



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 409 W. WASHINGTON ST. ROCKWALL TX 75087

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION BLOCK 14, LOWE & ALLEN ADDITION, VOL. K, PG. 242 MAP RECORDS OF ROCKWALL CO.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING DOWNTOWN -

CURRENT USE

UNDEVELOPED

PROPOSED ZONING

PROPOSED USE

OFFICE BUILDING

ACREAGE

0.99

LOTS [CURRENT]

ONE

LOTS [PROPOSED]

ONE

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Washington Place on Hwy. 66 LP

APPLICANT

CONTACT PERSON Marlin Smith

CONTACT PERSON

ADDRESS 5196 Hwy 276 W

ADDRESS

Suite B27

CITY, STATE & ZIP Roysce City, TX 75189

CITY, STATE & ZIP

PHONE 972-922-6369

PHONE

E-MAIL smith.marlin@pm.me

E-MAIL

NOTARY VERIFICATION [REQUIRED]

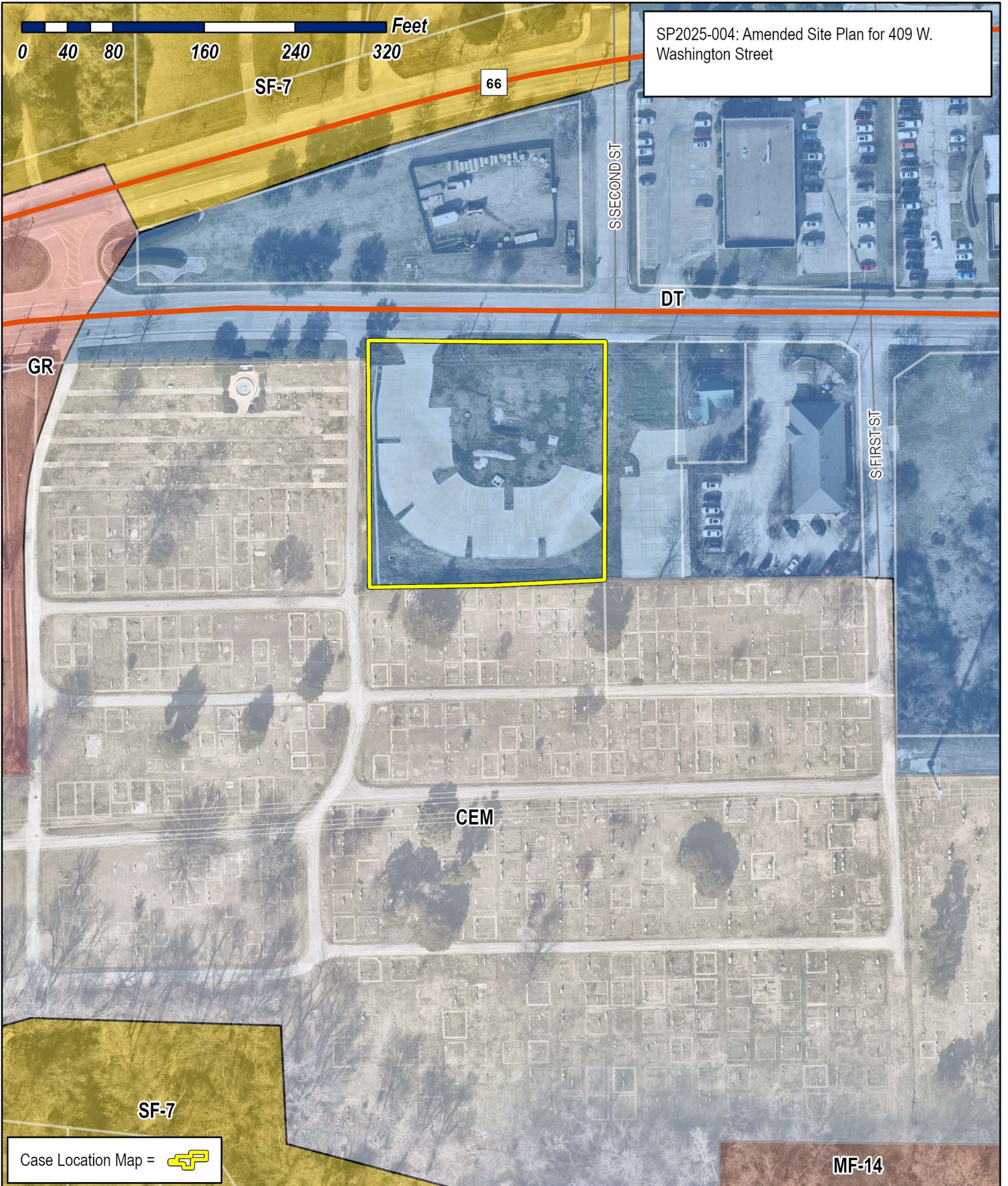
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Marlin Smith [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF February 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF Feb 2025
OWNER'S SIGNATURE Marlin R. Smith



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Chalie N Whitworth MY COMMISSION EXPIRES



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



BUILDERS COPY

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For Inspection Use



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



DATE	REVISIONS
06/22/2021	DESCRIPTION
	RESPONSE TO CITY COMMENTS

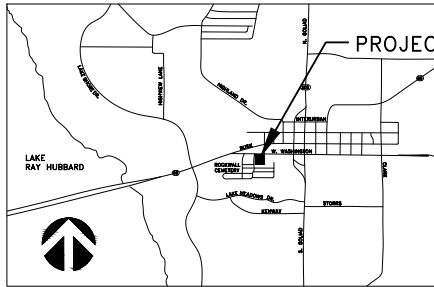
PROJECT NAME AND ADDRESS:
BUSINESS PARK
409 W. WASHINGTON
ROCKWALL, TEXAS 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	06/22/2021
SCALE	
SHEET NO.	of

