



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1575 TECHNOLOGY WAY, ROCKWALL TX 75032

SUBDIVISION NOLAN POWER BUILDING LOT 1 BLOCK C

GENERAL LOCATION NW CORNER OF TECHNOLOGY WAY AND OBSERVATION TRAIL

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LI - LIGHT INDUSTRIAL CURRENT USE WAREHOUSE

PROPOSED ZONING LI - LIGHT INDUSTRIAL PROPOSED USE WAREHOUSE

ACREAGE 2.11 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER SS REALTY, LTD APPLICANT TRIANGLE ENGINEERING, LLC

CONTACT PERSON WILLIAM B SHAW Spencer Shaw CONTACT PERSON ELLIOTT BOGART

ADDRESS [REDACTED] [REDACTED] [REDACTED]

[REDACTED] [REDACTED] [REDACTED] [REDACTED] [REDACTED] [REDACTED]

NOTARY VERIFICATION [REQUIRED]

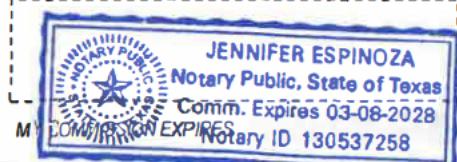
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Spencer Shaw [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 310.00, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF December, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF December, 2025

OWNER'S SIGNATURE Jennifer Espinoza

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 25 50 100 150 200 Feet

SP2025-044: Amended Site Plan for an Expansion of an Existing Warehouse/ Manufacturing Facility at 1575 Technology Way



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

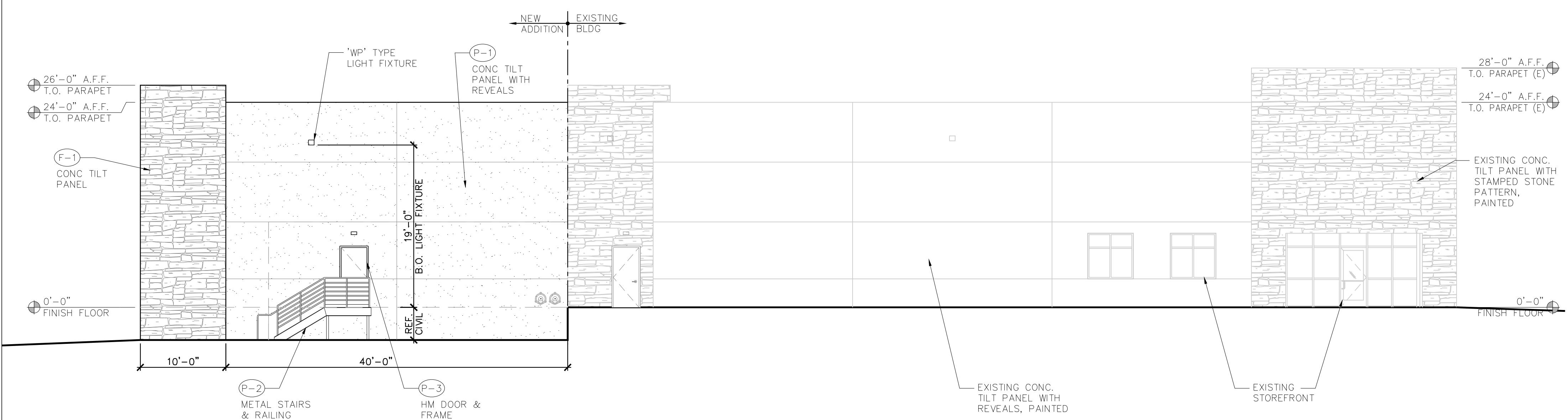
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



EXTERIOR FINISH SCHEDULE

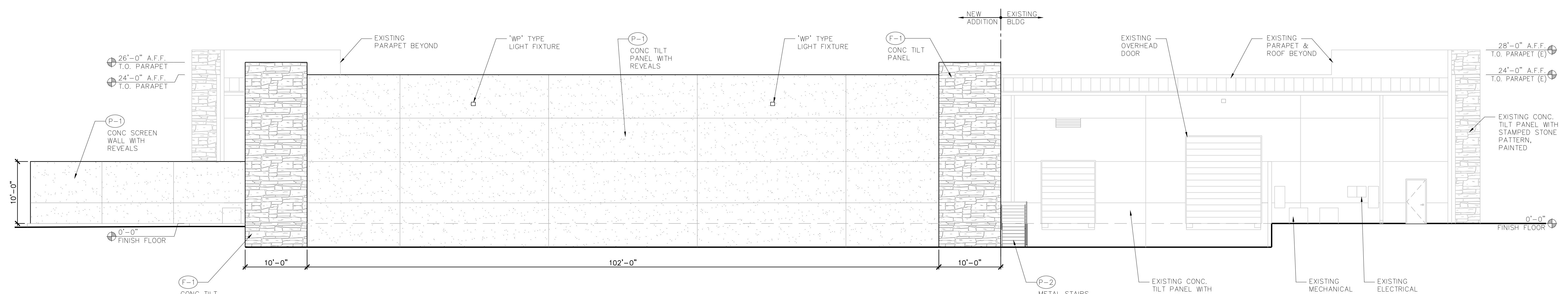
ITEM	COLOR	MANUFACTURER	REMARKS
(P-1) STAMPED STONE PATTERN	SW 7010 WHITE DUCK	SHERWIN WILLIAMS	MATCH EXISTING FORMLINE STONE PATTERN
(P-2) PAINT FINISH - FIELD COLOR	SW 6071 POPULAR GRAY	SHERWIN WILLIAMS	TEXTURED PAINT
(P-3) PAINT FINISH - STAIR & RAILING	SW 6074 SPALDING GRAY	SHERWIN WILLIAMS	MATCH EXISTING
(P-4) PAINT FINISH - HM DOOR & FRAME	SW 6074 SPALDING GRAY	SHERWIN WILLIAMS	MATCH EXISTING
OVER HEAD DOOR & FRAME	MATCH EXISTING	BEST SOURCE	-
*G.C. SHALL SUBMIT SAMPLES FOR ARCHITECT'S APPROVAL			

