 - Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

- Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- Position the trees and shrubs in their intended location as per plan.
- Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

3.3 CLEANUP AND ACCEPTANCE

- Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

JOB CONDITIONS

- General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- Maintenance:
 - The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 - After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- Guarantee:
 - Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

1.7 QUALITY ASSURANCE

- General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- Selection of Plant Material:

- Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
- Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
- Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
- Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
- Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

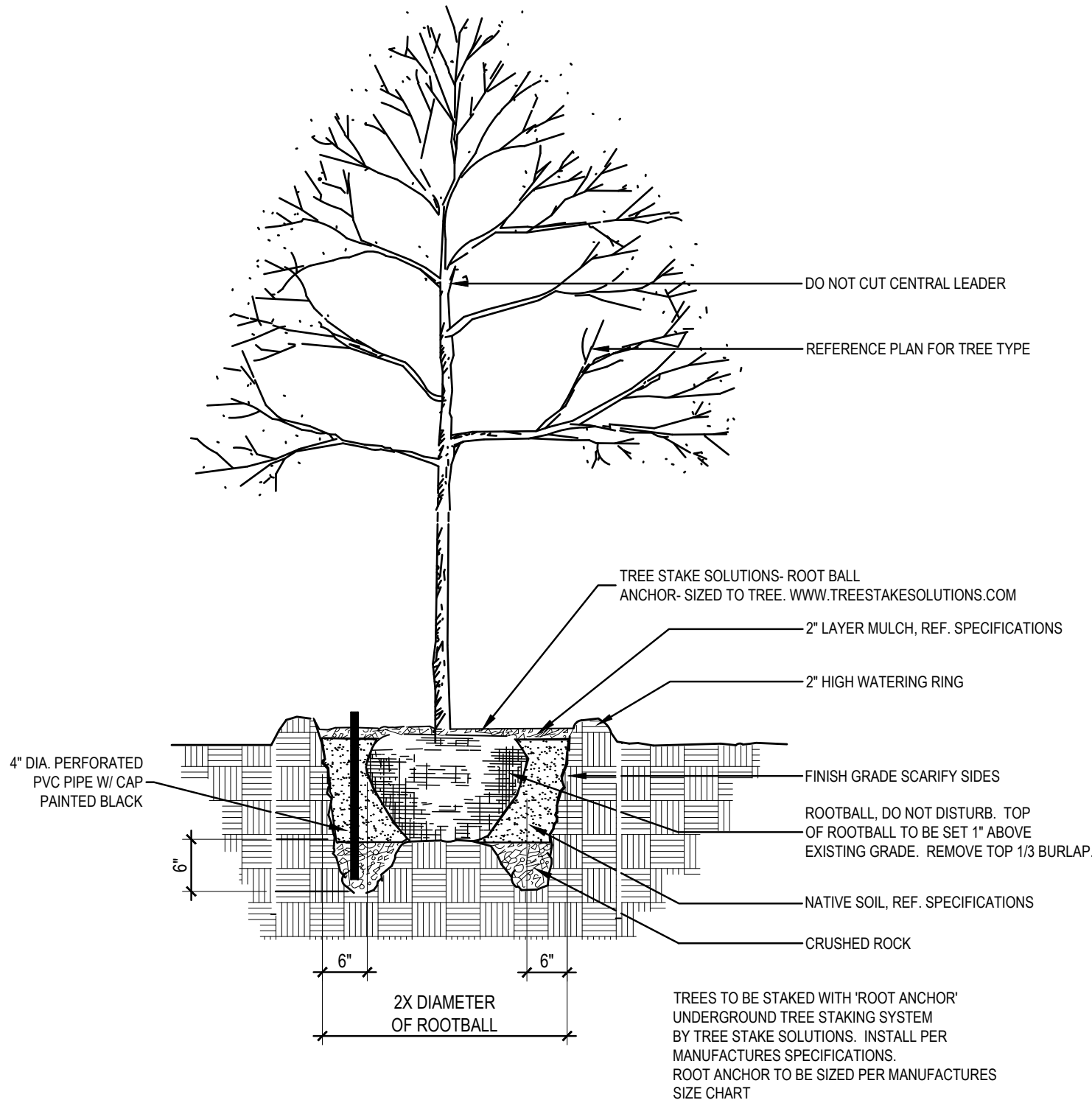
- Preparation:
 - Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