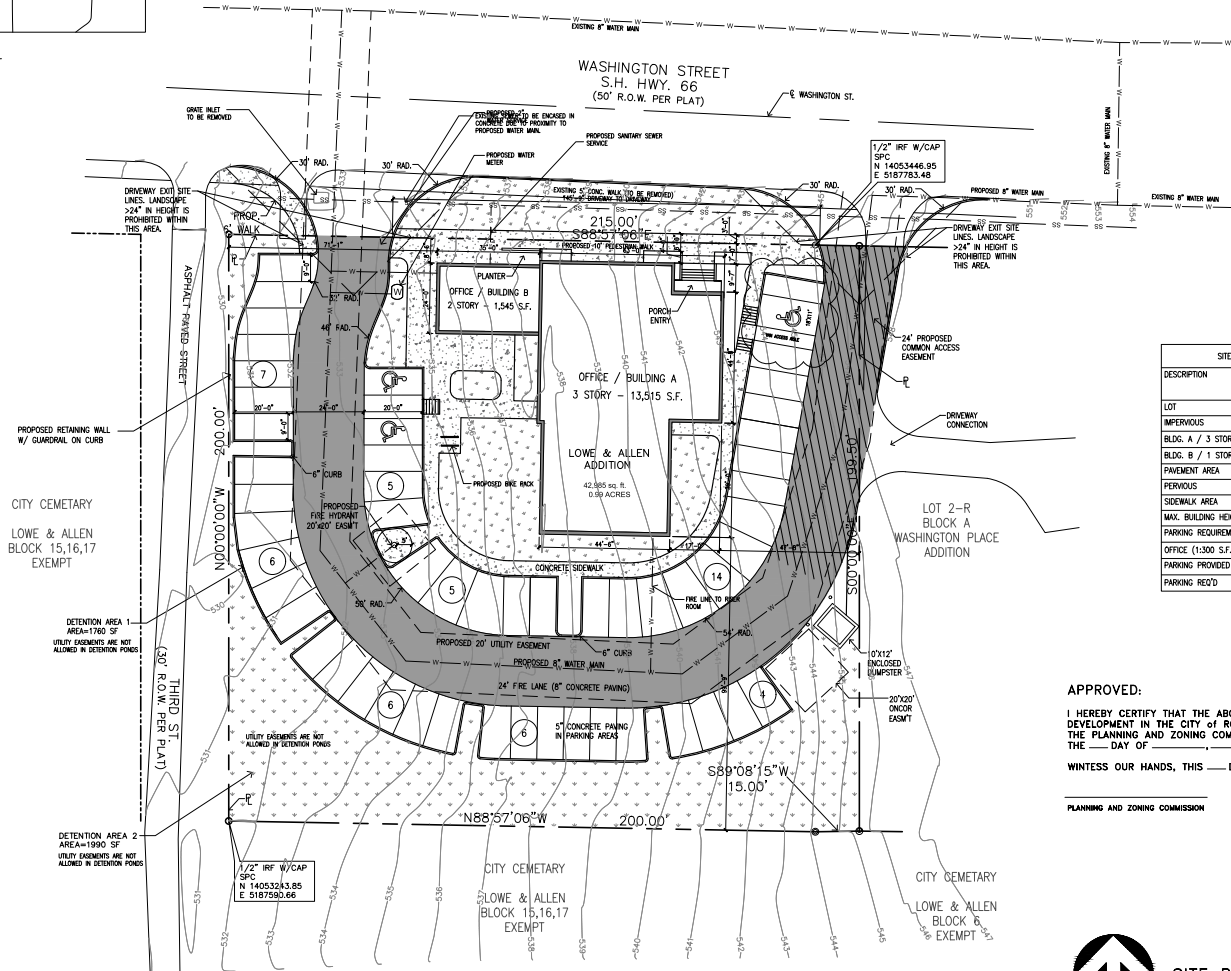
DRAWING NAME:
SITE PLAN

S1.0

SP2019-044



VICINITY MAP



SITE SUMMARY - COMMERCIAL ZONING

DESCRIPTION	LOT PERCENTAGE
LOT	42,985 S.F. 100 %
IMPERVIOUS	31,453 S.F. 73.1%
BLDG. A / 3 STORY SURFACE AREA	4,929 S.F. 11.4%
BLDG. B / 1 STORY SURFACE AREA	840 1.9%
PAVEMENT AREA	21,049 S.F. 48.9%
PERVIOUS	11,532 S.F. 26.8%
SIDEWALK AREA	4,635 S.F. 10.7%
MAX. BUILDING HEIGHT PROPOSED	40 FT 6 IN
PARKING REQUIREMENTS	
OFFICE (1:300 S.F.)	15,844 S.F.
PARKING PROVIDED	53
PARKING REQ'D	53

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____,

WITNESS OUR HANDS, THIS ____ DAY OF _____

PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING



SITE PLAN
SCALE: 1"=20'
0 20' 40'

OWNER/DEVELOPER:
LMGC, LLC
JIMMY MCCLINTOCK
(972)983-2222
3021 RIDGE RD.
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
RAMSAY & REYES, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT

2535 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



REV	DATE	DESCRIPTION
1	06/22/2021	ISSUED FOR PERMITS
2		REVISIONS
3		DESCRIPTION
4		REVISION TO CITY COMMENTS

PROJECT NAME AND ADDRESS:
BUSINESS PARK
409 W. WASHINGTON
ROCKWALL, TEXAS 75087

PROJECT No.	----
DRAWN BY	----
CHECKED BY	----
DATE	06/22/2021
SCALE	----
SHEET NO.	of

DRAWING NAME:
ELEVATION NORTH & SOUTH

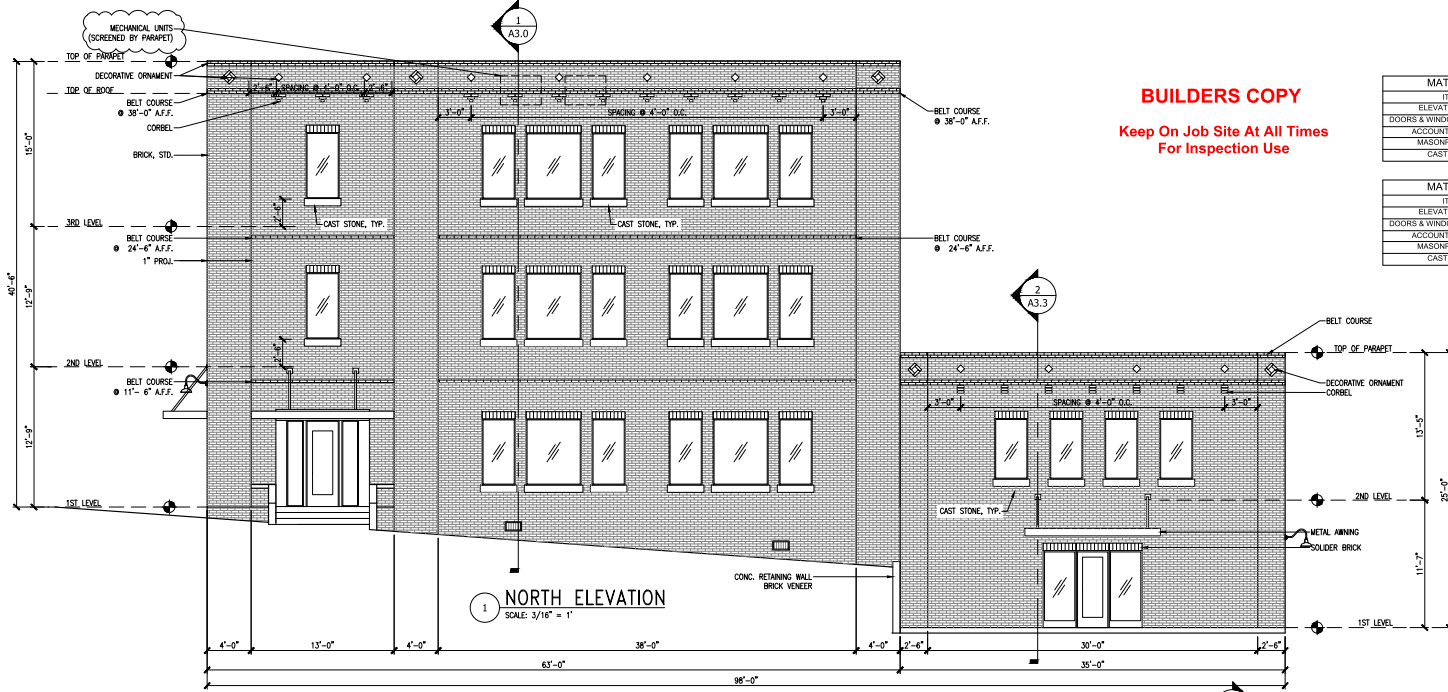
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SP2019-044

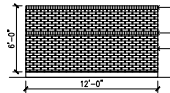
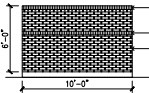
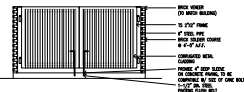
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ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		2,743	
DOORS & WINDOWS (DEDUCTED)		488	
ACCOUNTABLE AREA		2,255	100%
MASONRY - BRICK		2,178	96%
CAST STONE		77	4%

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		893	
DOORS & WINDOWS (DEDUCTED)		127	
ACCOUNTABLE AREA		766	100%
MASONRY - BRICK		740	96%
CAST STONE		26	4%



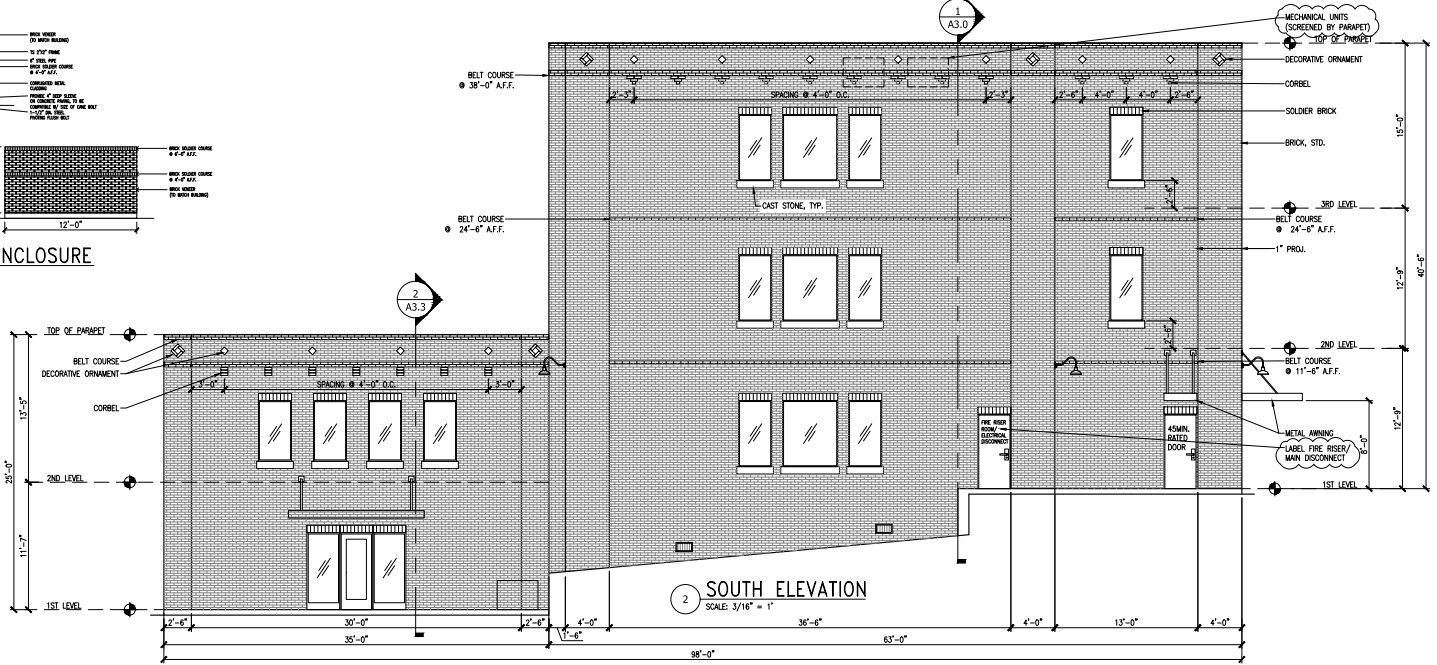
1 NORTH ELEVATION
SCALE: 3/16" = 1"



1 DUMPSTER ENCLOSURE
SCALE: 3/16" = 1"

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		2,804	
DOORS & WINDOWS (DEDUCTED)		233	
ACCOUNTABLE AREA		2,567	100%
MASONRY - BRICK		1,770	97%
CAST STONE		77	3%