FINISH LEGEND	
STONE PATTERN	TEXTURED PAINT



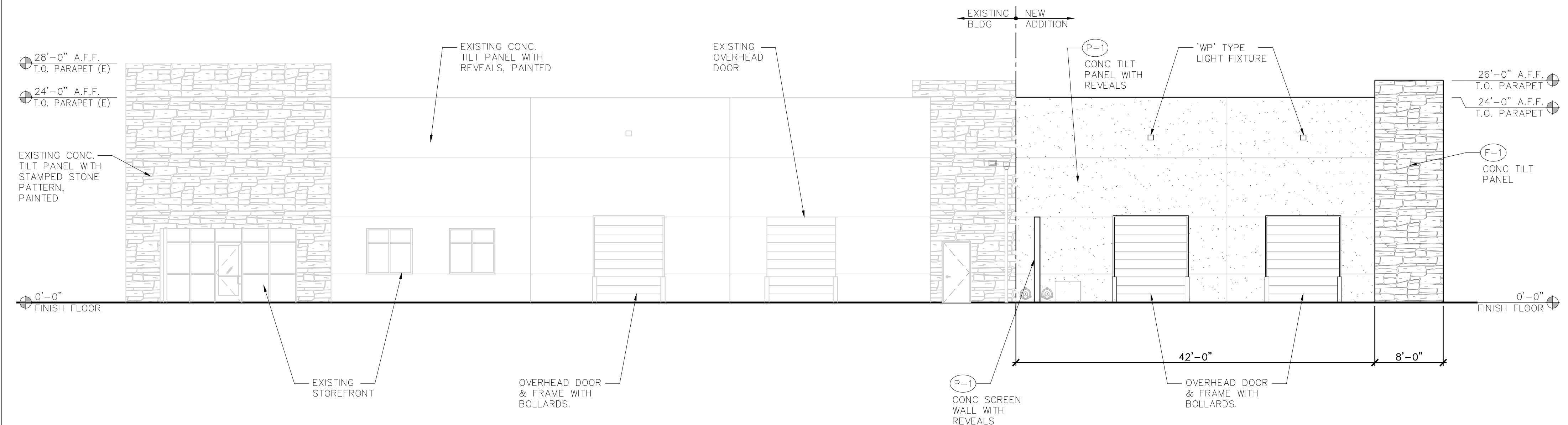
1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



2 WEST ELEVATION

SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

Revision: _____
File Name: 25233-A2.0
Project No.: 25233
Date: 12/08/2025
Drawn By: JLB
Checked By: TI