2.2 SOIL PREPARATION MATERIALS

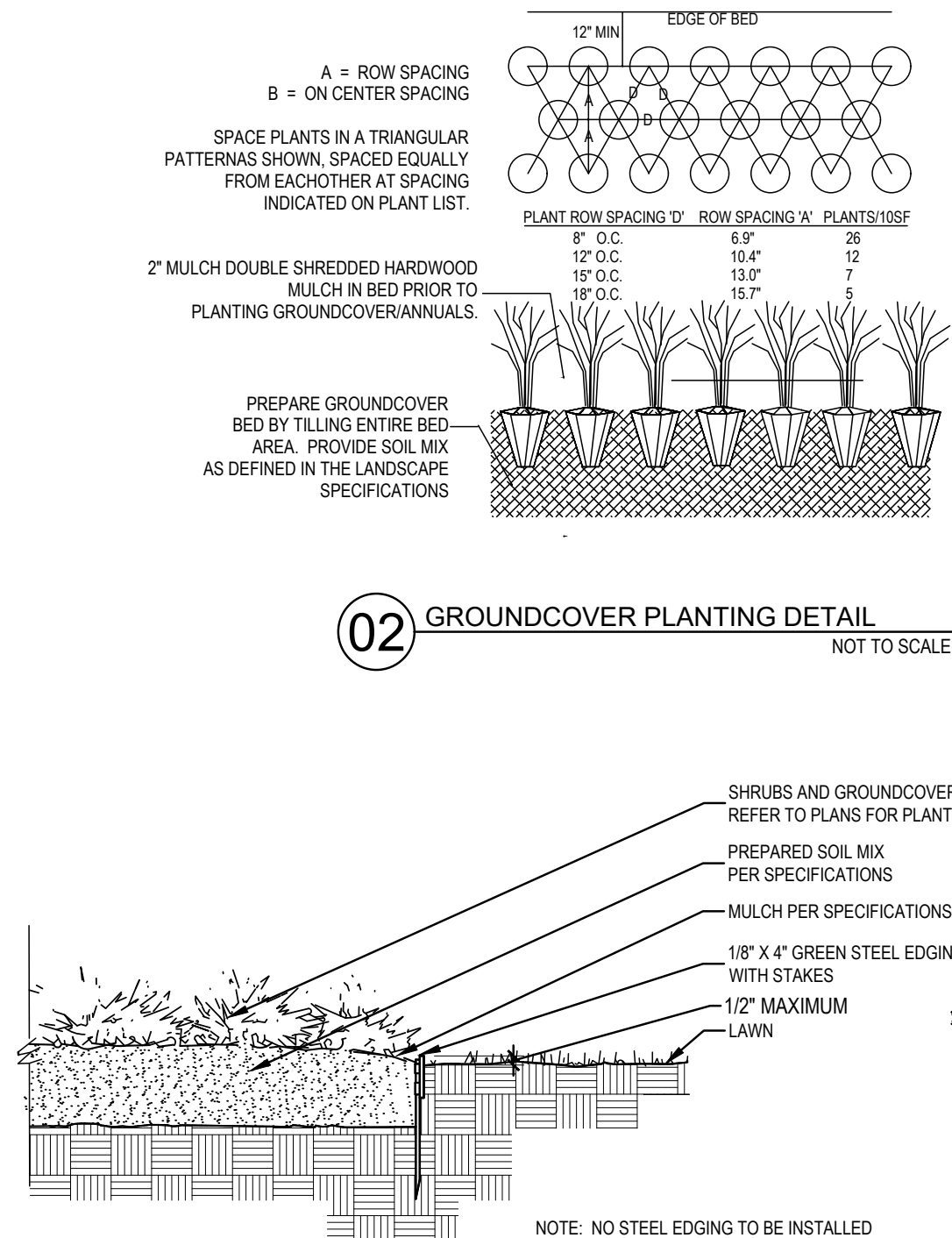
- Sandy Loam:
 - Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 - Physical properties as follows:
 - Clay – between 7-27 percent
 - Silt – between 15-25 percent
 - Sand – less than 52 percent
 - Organic matter shall be 3%-10% of total dry weight.
 - If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
- Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

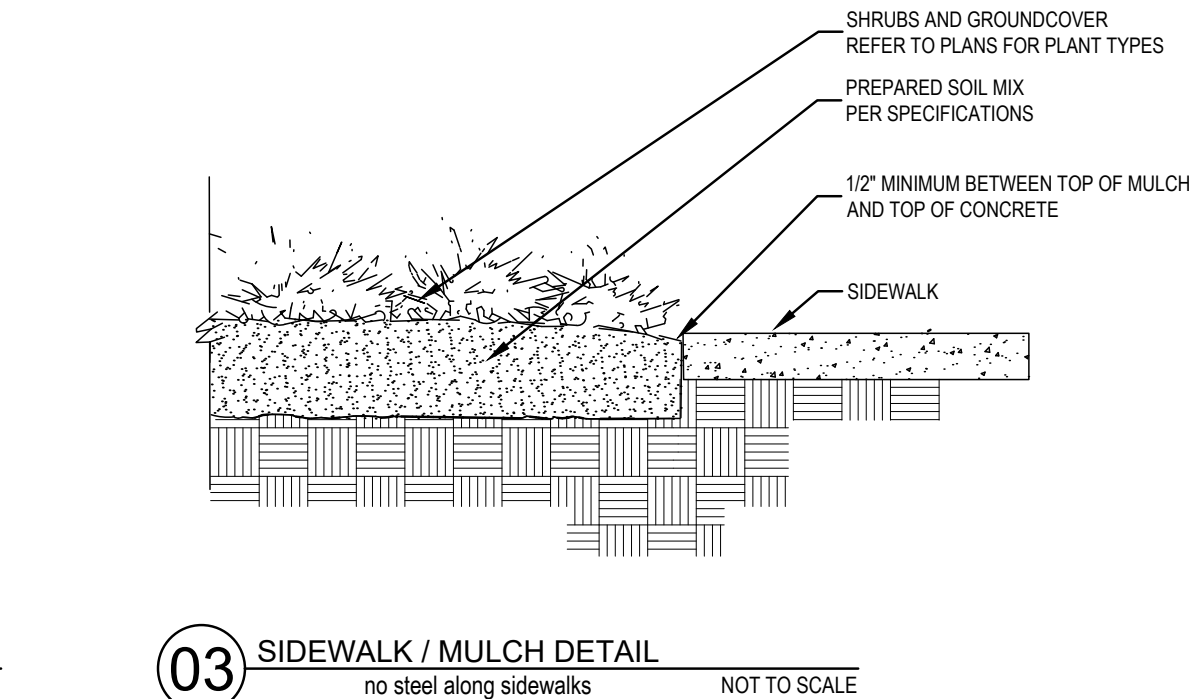
- Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4" on center.
- Staking Material for Shade Trees:
 - Post: Studded T-Post, #1 Armo-co with anchor plate, 6'-0" length; paint green.
 - Wire: 12 gauge, single strand, galvanized wire.
 - Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.