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		803	
DOORS & WINDOWS (DEDUCTED)		107	
ACCOUNTABLE AREA		696	100%
MASONRY - BRICK		658	96%
CAST STONE		38	4%



2 SOUTH ELEVATION
SCALE: 3/16" = 1"



ARCHITECTONICS TEXAS, LLC
 ARCHITECTURE - MANAGEMENT
 2233 RIDGE RD. STE. 200
 ROCKWALL, TEXAS 75087



DATE	10/17/2021
REVISIONS	
DESCRIPTION	
RESPONSE TO CITY COMMENTS	
#	

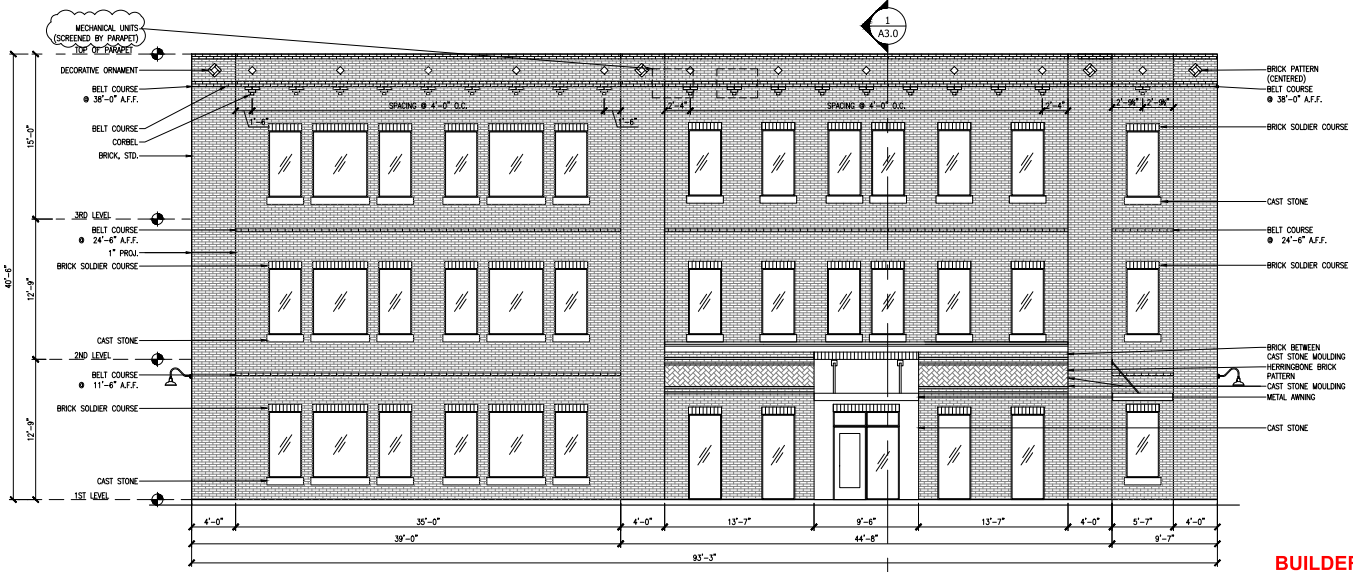
PROJECT NAME AND ADDRESS:
BUSINESS PARK
 409 W. WASHINGTON
 ROCKWALL, TEXAS 75087

PROJECT No.	----
DRAWN BY	
CHECKED BY	
DATE	06/22/2021
SCALE	
SHEET NO.	of

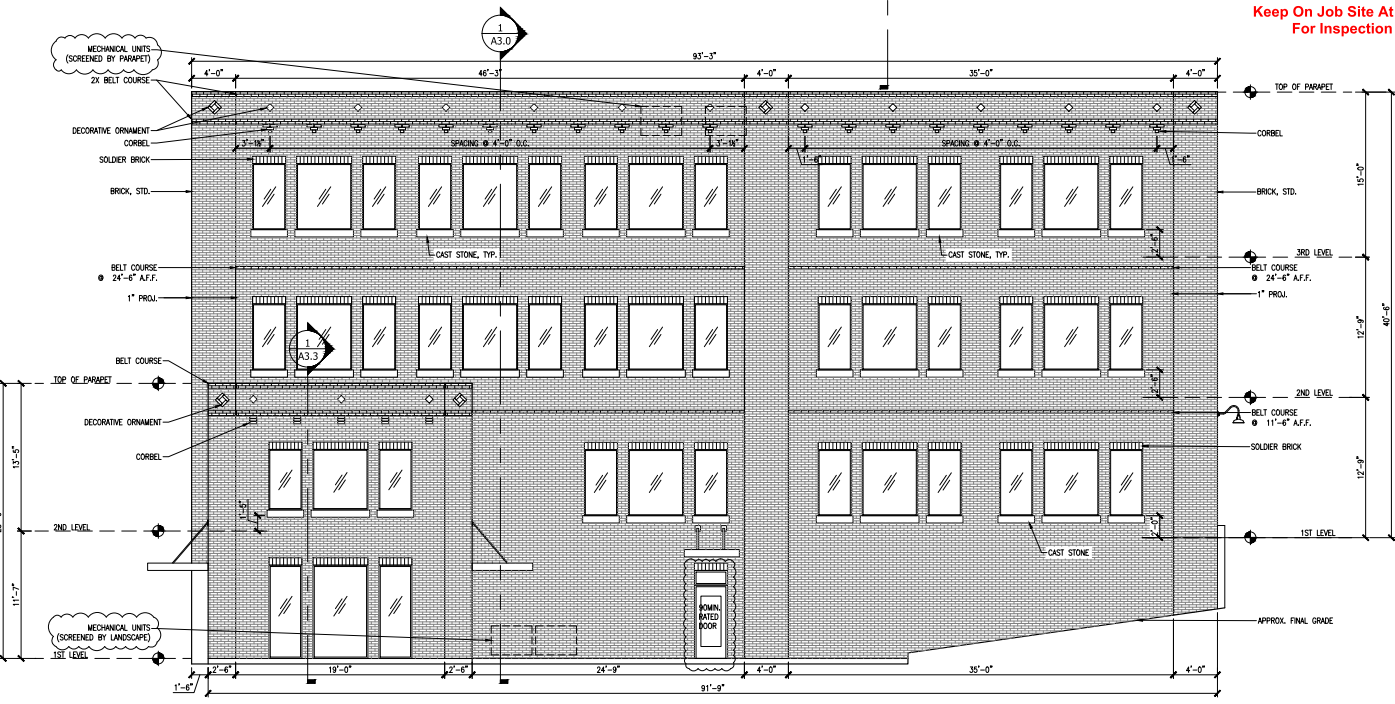
DRAWING NAME:
ELEVATION EAST & WEST

A2.1

SP2019-044



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MATERIAL USAGE (%) - BLDG 'A' EAST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		3,810	
DOORS & WINDOWS (DEDUCTED)		960	
ACCOUNTABLE AREA		3,150	100%
MASONRY		3,080	97%
CAST STONE		70	3%