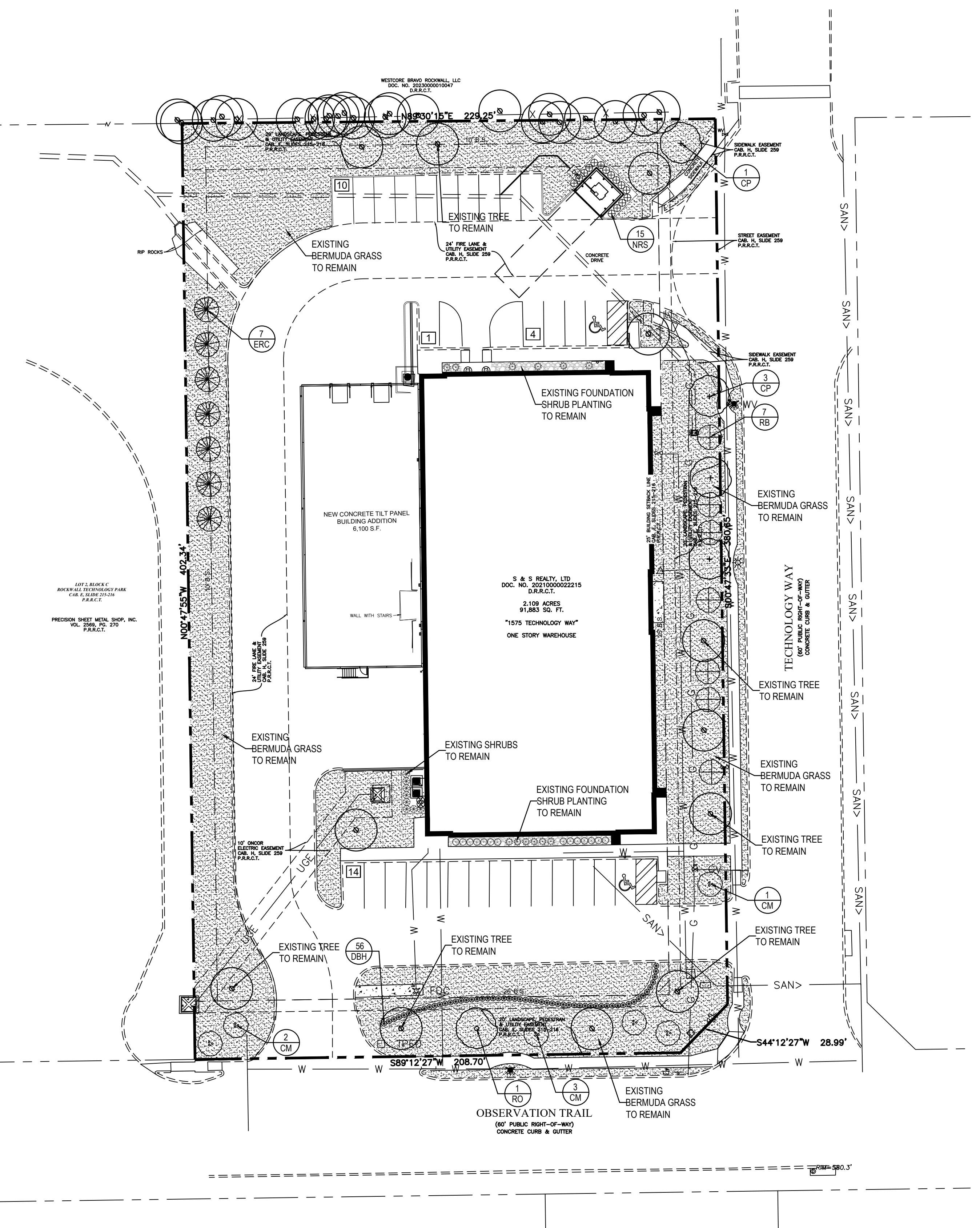
SHEET
A2.0
EXTERIOR
ELEVATIONS



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM

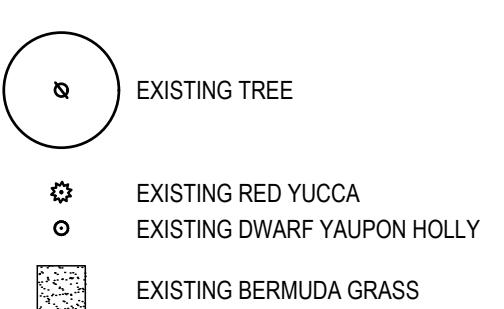


12.10.2025



01 LANDSCAPE PLAN
SCALE 1'=30'-0"

EXISTING PLANT LEGEND:



LANDSCAPE TABULATIONS:

SITE REQUIREMENTS (Total Site Area 91,878.41 S.F.)
Requirements: A minimum 15% of the site area to be landscaped.

Required 13,782 S.F. (15%) Provided 28,884 S.F. (35%)

FRONT YARD REQUIREMENTS

Requirements: A minimum 50% of required landscape must be located in front yard.

Required 6,891 S.F. (50%) Provided 16,093 S.F. (117%)

STREET REQUIREMENTS

Requirements: A minimum (1) canopy tree (4" cal) and (1) accent tree (4' ht.) per 50 L.F. of frontage.

OBSERVATION TRAIL (224 L.F.)

Required (5) Canopy Trees Provided (4) Existing Canopy Trees & (1) Proposed Canopy Tree
(5) Accent Trees (5) Proposed Accent Trees

TECHNOLOGY WAY (395 L.F.)

Required (8) Canopy Trees Provided (4) Existing Canopy Trees & (4) Proposed Canopy Trees
(8) Accent Trees (8) Proposed Accent Trees

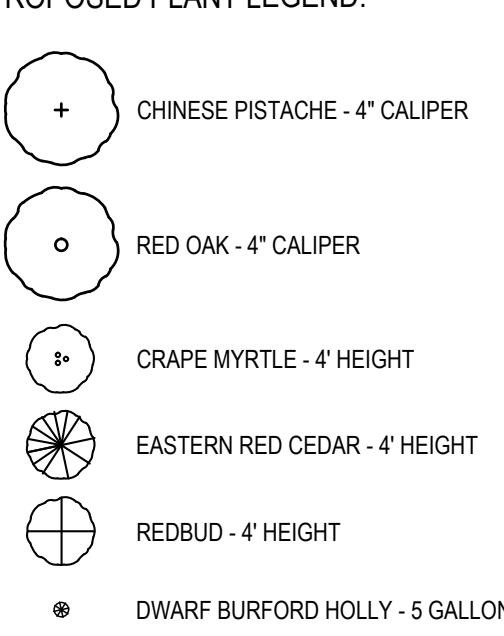
PARKING LOT REQUIREMENTS (29 Spaces)

Requirements: A minimum (1) canopy tree (4" cal.) per 20 parking spaces.