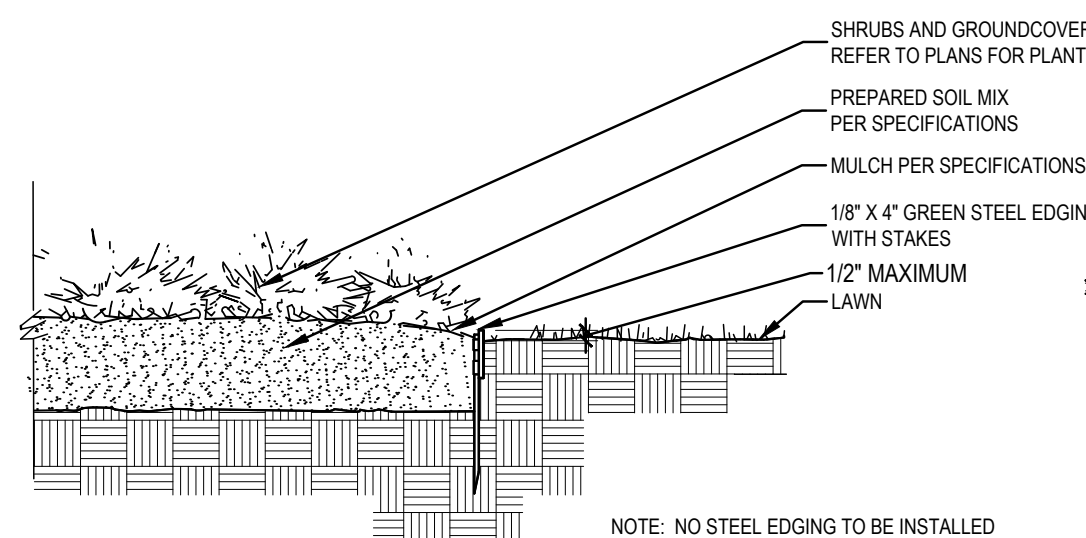
01 TREE PLANTING DETAIL NOT TO SCALE



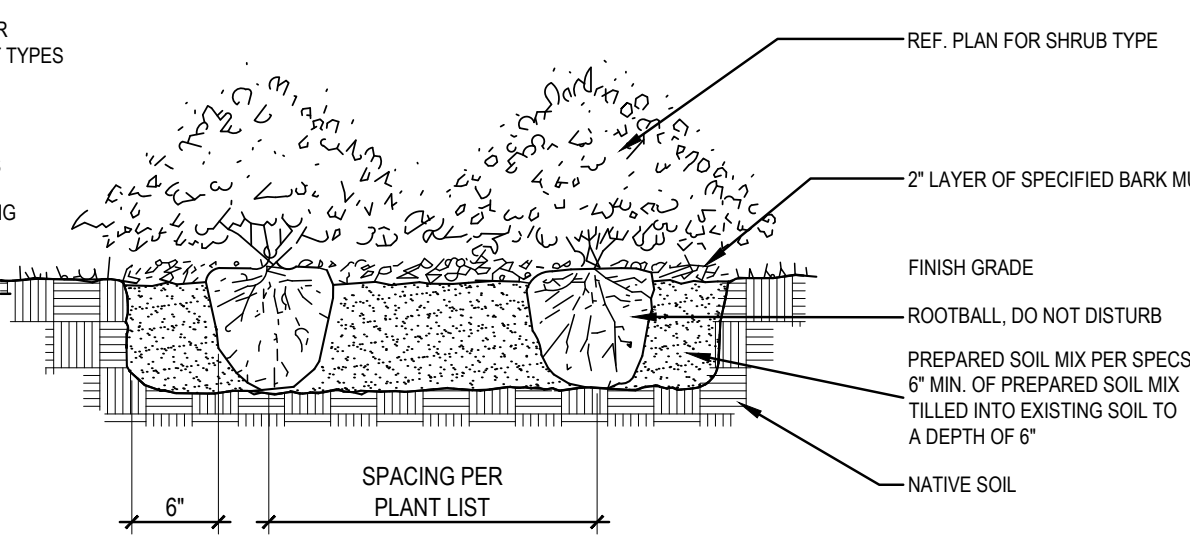
02 GROUNDCOVER PLANTING DETAIL NOT TO SCALE



03 SIDEWALK / MULCH DETAIL NOT TO SCALE



04 STEEL EDGING DETAIL NOT TO SCALE



05 SHRUB PLANTING DETAIL NOT TO SCALE

PROJECT CONTACT LIST	
ENGINEER TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA B PATEL, P.E. PHONE: 469-331-5568	OWNER/DEVELOPER SS REALTY, LTD 6031 CONNECTION DRIVE, SUITE 600 IRVING, TX 75039 CONTACT: MR. WILLIAM B SHAW PHONE: 214-630-7800
SURVEYOR TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: DAVID MCCULLAH PHONE: 469-784-8321	ARCHITECT FRANZ ARCHITECTS 7608 BENBROOK PARKWAY BENBROOK, TEXAS 76126 JASON BEANE PHONE: 817-851-6107

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, ____.

WITNESS OUR HANDS, THIS ____ day of ____, ____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



12.10.2025

WAREHOUSE ADDITION

OBSERVATION TRAIL AND TECHNOLOGY WAY
CITY OF ROCKWALL, TEXAS 75032
NOLAN POWER BUILDING LOT 1 BLOCK C

ISSUE:

FOR APPROVAL: 12.10.2025

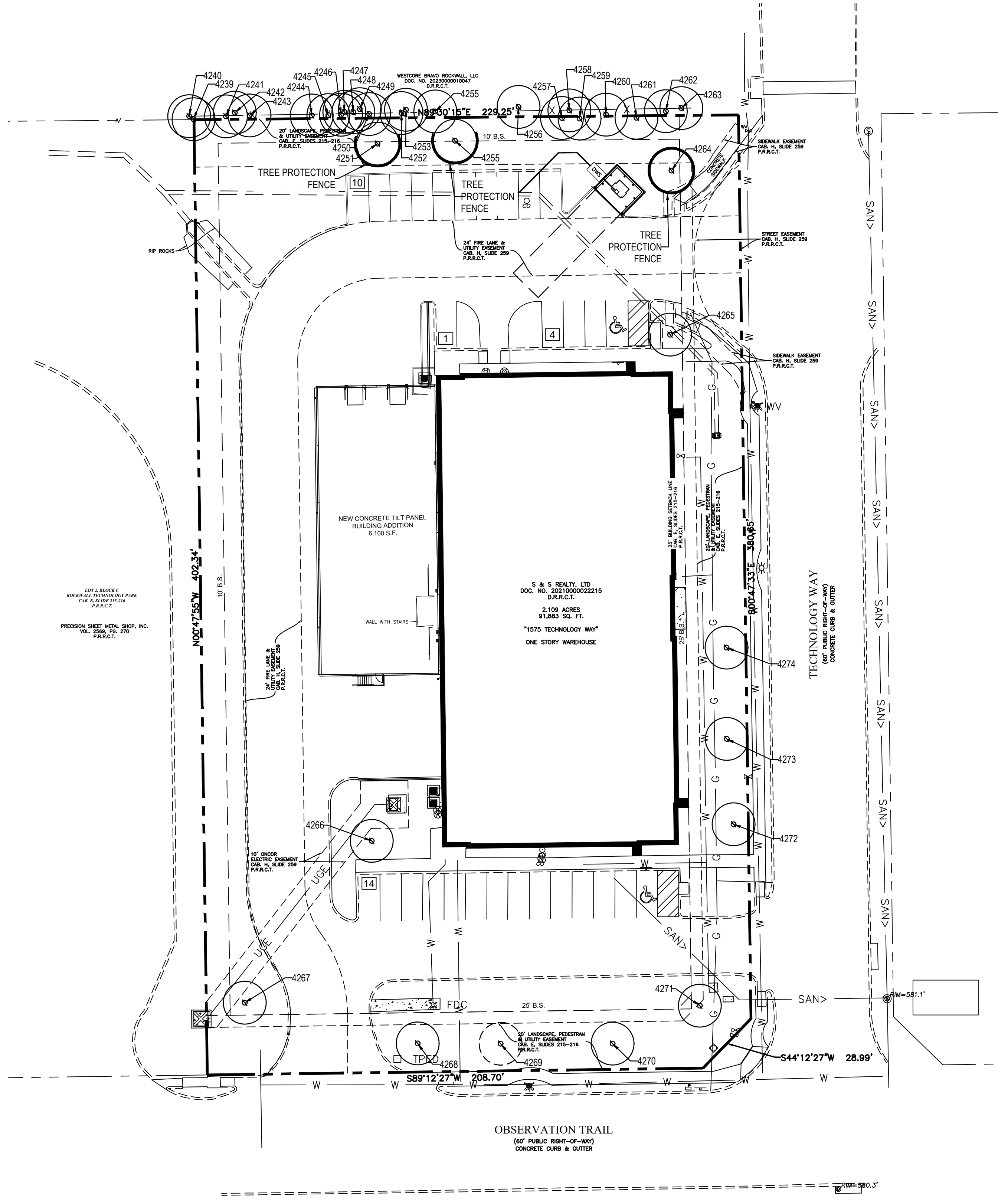
DATE:

12.10.2025

SHEET NAME:
LANDSCAPE SPECIFICATIONS

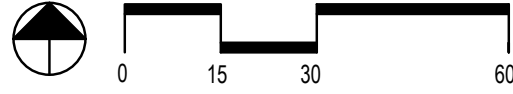
SHEET NUMBER:

L.3



01 TREE PRESERVATION PLAN

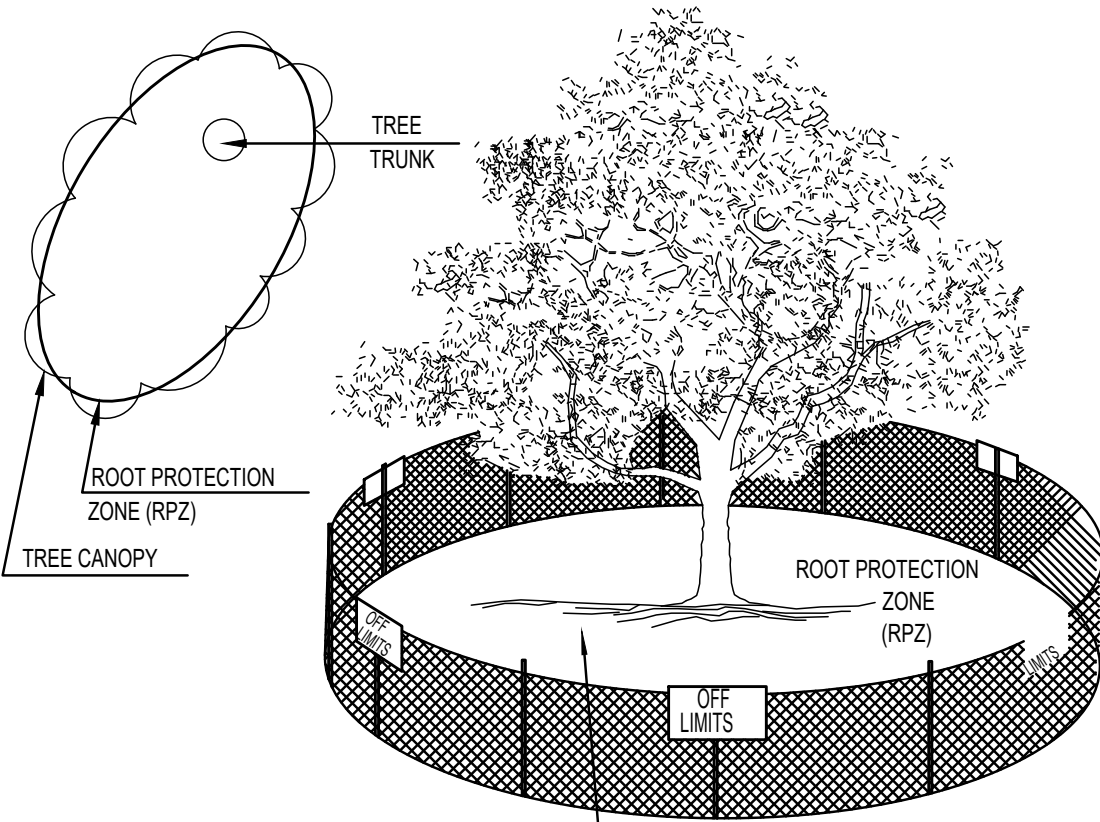
SCALE 1"=30'-0"