MATERIAL USAGE (%) - BLDG 'A' WEST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		4,176	
DOORS & WINDOWS (DEDUCTED)		353	
ACCOUNTABLE AREA		3,323	100%
MASONRY		3,219	97%
CAST STONE		104	3%

MATERIAL USAGE (%) - BLDG 'B' WEST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		904	
DOORS & WINDOWS (DEDUCTED)		136	
ACCOUNTABLE AREA		468	100%
MASONRY		460	99%
CAST STONE		8	1%

PLANT SCHEDULE SITE SCREENING

TREES	CODE	BOTANICAL / COMMON NAME	CONT.	QTY
	Ao	Acer rubrum / October Glory / October Glory Red Maple 4" cal	0.0.0	4 16"
	Cl	Chilopsis linearis / Llaneta Hawthorn / Desert Willow 3" cal	0.0.0	5 15"
	Cp	Cordia florida / Chickadee Pinonac / White Dogwood 3" cal	0.0.0	2 6"
	Md	Magnolia grandiflora / D.D. Blanchard / Dwarf Magnolia 3" cal	0.0.0	2 6"
	Pa	Pinus attenuata / Algerian Pine 6" cal	0.0.0	2 12"
	Qn	Quercus macrocarpa / Bur Oak 6" cal	0.0.0	2 12"
	Qv	Quercus virginiana / Southern Live Oak 6" cal	0.0.0	2 12"
	Sr	Sophora secundiflora / Texas Mountain Laurel 2" cal	0.0.0	3 6"
	U	Ulmus parviflora / Chinese Lacebark Elm 4" cal	0.0.0	4 16"
	Vc	Viburnum coccineum / Chalk Tree 3" cal	0.0.0	10 30"
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	Hb	Hesperaloe parviflora / Red Yucca	3 gal	8
	Lm	Lantana montevidensis / New Gold / Gold Lantana	3 gal	3
	Lg	Leucophyllum frutescens / Green Cloud TM / Texas Ranger	3 gal	12
	Ls	Ligularia sinensis / Sunshine / Sunshine Ligularia	3 gal	30
	Lr	Loxostemum chinensis / Purple Diamond / Fringe Flower	3 gal	21
	Mh	Muhlenbergia capensis / Soft-Carex Muhlenbergia	3 gal	7
	Ma	Miscanthus sinensis / Adagio / Dwarf Maiden Grass	3 gal	6
	Pv	Pithecolobium birtneyi / Variegated Mock Orange	3 gal	13
	Pw	Pithecolobium birtneyi / Dwarf / Dwarf Pithecolobium	3 gal	5
	Rp	Rosa rugosa / Primal / Trailing Rosemary	3 gal	7
	Sg	Salvia greggii / Pink / Pink Autumn Sage	3 gal	6
	Yp	Yucca penzance / Soft Leaf Yucca	3 gal	2
CACTI	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	Ar	Agave schottlandii / Prissy Blue / Whale's Tongue Agave	3 gal	3
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT.	QTY
	Ch	Cyperus tectonum / 419 Hybrid / Bermuda Grass	wtb	3,321 w

REQUIRED PLANTINGS

A. STREET TREES
1 TREE FOR EVERY 50 L.F. OF FRONTAGE W Washington Street - 215' x 50' + 4.3

4 TREES REQUIRED
(6) 3" TREES PROVIDED
(1) 6" TREE PROVIDED

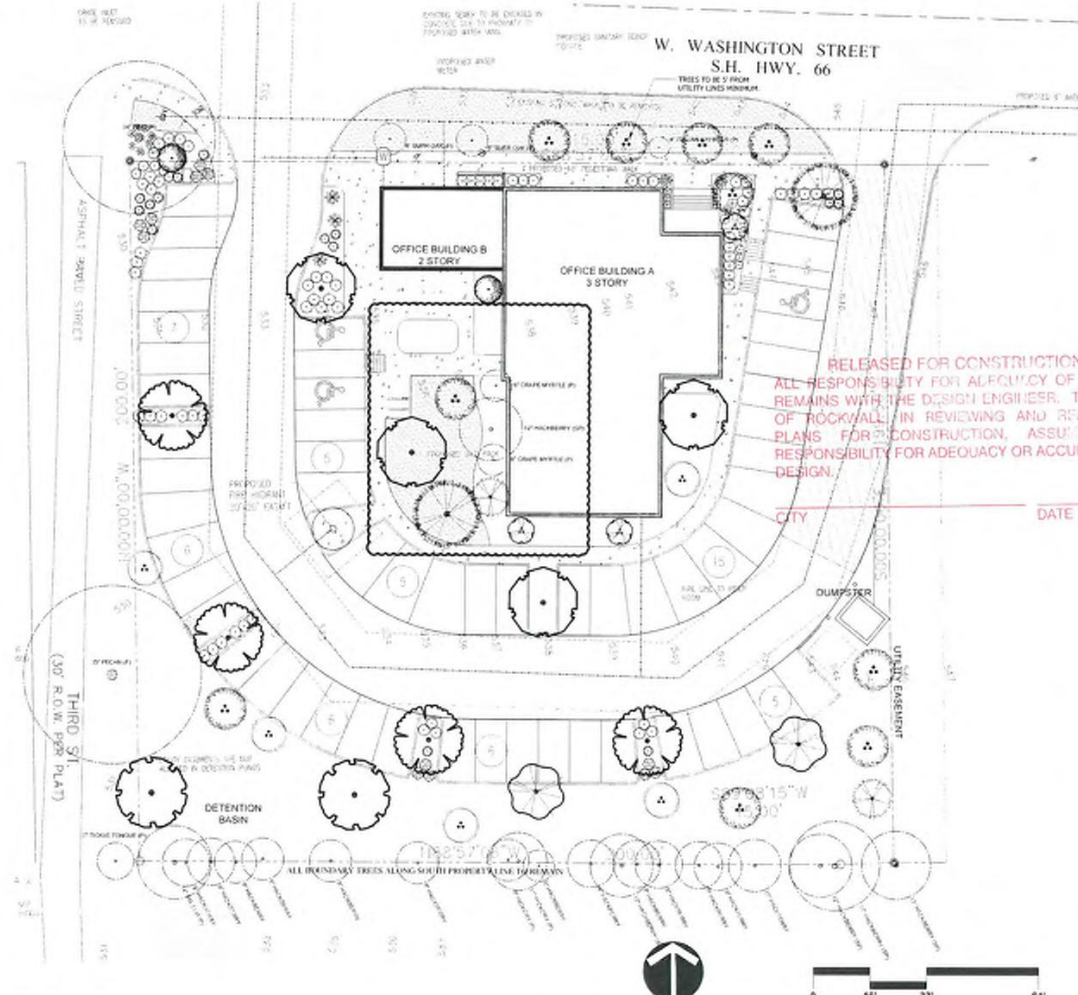
THE IRRIGATION SYSTEM FOR THIS PROJECT IS TO CONSIST OF A 12 STATION SMART CONTROLLER WITH WI-FI CAPABILITIES AND A WIRELESS RAIN / FREEZE SENSOR. SHRUBS WILL BE IRRIGATED WITH IN-LINE DRIP TUBE FED FROM 1" DRIP ZONE VALVE ASSEMBLY. LAWN AREAS TO BE IRRIGATED WITH LOW FLOW ROTARY NOZZLES ON 4" POP-UP BODIES. POINT OF CONNECTION, BACKFLOW, WAVE STRAINER AND SHUT OFF VALVE TO BE INSTALLED PER CITY OF HOUSTON STANDARD IRRIGATION REQUIREMENTS.