Required (2) Canopy Trees Provided (2) Existing Canopy Trees

ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM THAT MEETS THE REQUIREMENTS OF THE TCEQ AND THE CITY OF ROCKWALL UCS

PROPOSED PLANT LEGEND:



PLANT MATERIAL SCHEDULE

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CP	4	Chinese Pistache	<i>Pistacia chinensis</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
RO	1	Red Oak	<i>Quercus rubra</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
CM	6	Crape Myrtle	<i>Lagerstroemia indica</i>	4' ht.	container, 4' ht., 3' spread, 3 or 5 canes, tree form
ERC	7	Eastern Red Cedar	<i>Juniperus virginiana</i>	4' ht.	container, 4' ht., 3' spread, full to base
RB	7	Redbud	<i>Cercis canadensis</i>	4' ht.	container, 4' ht., 3' spread, single straight trunk

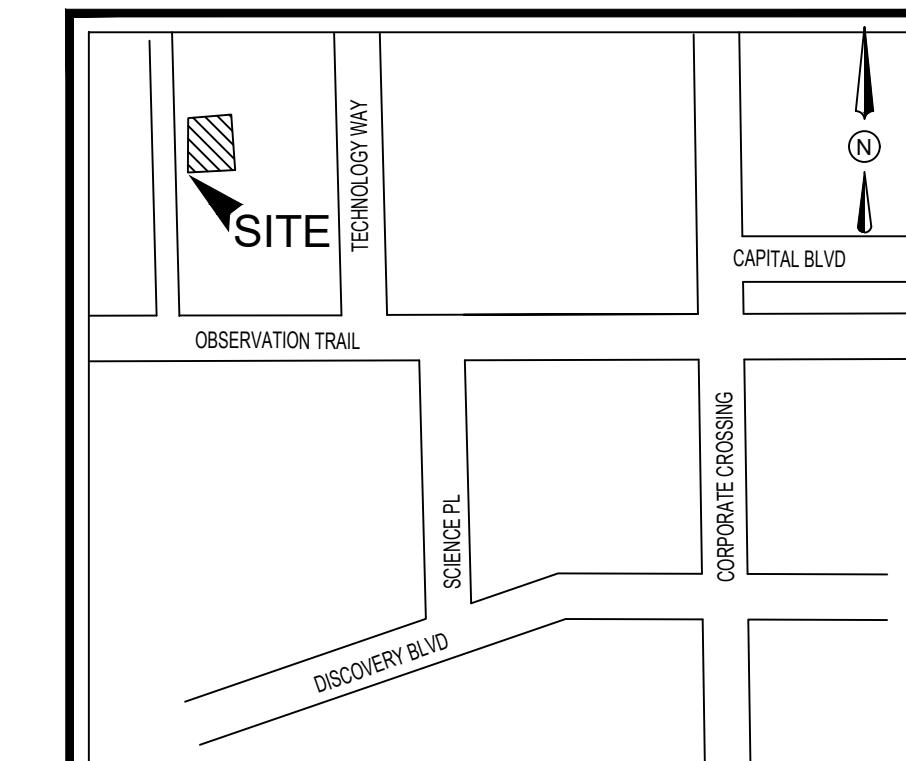
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DBH	56	Dwarf Burford Holly	<i>Ilex cornuta</i>	5 gal.	container, 24" ht., 20" spread
NRS	15	Nellie R. Stevens	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	container, 36" ht., 30" spread

GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	<i>Cynodon dactylon '419'</i>		solid sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

SITE DATA SUMMARY TABLE					
SITE ACREAGE:	2.11 ACRES (91,878.41 S.F.)				
ZONING:	LIGHT INDUSTRIAL (LI)				
PROPOSED USE:	WAREHOUSE ADDITION				
BUILDING AREA:	26,100 S.F.				
NUMBER OF STORIES:	1				
BUILDING HEIGHT:	28'				
BUILDING COVERAGE:	28.41%				
FLOOR AREA RATIO:	0.28				
IMPERVIOUS AREA:	62,295.74 S.F. (67.80%)				
PERVIOUS LANDSCAPE AREA:	29,582.67 S.F. (32.20%)				
TOTAL PARKING REQUIRED	27 SPACES				
1 SP PER 1000 S.F.					
REGULAR PARKING PROVIDED:	27 SPACES				
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)				
HANDICAP PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)				
TOTAL PARKING PROVIDED:	29 SPACES				

PROJECT CONTACT LIST	
ENGINEER TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	OWNER/DEVELOPER SS REALTY LTD 6031 CONNECTION DRIVE, SUITE 600 IRVING, TX 75039 CONTACT: MR. WILLIAM B SHAW PHONE: 214-630-7800
SURVEYOR TRAVESSA LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: DAVID MCCULLAH PHONE: 469-934-9321	ARCHITECT FRANZ ARCHITECTS 7608 BENBROOK PARKWAY BENBROOK, TEXAS 76126 JASON BEANE PHONE: 817-851-6107