TREE SURVEY FIELD DATA

NO.	SIZE (DBH)	SPECIES (COMMON NAME)	PROTECTED/ UNPROTECTED	REMARKS	MITIGATION REQUIRED
4239	12"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4240	8"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4241	10"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4242	16"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4243	12"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4244	14"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4245	12"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4246	10"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4247	6"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4248	6"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4249	8"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4250	12"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4251	25"	BODARK	NON-PROTECTED	TO REMAIN	0"
4252	6"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4253	8"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4254	8"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4255	10"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4256	8"	HERCULES	PROTECTED	TO REMAIN	0"
4257	36"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4258	6"	EASTERN RED CEDAR	PROTECTED	TO REMAIN	0"
4259	18"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4260	18"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4261	6"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4262	6"	HERCULES	PROTECTED	TO REMAIN	0"
4263	8"	EASTERN RED CEDAR	NON-PROTECTED	TO REMAIN	0"
4264	12"	OAK	PROTECTED	TO REMAIN	0"
4265	8"	ASH	PROTECTED	TO REMAIN	0"
4266	10"	CHINESE PISTACHE	PROTECTED	TO REMAIN	0"
4267	10"	LIVE OAK	PROTECTED	TO REMAIN	0"
4268	10"	OAK	PROTECTED	TO REMAIN	0"
4269	10"	OAK	DAMAGED	TO BE REMOVED	0"
4270	10"	OAK	PROTECTED	TO REMAIN	0"
4271	10"	OAK	PROTECTED	TO REMAIN	0"
4272	10"	OAK	PROTECTED	TO REMAIN	0"
4273	10"	CHINESE PISTACHE	PROTECTED	TO REMAIN	0"
4274	10"	CHINESE PISTACHE	PROTECTED	TO REMAIN	0"

NO PROTECTED TREES TO BE REMOVED
NO MITIGATION REQUIRED



NOTE:
FENCING SHOWN ABOVE IS DIAGRAMMATIC
ONLY AND WILL CONFORM TO THE DRIP LINE
AND LIMITED TO PROJECT BOUNDARY

01 TREE PROTECTION FENCE A

NOT TO SCALE

SITE DATA SUMMARY TABLE

SITE ACREAGE:	2.11 ACRES (91,878.41 S.F.)
ZONING:	LIGHT INDUSTRIAL (LI)
PROPOSED USE:	WAREHOUSE ADDITION
BUILDING AREA:	26,100 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	28'
BUILDING COVERAGE:	28.41%
FLOOR AREA RATIO:	0.28
IMPERVIOUS AREA:	62,295.74 S.F. (67.80%)
PERVIOUS/LANDSCAPE AREA:	29,582.67 S.F. (32.20%)
TOTAL PARKING REQUIRED	27 SPACES
1 SP PER 1000 S.F.	
REGULAR PARKING PROVIDED:	27 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	29 SPACES

PROJECT CONTACT LIST

ENGINEER
TRIANGLE ENGINEERING LLC
1782 W. McDERMOTT DRIVE
ALLEN, TEXAS 75013
CONTACT: KARTAVYA PATEL, P.E.
PHONE: 469-331-5568

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SIS REALTY, LTD
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IRVING, TX 75039
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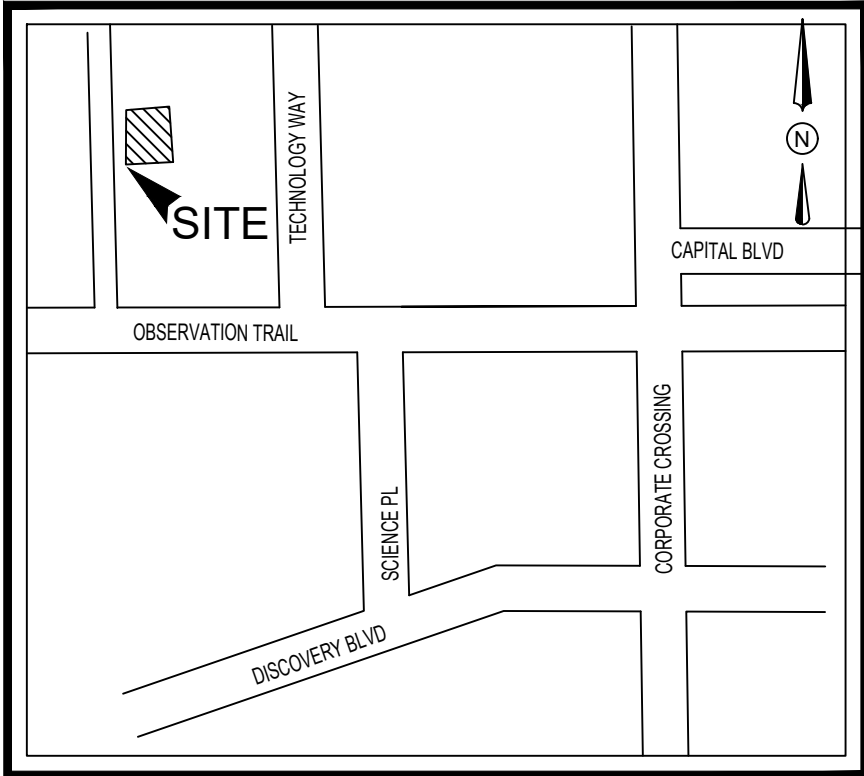
SURVEYOR
TRAVERSE LAND SURVEYING
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DALLAS, TEXAS 75244
CONTACT: DAVID MCCULLAH
PHONE: 469-784-8321

ARCHITECT
FRANZ ARCHITECTS
7608 BENBROOK PARKWAY
BENBROOK, TEXAS 76126
JASON BEANE
PHONE: 817-851-6107

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, THIS ____ day of ____.

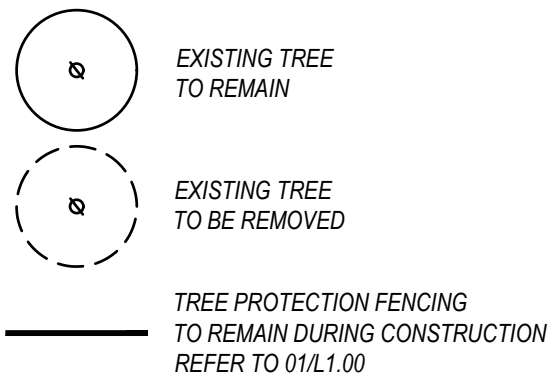
Planning & Zoning Commission, Chairman Director of Planning and Zoning



VICINITY MAP

N.T.S.