NOTE:
NO TREES TO BE WITHIN 5' OF PUBLIC UTILITIES

TREE DESIGNATION KEY

SYMBOL	DESCRIPTION	MITIGATION RATIO
P	PROTECTED TREE	(1:1)
SP	SECONDARY PROTECTED TREE	(1:3)
F	FEATURE TREE	(1:3)
D	DISEASED TREE PER ARBORIST	(1:6)

JUL 1, 1997	
ITEM	QTY
CEILING	4,780 SF
FLOORING	2,220 SF
MECH. E.L.V. (1) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (2) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (3) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (4) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (5) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (6) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (7) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (8) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (9) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (10) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (11) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (12) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (13) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (14) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (15) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (16) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (17) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (18) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (19) 1000 GPM/HR. WEL	418 SF
MECH. E.L.V. (20) 1000 GPM/HR. WEL	418 SF



RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE
OFFICE OF ROCKWALL, IN REVIEWING AND REVISING
PLANS FOR CONSTRUCTION, ASSUMES
RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF
DESIGN.

409 W WASHINGTON
LANDSCAPE PLANS

MAVER
LANDSCAPE ARCHITECTURE
P.L.L.C.
2617 N. WASHINGTON
PLANO, TX 75074
PHONE: (972) 336-9825
MAY 28, 2020

PLANTING PLAN

BUSINESS PARK
409 W WASHINGTON ST
ROCKWALL, TX 75087

19-20-03
MAY 28, 2020

L2.1

TREES TO BE PRESERVED

TREES TO BE REMOVED

TREE REMOVAL SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	TYPE	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
A	Lagerstroemia indica	Crape Myrtle	PROTECTED	MULTI	7"	1.1	7"	REMOVE
B	Cela occidentalis	Hackberry	FEATURE	STANDARD	34"	1.05	21"	REMOVE
C	Quercus virginiana	Live Oak	PROTECTED	STANDARD	12"	1.1	12"	REMOVE
D	Cela occidentalis	Hackberry	SECONDARY	STANDARD	12"	1.05	6"	REMOVE
E	Cela occidentalis	Hackberry	SECONDARY	STANDARD	25"	1.05	15"	REMOVE
F	Carya texana	Black Hickory	PROTECTED	STANDARD	7"	1.1	7"	REMOVE
G	Lagerstroemia indica	Crape Myrtle	PROTECTED	MULTI	6"	1.1	6"	REMOVE
H	Ulmus americana	American Elm	PROTECTED	STANDARD	7"	1.1	7"	REMOVE
I	Fraxinus texensis	Texas Ash	FEATURE	STANDARD	34"	1.2	66"	REMOVE
J	Cela occidentalis	Hackberry	SECONDARY	STANDARD	15"	1.05	8"	REMOVE
K	Carya floridensis	Pecan	DISEASED	STANDARD	28"	1.0	0"	REMOVE
L	Quercus macrocarpa	Burr Oak	PROTECTED	STANDARD	6"	1.1	6"	REMOVE

TOTAL CALIPER INCHES OF TREES TO BE REMOVED: 158'

158 x 20% = 31.6 - 12" minimum to be planted as mitigation

A diseased arborvitae has determined that tree 'L' is diseased and should be removed to prevent property damage

The intent of this drawing is to show existing trees to be preserved or removed in order to develop the proposed project. Property owner will be responsible for any fees or penalties of the City of Rockwall. Demolition contractor is responsible for ensuring all required permits and paperwork from the City of Rockwall are in place before beginning demolition.

Refer to The City of Rockwall - Article IX - TREE PRESERVATION

also The City of Rockwall - Article VIII - LANDSCAPE STANDARDS

THERE ARE THREE EXISTING FEATURE TREES ON THIS SITE (ie: 25" caliper or more of the protected species) THESE TREES ARE TO BE REMOVED.

NOTE: ALL BOUNDARY TREES ALONG THE SOUTH PROPERTY LINE ARE TO REMAIN. PROTECT ANY TREES THAT ARE CLOSE PROXIMITY TO GRADING OR CONSTRUCTION ACTIVITIES.