VICINITY MAP
N.T.S.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

GENERAL LAWN NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED. IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

SOLID SOD NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL Voids.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

WAREHOUSE ADDITION

OBSERVATION TRAIL AND TECHNOLOGY WAY
CITY OF ROCKWALL, TEXAS 75032
NOLAN POWER BUILDING LOT 1 BLOCK C

ISSUE: FOR APPROVAL: 12.10.2025

DATE: 12.10.2025

SHEET NAME: LANDSCAPE PLAN

SHEET NUMBER: L.2

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUT HANDS. THIS _____ day of _____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition, by American National Standards Institute, Inc. (Z60.1) – plant material.

B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.

C. Texas Association of Nurserymen, Grades and Standards.

D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.

B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.

C. Product Data: Submit complete product data and specifications on all other specified materials.

D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.

E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.

F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

JOB CONDITIONS

A. General Contractor to complete the following punch list: Prior to Landscape Contractor installing any plant material, General Contractor shall leave planting bed areas one (1") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.

B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.

C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

A. Maintenance:

1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.

2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.

3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.

4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

B. Guarantee:

1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead material as soon as possible with permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.

a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including roots in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.

b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.

c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

2. Landscaping Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.

3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.

4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.

5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

3. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.

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35. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.

36. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.

37. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

38. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.

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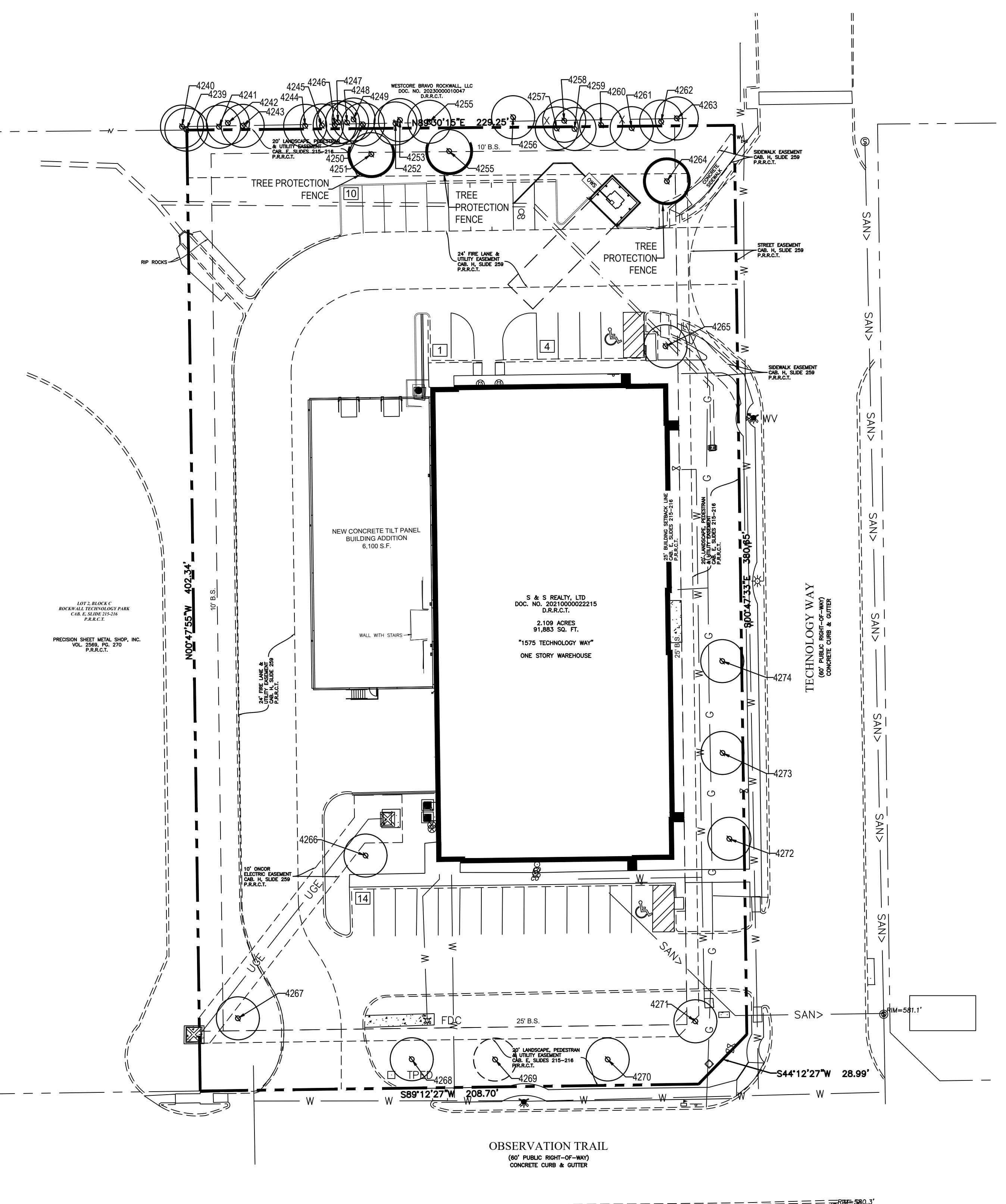
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72. Owner and/or Architect may reject unsatisfactory or defective material