EXISTING TREE LEGEND

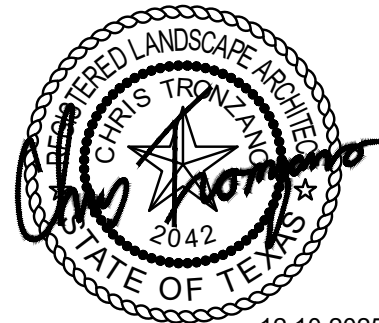


EXISTING TREE NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIPLINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION/CONSTRUCTION, NOTIFY THE ARCHITECT IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIPLINE OF ANY TREE.
- EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT MAY BE CLEANED, TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIPLINE OF A TREE. THIS WOULD INCLUDE BUT NOT BE LIMITED TO PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
- VEHICULAR TRAFFIC: NO VEHICULAR AND CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIPLINE OF TREES.
- BORING OF UTILITIES: MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY- EIGHT (48) INCHES.
- TRENCHING: ANY IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- TREE FLAGGING: ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT WITH 72 HOUR NOTICE TO SCHEDULE ON-SITE MEETING.
- PROTECTIVE FENCING: ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIPLINE. THE PROTECTIVE FENCING MAYBE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4) FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING WILL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL(S).
- BARK PROTECTION: IN SITUATIONS WHERE A TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, THE TREE SHALL BE PROTECTED BY ENCLOSING THE ENTIRE CIRCUMFERENCE OF THE TREE'S TRUNK WITH LUMBER ENCIrcLED WITH WIRE OR OTHER MEANS THAT DOES NOT DAMAGE THE TREE. REFER TO TREE PROTECTION DETAIL(S).
- CONSTRUCTION PRUNING: IN A CASE WHERE A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. IN NO INSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
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(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



12.10.2025

WAREHOUSE ADDITION

OBSERVATION TRAIL AND TECHNOLOGY WAY
CITY OF ROCKWALL, TEXAS 75032
NOLAN POWER BUILDING LOT 1 BLOCK C

ISSUE:

FOR APPROVAL: 12.10.2025

DATE:

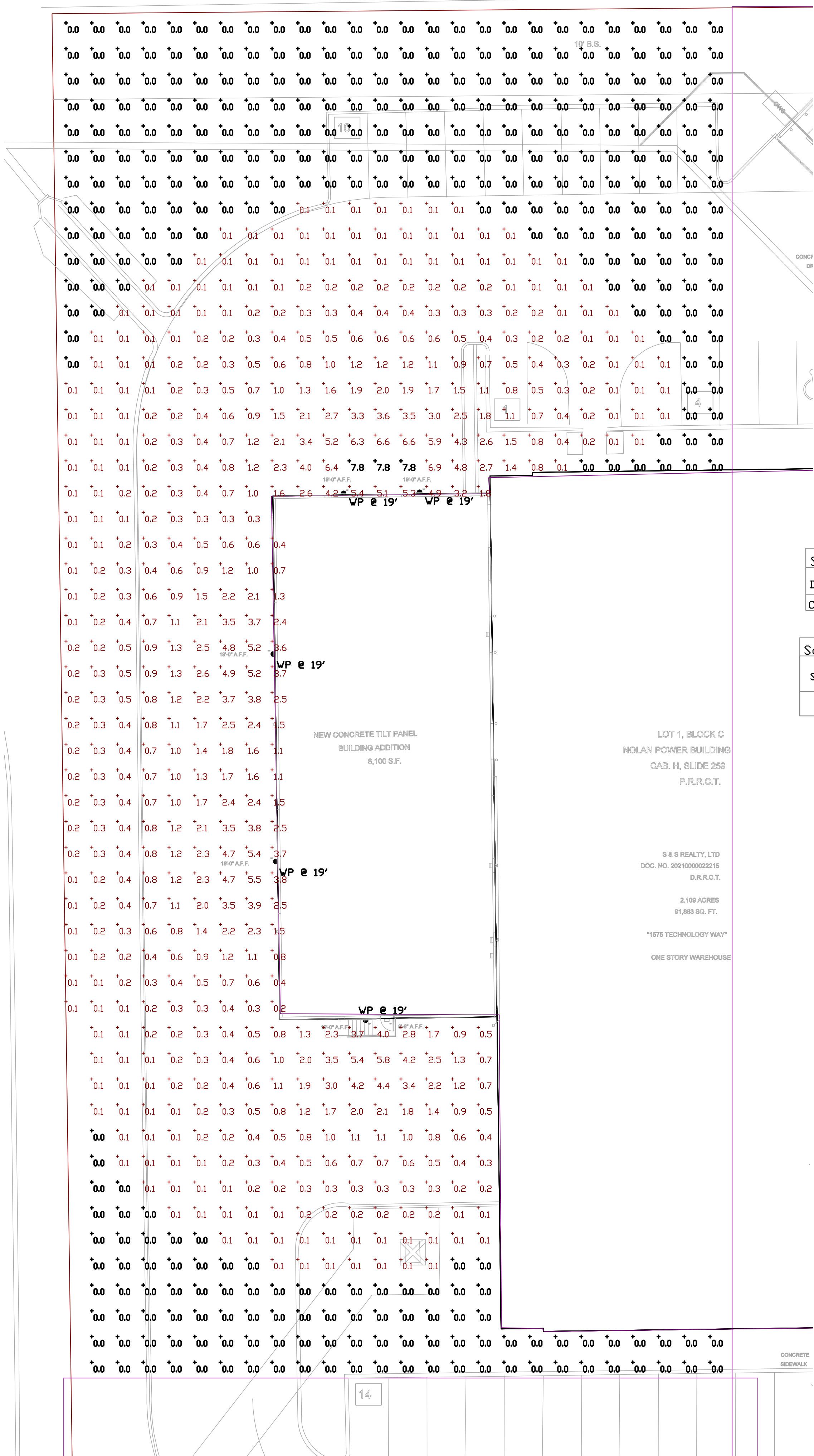
12.10.2025

SHEET NAME:

TREE PRESERVATION PLAN

SHEET NUMBER:

L.1



1 SITE AND DRIVE THRU PHOTOMETRIC PLAN
Scale: 1/16" = 1'-0"

PHOTOMETRIC NOTES

ALL FIXTURE HEIGHTS ASSUME A BASELINE ELEVATION OF 0" A.F.F. AT THE CONSTRUCTED BUILDING'S FINISHED FLOOR SLAB. FIXTURE HEIGHTS GIVEN ARE FOR THE CENTERLINE MOUNTING HEIGHT. FIXTURE HEIGHTS DO NOT REFLECT THE HEIGHT OF THE FIXTURE ITSELF. FIXTURE LOCATIONS AND DIRECTION ARE FOR DESIGN INTENT PURPOSES, ADJUSTMENTS OR RELOCATIONS MADE IN FIELD MAY CAUSE PHOTOMETRIC VALUES TO ALTER FROM INTENT SHOWN PER THIS PLAN SHEET.

LIGHTING SHOWN IS DESIGNED BASED ON THE WRITTEN INSTRUCTIONS PROVIDED TO THE ENGINEER AT THE TIME OF DESIGN. FIXTURES PER THE SCHEDULE MUST BE SEPARATELY APPROVED BY THE GENERAL CONTRACTOR, AND LANDLORD / TENANT (AS APPLICABLE) PRIOR TO PURCHASE AND INSTALLATION. ALTERNATIVE FIXTURES SHALL BE PROVIDED AS A SUBMITTAL TO THE ENGINEER FOR REVIEW. SUBMITTAL FOR THE PROPOSED ALTERNATIVE FIXTURE SHALL INCLUDE A PRODUCT DATA SHEET AND PHOTOMETRIC STUDY FOR COMPARISON TO THE PHOTOMETRIC STUDY PROVIDED HERE-IN AS THE BASIS OF DESIGN.

PHOTOMETRIC CALCULATIONS AS DRAWN FACTOR NEW CONSTRUCTION TO BE PROVIDED ONLY, AND ASSUME NO TOPIARY, FOLIAGE, TREES OR OTHER BOUNDARIES, BARRIERS OR OBSTRUCTIONS THAT MAY BE PRESENT. LIGHT LEVELS SHOWN DO NOT REFLECT ADDITIONAL BOUNDARIES, OBSTRUCTIONS, TENANT CONSTRUCTION, ELEVATION CHANGES, OR EXISTING FIXTURES OR LIGHTING OUTSIDE OF PLAN SCOPE OF WORK, AND MAY NOT FULLY REFLECT FINAL CONDITIONS OR CONSTRUCTION.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #3	+	0.6 fc	7.8 fc	0.0 fc	N/A	N/A

Schedule							
Symbol	Label	Quantity	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Wattage
	WP	5	WPX1 @ 30W / 4000K	LED	1	4739	32.4

CASE
Engineering Inc.

796 Merus Court
St. Louis, MO 63026
T 636.349.1600
F 636.349.1730
CERTIFICATE OF AUTHORITY NO. F-20080



STANDARD SUPPLY WAREHOUSE
1575 TECHNOLOGY WAY
ROCKWALL, TX 75032

Revisions:

File Name: 25233-E302
Project No: 25233
Date: 12/08/2025
Drawn By: T
Checked By:

SHEET
E1.0
PHOTOMETRIC PLAN

WPX1

RAB



Color: Bronze

Weight: 6.2 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant	Watts	30/20/15W
120V	0.28A/0.22A/0.14A	Color Temp	3000/4000/5000K
208V	0.14A/0.10A/0.07A	Color Accuracy	82-84 CRI
240V	0.13A/0.08A/0.06A	L70 Lifespan	100,000 Hours
277V	0.12A/0.07A/0.05A	Lumens	2,497-4,739 lm
Input Watts	17.7-33.3W	Efficacy	134.6-146.8 lm/W

LED Info

Technical Specifications

Field Adjustability

Field Adjustable:

Field Adjustable Light Output:
30W/20W/15W (factory default 30W)
Color temperature selectable 3000K, 4000K and 5000K (factory default 4000K)

Compliance

UL Listed:

Suitable for wet locations

IP Rating:

Ingress protection rating of IP65 for dust and water

Trade Agreements Act Compliant:

This product is a product of Cambodia and a "designated country" end product that complies with the Trade Agreements Act

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC S.1 requirements.
DLC Product Code: S-MW1V2F

Electrical

Driver:

Constant Current, Class 2, 120-277V, 50/60 Hz
30W: 120V: 0.28A 208V: 0.14A, 240V: 0.13A, 277V: 0.12A
20W: 120V: 0.22A 208V: 0.10A, 240V: 0.08A, 277V: 0.07A
15W: 120V: 0.14A 208V: 0.07A, 240V: 0.06A, 277V: 0.06A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims separate to 10%.

THD:

30W: 2.82% at 120V, 9.29% at 277V
20W: 3.16% at 120V, 11.85% at 277V
15W: 5.05% at 120V, 20.56% at 277V

Power Factor:

30W: 99.7% at 120V, 93.5% at 277V
20W: 99.6% at 120V, 90.2% at 277V
15W: 98.9% at 120V, 81.6% at 277V

Photocell:

Integrated photocell included with on/off switch

Surge Protection:

4kV

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

30W: Replaces up to 125W Metal Halide (MH) or 100W High-Pressure Sodium (HPS)
20W: Replaces up to 100W Metal Halide (MH) or 100W High-Pressure Sodium (HPS)
15W: Replaces up to 70W Metal Halide (MH) or 70W High-Pressure Sodium (HPS)

LED Characteristics

LEDs:

Long life, high efficacy, surface-mount LEDs

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

Housing:

Aluminum alloy

Lens:

Prismatic, heat-resistant borosilicate glass

WPX1

RAB

Technical Specifications (continued)

Reflector:

Aluminum

Gaskets:

High-temperature silicone

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Green Technology:

Mercury and UV free. RoHS compliant components.