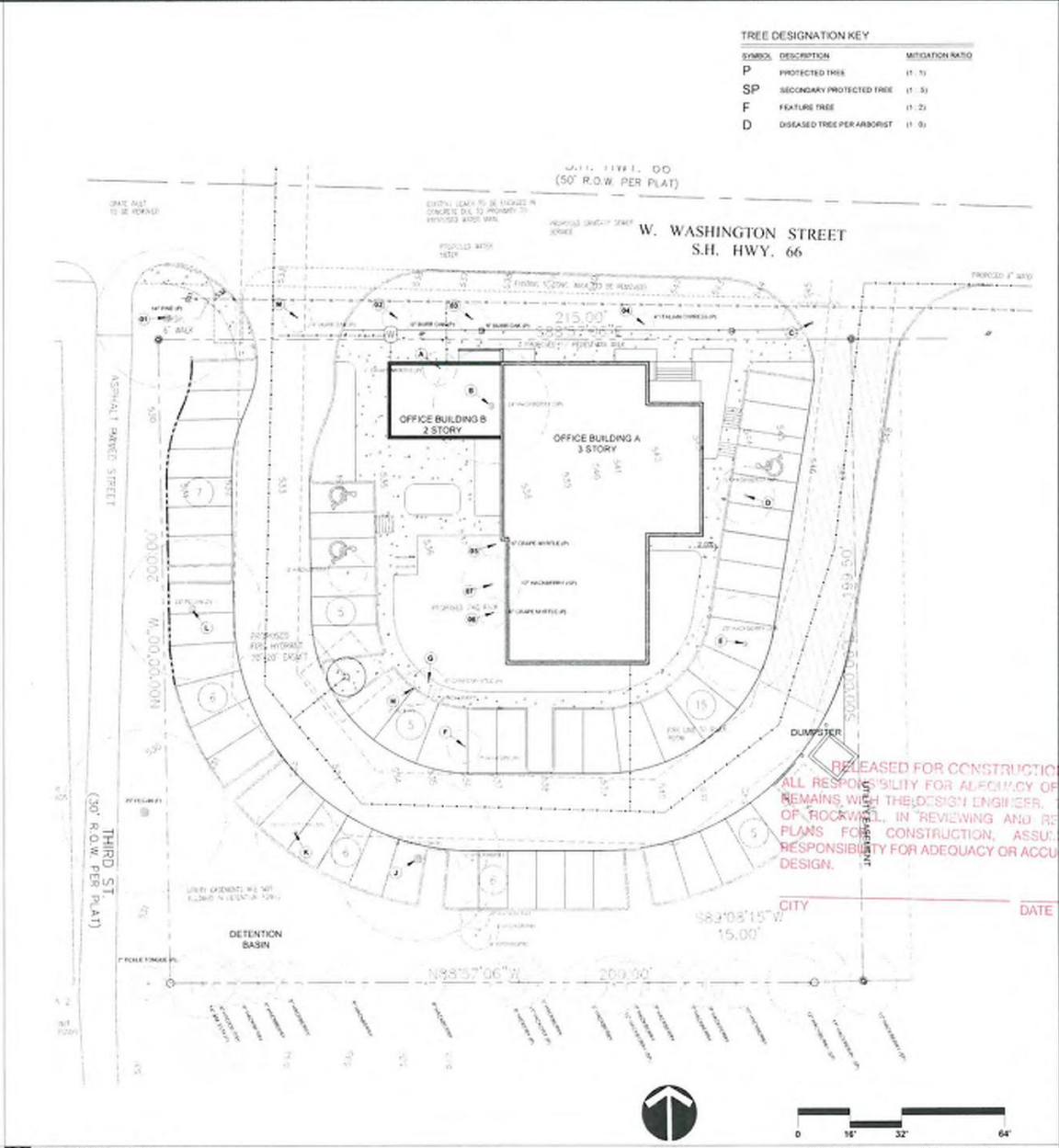
SECTION 5 - TREE MITIGATION REQUIREMENTS

The tree mitigation requirements shall apply to all properties that do not fall under the exemptions listed in section 1.3. Exemptions of this article. In addition, if a mitigation plan is not submitted, the applicant and/or property owner shall account for the number of inches of tree being removed using the following criteria:

- Primary protected trees: Primary protected trees measuring four inches through 25 inches DBH shall be replaced on an inch-for-inch basis (i.e. the total number of caliper inches of tree being replaced shall equal the total number of caliper inches being removed).
- Secondary protected trees: Hackberry and cedar trees measuring 11 inches through 25 inches DBH shall be replaced with a half-inch for every inch removed (i.e. the total number of caliper inches of tree required to be replaced shall be half (70) of the inches being removed).
- Featured trees: Featured trees (i.e. all trees greater than 25 inches) shall be replaced with twice the number of inches being removed (i.e. the total number of caliper inches of tree being replaced shall be twice the number of caliper inches being removed).
- Non-protected trees: No mitigation will be required for the removal of any tree that is less than four inches DBH or less than 11 inches DBH for hackberry and cedar trees. In addition, no mitigation shall be required for the removal of Bos. A.C. white, cottonwood, sycamore and Chinquapin trees.
- Tree preservation credits: For each street oak, pecan or elm tree 25 inches DBH or greater the mitigation balance can be reduced on an inch-for-inch basis for up to 20 percent of the total mitigation balance (i.e. total mitigation balance + 20 percent = Total eligible tree preservation credits).
- Mitigation balance: The total mitigation balance (i.e. mitigation balance + tree preservation credits + total mitigation balance) may be calculated through one or a combination of the following:
 - The developmentally owner can provide the required number of trees three-inch caliper DBH minimum on the subject property to offset the total mitigation balance (i.e. if the total mitigation balance is nine inches then three three-inch caliper trees could be planted on site to satisfy the mitigation requirements).
 - The developmentally owner may petition the parks and recreation department to accept the required number of trees three-inch caliper DBH minimum to offset the total mitigation balance (i.e. if the total mitigation balance is nine inches then three three-inch caliper trees could be submitted to the parks and recreation department to satisfy the mitigation requirements). Depending on the number of trees being submitted the director of parks and recreation or his/her designee could require a facilities agreement be signed prior to accepting the trees.
 - Tree preservation credits may be purchased at a rate of \$200.00 per inch for up to 20 percent of the total replacement inches (e.g. if total mitigation required was 100 inches the developmentally owner could pay a total of \$4,000.00 (i.e. (20% + 100) = \$200.00 = \$4,000.00) into the city's tree fund. However, the developmentally owner would still be required to satisfy a remaining tree mitigation balance of 80 inches). In addition, if the developmentally owner plants a tree on (1) the property for which the tree preservation credit was assessed or (2) a location that is mutually agreed upon by the city and the developmentally owner, the developmentally owner shall be eligible for a reduction in the total tree preservation credits of up to 50 percent. These funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, streets, along rights-of-way or other similar areas as determined by the parks and recreation department.
 - Trees removed by article 108, landscape standards, of the Unified Development Code shall be permitted to be subtracted from the total mitigation balance if located on the site as part of the required landscaping.
- Alternative tree mitigation landowner agreements: In certain cases, the city council upon recommendation from the planning and zoning commission may consider an alternative tree mitigation landowner agreement which, due to hardship, the applicant is unable to meet the requirements of this article or where it is determined that adherence to the tree mitigation requirements will create a hardship for an applicant. These funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, streets, along rights-of-way, or other similar areas as determined by the parks and recreation department.