WAREHOUSE ADDITION

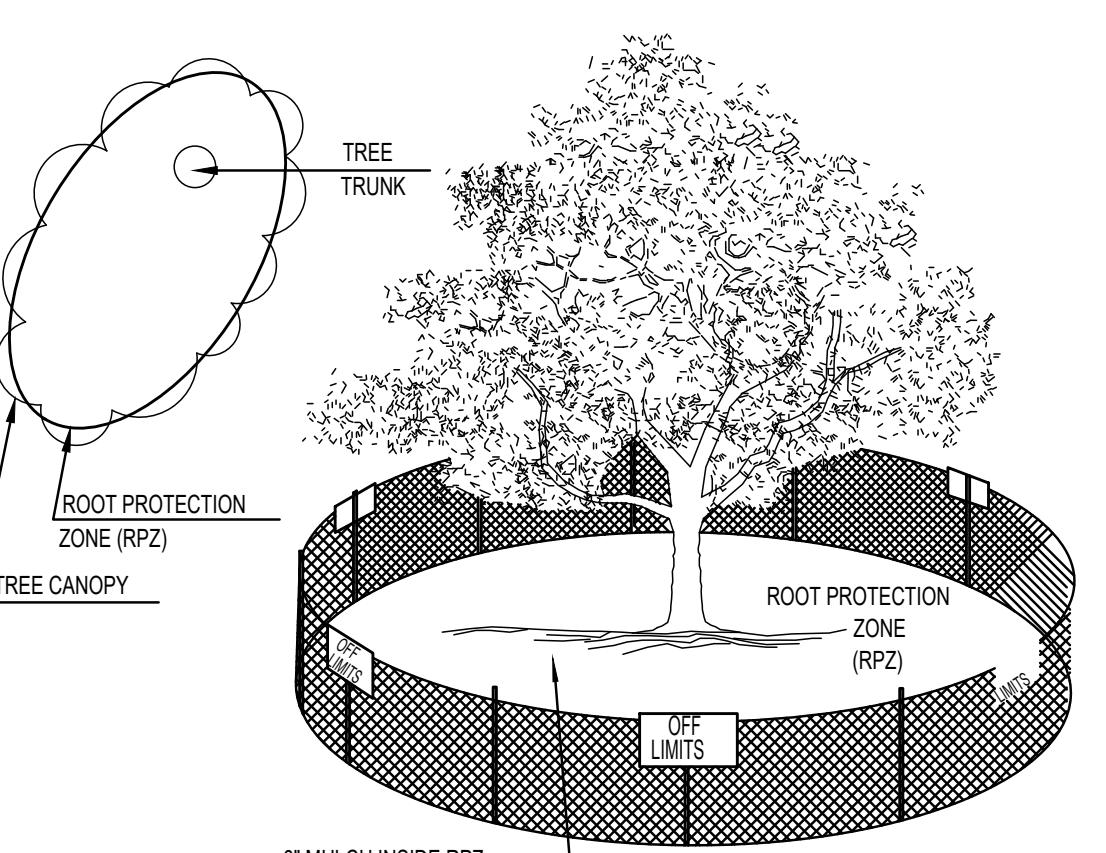
OBSEvation TRAIL AND TECHNOLOGY WAY
CITY OF ROCKWALL, TEXAS 75032
NOLAN POWER BUILDING LOT 1 BLOCK C



01 TREE PRESERVATION PLAN

SCALE 1"=30'-0"

SITE DATA SUMMARY TABLE	
SITE ACREAGE:	2.11 ACRES (91,878.41 S.F.)
ZONING:	LIGHT INDUSTRIAL (LI)
PROPOSED USE:	WAREHOUSE ADDITION
BUILDING AREA:	26,100 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	28'
BUILDING COVERAGE:	28.41%
FLOOR AREA RATIO:	0.28
IMPERVIOUS AREA:	62,295.74 S.F. (67.80%)
PERVIOUS/LANDSCAPE AREA:	29,582.67 S.F. (32.20%)
TOTAL PARKING REQUIRED 1 SP PER 1000 S.F.	27 SPACES
REGULAR PARKING PROVIDED:	27 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	29 SPACES



01 TREE PROTECTION FENCE A

DEFENCE A

NOTE:
FENCING SHOWN ABOVE IS DIAGRAMMATIC
ONLY AND WILL CONFORM TO THE DRIP LINE
AND LIMITER TO PROJECT BOUNDARY.