Finish:

Formulated for high durability and long-lasting color

Installation

Mounting:

Hinged wiring access and conduit entries on the back sides, top and bottom make installation a snap

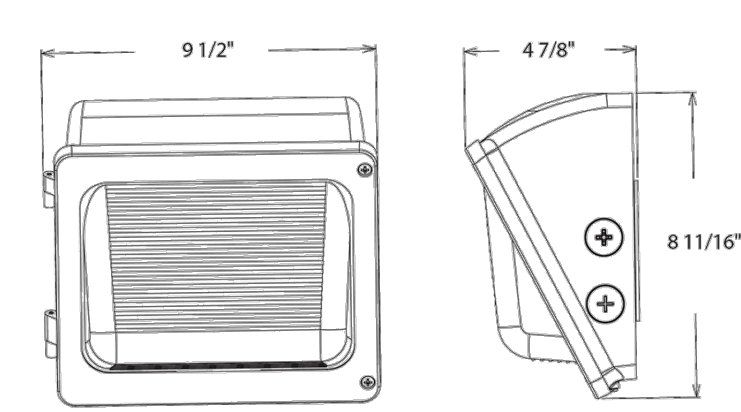
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Other

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of ten (10) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Dimensions



Features

100,000-Hour LED lifespan
0-10V dimming standard
10-Year, no-compromise warranty

Need help? Tech help line: (888) 722-1000 Email: techsupport@rablighting.com Website: www.rablighting.com
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WPX1

RAB

Ordering Matrix

Family	Wattage	Color Temp	Finish	Driver	Options
WPX	1				
	1 = 30/20/15W 2 = 80/60/40W 3 = 130/100/65W	Blank = 3000/4000/5000K Adjustable	Blank = Bronze W = White	Blank = 120-277V, 0-10V Dimming /480 = 480V, 0-10V Dimming	Blank = Selectable On/Off Photocell /MVS = Microwave Motion Sensor /LCB = Lightcloud Blue /LCB = Lightcloud Blue /LCBS/MVS = Lightcloud Blue w/MVS Sensor /E = Battery Backup ¹ /MVS/E = Microwave Motion Sensor w/Battery Backup ² /LC/E = Lightcloud w/Battery Backup ¹

¹ 480V available only in WPX2 and WPX3 models
² Battery backup available only for WPX2 and WPX3 in 120-277V models

Need help? Tech help line: (888) 722-1000 Email: techsupport@rablighting.com Website: www.rablighting.com
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LIGHTING FIXTURE NOTES

ENGINEER'S SCOPE OF WORK IS FOR SELECTION AND MODELING OF SITE LIGHTING FOR BUILDING EXPANSION PER SHEET E1.0, AND COMPLIANCE WITH LIGHTING DISTRIBUTION WITH AUTHORITY HAVING JURISDICTION AND OWNER. THIS ENGINEER IS NOT RESPONSIBLE FOR DESIGNING LIGHTING CONTROLS, POWER SYSTEMS, PANEL SCHEDULES, DETAILED SCOPE OF WORK, DETAILS. ENERGY COMPLIANCE FOR NEW LIGHTING HAS NOT BEEN PERFORMED BY ENGINEER DUE TO UNAVAILABLE INFORMATION FOR THE EXISTING SITE AND SITE LIGHTING CONDITIONS. LIGHTING FIXTURE SPECIFICATION SHOWN IS SELECTED BY ENGINEER TO MEET THE MINIMUM REQUIREMENTS OF THE OWNER AND AUTHORITY HAVING JURISDICTION. THE ELECTRICAL CONTRACTOR (E.C.) SHALL NOT PROVIDE BID FOR USE OF LIGHTING FIXTURES SPECIFIED BY ENGINEER, WITHOUT FINAL APPROVAL FROM THE G.C. AND OWNER.

IF THE OWNER AND G.C. APPROVE USE OF THE LIGHTING FIXTURE AS SPECIFIED BY THE ENGINEER, THE OWNER AND G.C. SHALL COORDINATE THE OPTIONS AND SPECIFICATIONS AVAILABLE TO THE LIGHT FIXTURE FOR USE PRIOR TO ORDERING. RESPONSIBILITY OF INSTALLATION AND COORDINATION OF CONTROLS, NEW OR EXISTING, SHALL BE PROVIDED BY OTHERS, INCLUDING ANY DETAILS OR SUBMISSIONS REQUIRED.

ANY PROPOSED FIXTURE SUBSTITUTIONS, ALTERATIONS, RELOCATIONS, HEIGHT CHANGES, ETC. SHALL BE PROVIDED TO THE ENGINEER PRIOR TO FINAL BID. PROPOSED CHANGES SHALL BE EVALUATED AND PROVIDED WITH NEW PHOTOMETRIC DESIGN TO ENSURE COMPLIANCE. ENGINEER SHALL REJECT ANY CHANGES THAT CAUSE COMPLIANCE WITH LOCAL CODES AND ORDINANCES TO NOT BE MET. ANY CHANGES, SUBSTITUTIONS, ALTERATIONS, MODIFICATIONS, ETC. THAT ARE MADE BY THE E.C. WITHOUT ACCEPTANCE OF THE ENGINEER SHALL BE MADE AT THEIR OWN RISK AND RESPONSIBILITY, AND ANY CONDITIONS THAT ARE NOT IN COMPLIANCE WITH LOCAL CODES AND ORDINANCES SHALL BE AT E.C.'S EXPENSE TO CORRECT.

CASE

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CERTIFICATE OF AUTHORITY NO. F-20080

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12/09/2025

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STANDARD SUPPLY WAREHOUSE
1575 TECHNOLOGY WAY
ROCKWALL, TX 75032

Revisions:

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SHEET

E1.1

PHOTOMETRIC SPECS