TREE DESIGNATION KEY

SYMBOL	DESCRIPTION	MITIGATION RATIO
P	PROTECTED TREE	(1 : 1)
SP	SECONDARY PROTECTED TREE	(1 : 3)
F	FEATURE TREE	(1 : 2)
D	DISEASED TREE PER ARBORIST	(1 : 0)



RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER, CITY
OF ROCKWALL, IN REVIEWING AND REVISIONS
PLANS FOR CONSTRUCTION, ASSUMING
RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF
DESIGN.

409 W WASHINGTON
LANDSCAPE PLANS

Landscaping Architect
TX #262517 #853
2617 Jaramore Lane
Rockwall, TX 75087
mja@mayerstudio.com



NO.	DATE	BY	REVISION

TREESCAPE PLAN

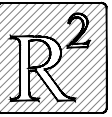
DATE: _____
BUSINESS PARK
409 W WASHINGTON ST
ROCKWALL, TX 75087

19-20-03
MAY 28, 2020

L1.1

B SCHEDULE AND NOTES

A TREESCAPE PLAN



R Squared Consulting
Engineers, Inc.



Richard L. Herlihy

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CONSULTANTS

409 Washington

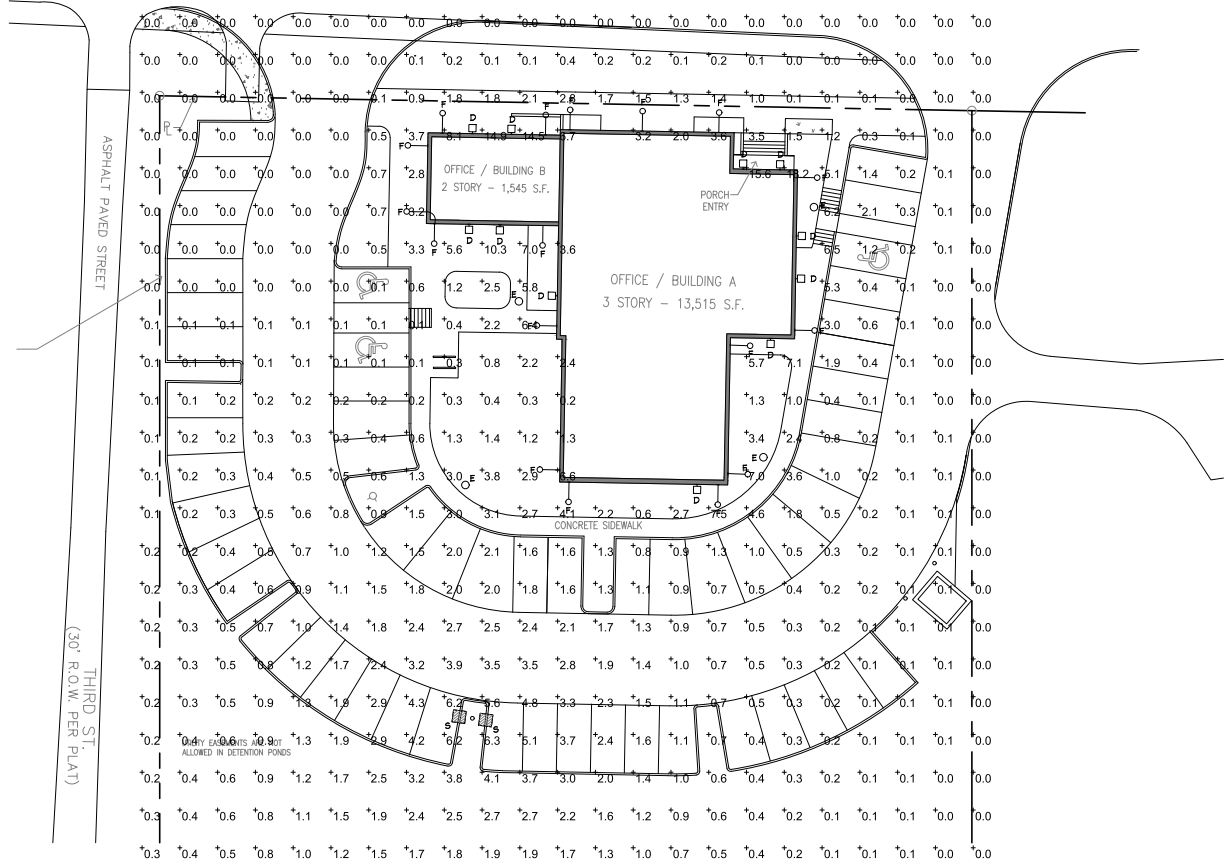
MARK	DATE	DESCRIPTION
ISSUE:	04/23/2022	
PROJECT NO:	1803	
FILE:	Photometric Plan.dwg	
DRAWN BY:	RL	
CHECKED BY:	RL	

SHEET TITLE

PHOTOMETRIC
PLAN

E2.5

WASHINGTON STREET
S.H. HWY. 66
(50' R.O.W. PER PLAT)



01 PHOTOMETRIC SITE PLAN
SCALE: 1/8"=1'-0"

BUILDERS COPY
Keep On Job Site At All Times
For Inspection Use