PROJECT CONTACT LIST	
<u>ENGINEER</u> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	<u>OWNER/DEVELOPER</u> SS REALTY, LTD 6031 CONNECTION DRIVE, SUITE 600 IRVING, TX 75039 CONTACT: MR. WILLIAM B SHAW PHONE: 214-630-7800
<u>SURVEYOR</u> TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: DAVID MCCULLAH PHONE: 469-784-9321	<u>ARCHITECT</u> FRANZ AECHTECTS 7608 BENBROOK PARKWAY BENBROOK, TEXAS 76126 JASON BEANE PHONE: 817-851-6107

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.
WITNESS OUT HANDS, THIS _____ day of _____, _____

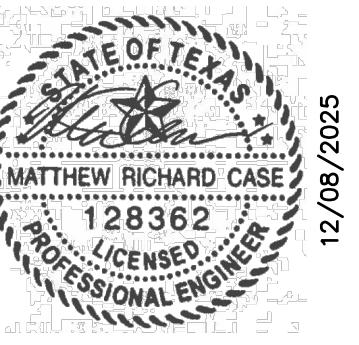
Planning & Zoning Commission, Chairman **Director of Planning and Zoning**

ISSUE:

DATE:

SHEET NAME:
TREE PRESERVATION PLAN

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FRANZ
architects

(617) 737-9822

www.Franzarchitects.com

STANDARD SUPPLY WAREHOUSE

1575 TECHNOLOGY WAY
ROCKWALL, TX 75032

Revision:

File Name:

25233-F302

Project No.:

25233

Date:

12/08/2025

Drawn By:

Checked By:

E1.1

SHEET

WPX1



Project:	Type:		
Prepared By:	Date:		
Driver Info			
Type	Constant	Watts	30/20/15W
120V	0.28A/0.22A/0.14A	Color Temp	3000/4000/5000K
208V	0.14A/0.10A/0.07A	Color Accuracy	82-84 CRI
240V	0.13A/0.08A/0.06A	L70 Lifespan	100,000 Hours
277V	0.12A/0.07A/0.05A	Lumens	2,497-4,739 lm
Input Watts		Efficacy	134.6-146.8 lm/W

Technical Specifications

Field Adjustability

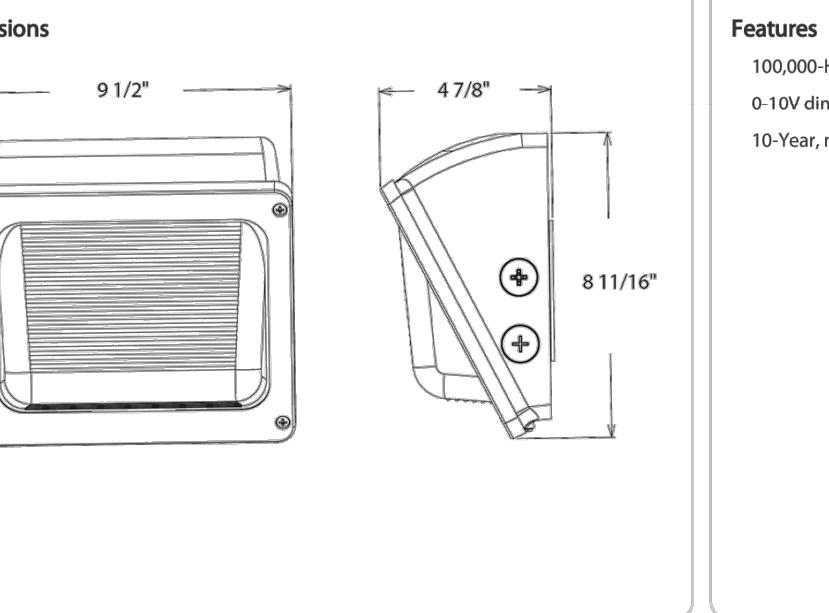
Electrical

Performance

Other

Warranty:
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of ten (10) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Dimensions



Features

100,000-Hour LED lifespan
0-10V dimming standard
10-Year, no-compromise warranty

WPX1

Technical Specifications (continued)

Reflector:
Aluminum

Gaskets:
High-temperature silicone

Cold Weather Starting:
The minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:
Suitable for use in up to 40°C (104°F)

Green Technology:
Mercury and UV free, RoHS-compliant components.

Finish:
Formulated for high durability and long-lasting color

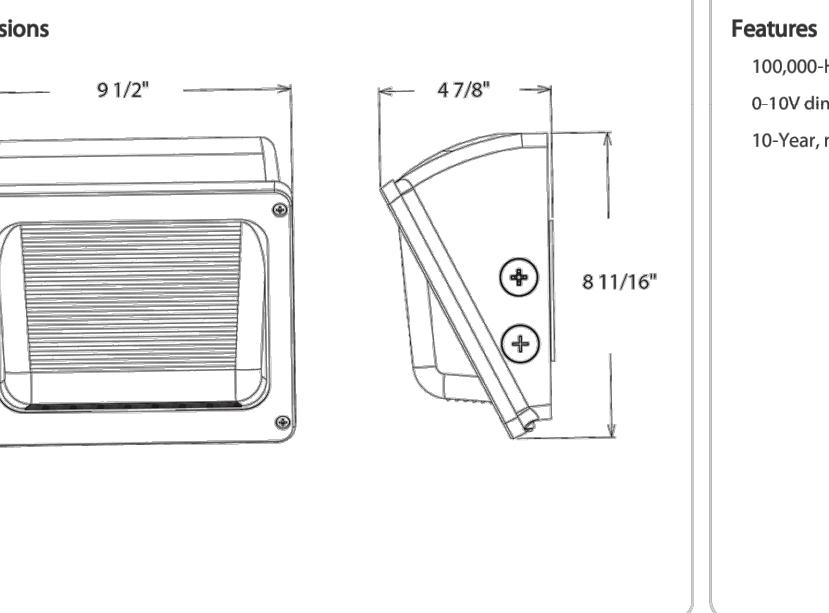
Installation

Mounting:
Hinged wiring access and conduit entries on the back sides, top and bottom make installation a snap

Other

Warranty:
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of ten (10) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Dimensions



Features

100,000-Hour LED lifespan
0-10V dimming standard
10-Year, no-compromise warranty

WPX1

Ordering Matrix

Family	Wattage	Color Temp	Finish	Driver	Options
WPX	1	Blank = 3000/4000/5000K Adjustable	Blank = Bronze	Blank = 120-277V, 0-10V Dimming	Blank = Selectable On/Off Photocell
	1 = 30/20/15W	2 = 80/60/40W	W = White	/480 = 480V, 0-10V Dimming	/MWS = Microwave Motion Sensor
	3 = 130/100/65W				/LC = LightCloud Blue
					/LCBS/MWS = LightCloud Blue w/MWS Sensor
					/E = Battery Backup ¹
					/MVSE = Microwave Motion Sensor w/Battery Backup ²
					/LC/E = LightCloud w/Battery Backup ³

¹ 480V available only in WPX2 and WPX3 models
² Battery backup available only for WPX2 and WPX3 in 120-277V models

LIGHTING FIXTURE NOTES

ENGINEER'S SCOPE OF WORK IS FOR SELECTION AND MODELING OF SITE LIGHTING FOR BUILDING EXPANSION PER SHEET E1.0, AND COMPLIANCE WITH LIGHTING DISTRIBUTION WITH AUTHORITY HAVING JURISDICTION AND OWNER. THIS ENGINEER IS NOT RESPONSIBLE FOR DESIGNING LIGHTING CONTROLS, POWER SYSTEMS, PANEL SCHEDULES, DETAILED SCOPE OF WORK, DETAILS, ENERGY CONSUMPTION. NEW LIGHTING HAS NOT BEEN PERFORMED BY ENGINEER DUE TO UNAVAILABLE INFORMATION FOR THE EXISTING SITE AND SITE LIGHTING CONDITIONS. LIGHTING FIXTURE SPECIFICATION SHOWN IS SELECTED BY ENGINEER TO MEET THE MINIMUM REQUIREMENTS OF THE OWNER AND AUTHORITY HAVING JURISDICTION. THE ELECTRICAL CONTRACTOR (E.C.) SHALL NOT PROVIDE BID FOR USE OF LIGHTING FIXTURES SPECIFIED BY ENGINEER, WITHOUT FINAL APPROVAL FROM THE G.C. AND OWNER.

IF THE OWNER AND G.C. APPROVE USE OF THE LIGHTING FIXTURE AS SPECIFIED BY THE ENGINEER, THE OWNER AND G.C. SHALL COORDINATE THE OPTIONS AND SPECIFICATIONS AVAILABLE TO THE LIGHT FIXTURE FOR USE PRIOR TO ORDERING. RESPONSIBILITY OF INSTALLATION AND COORDINATION OF CONTROLS, NEW OR EXISTING, SHALL BE PROVIDED BY OTHERS, INCLUDING ANY DETAILS OR SUBMISSIONS REQUIRED.

ANY PROPOSED FIXTURE SUBSTITUTIONS, ALTERATIONS, RELOCATIONS, HEIGHT CHANGES, ETC. SHALL BE PROVIDED TO THE ENGINEER PRIOR TO FINAL BID. PROPOSED CHANGES SHALL BE EVALUATED AND PROVIDED WITH NEW PHOTOMETRIC DESIGN TO ENSURE COMPLIANCE. ENGINEER SHALL REJECT ANY CHANGES THAT CAUSE COMPLIANCE WITH LOCAL CODES AND ORDINANCES TO NOT BE MET. ANY CHANGES, SUBSTITUTIONS, ALTERATIONS, MODIFICATIONS, ETC. THAT ARE MADE BY THE E.C. WITHOUT ACCEPTANCE OF THE ENGINEER SHALL BE MADE AT THEIR OWN RISK AND RESPONSIBILITY, AND ANY CONDITIONS THAT ARE NOT IN COMPLIANCE WITH LOCAL CODES AND ORDINANCES SHALL BE AT E.C.'S EXPENSE TO CORRECT.

CASE
Engineering Inc.

796 Merus Court
St. Louis, MO 63026
T 636.349.1600
F 636.349.1730
CERTIFICATE OF AUTHORITY NO. F-20080

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