



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1915 Alpha Dr. Suite 400, Rockwall TX 75087

SUBDIVISION Ellis Centere-2 LOT 2 BLOCK D

GENERAL LOCATION Gamma Ct and Alpha Dr

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Shell Space / New Construction

PROPOSED ZONING Warehouse / retail space

PROPOSED USE Electrical supply Warehouse/retail showroom

ACREAGE <1 acre

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER QA Logistics Parkville LP

APPLICANT CEO Rockwall

CONTACT PERSON Marshall Hanson

CONTACT PERSON MICHAEL JAQUETTE

ADDRESS 12001 N CENTRAL EXPY  
SUITE 200

ADDRESS 1915 ALPHA DR SUITE 400

CITY, STATE & ZIP DALLAS, TX 75243

CITY, STATE & ZIP ROCKWALL TX 75087

PHONE 972-415-4911

PHONE 714-476-3151

E-MAIL MARSHALL@ATZAP.COM

E-MAIL MJAQUETTE@CEORockwall.com

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MARSHALL HANSON [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

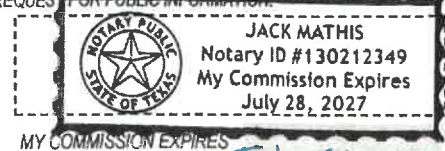
<sup>1</sup> HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE Fifteenth DAY OF November, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR CITY PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF NOVEMBER, 2024.

OWNER'S SIGNATURE

*[Signature]*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS




MY COMMISSION EXPIRES

July 28, 2027



Z2024-057: Specific Use Permit (SUP) for a Warehouse/Retail store at 1915 Alpha Drive, Suite 140

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

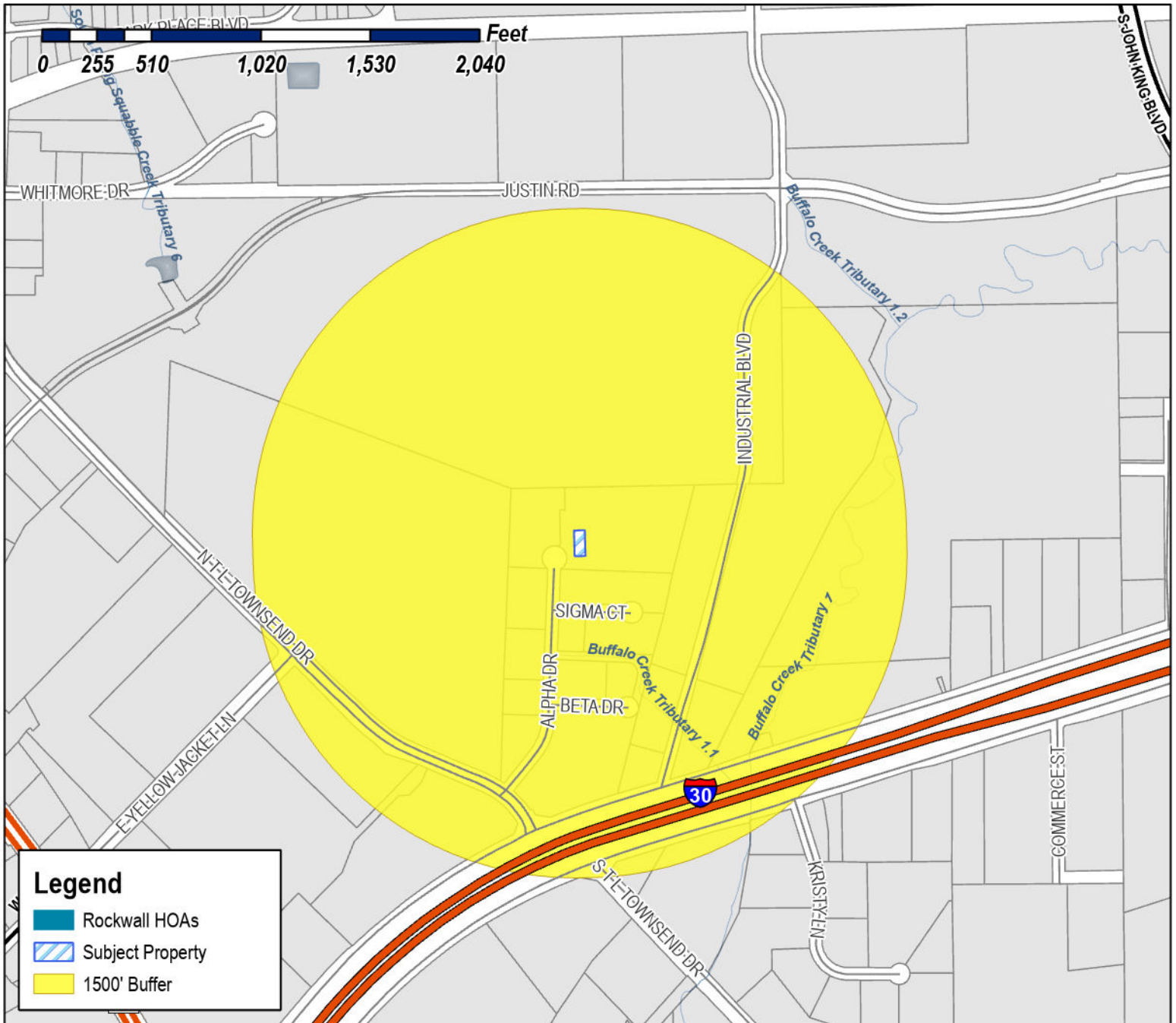




# City of Rockwall

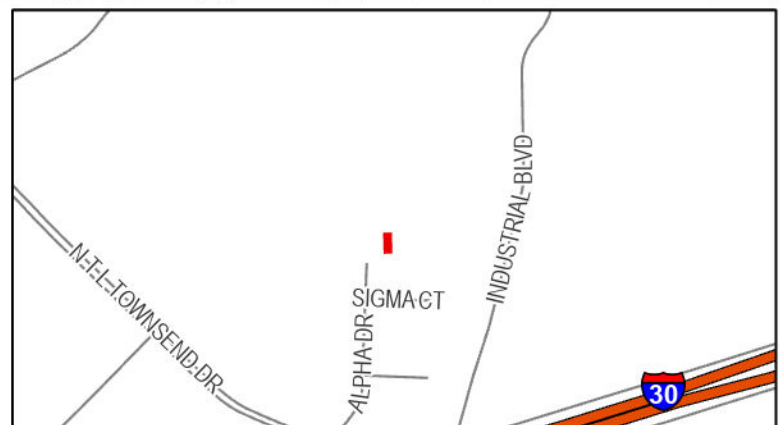
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2024-057  
**Case Name:** SUP for a Warehouse/ Retail Store  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1915 Alpha Drive Suite 140

**Date Saved:** 11/19/2024  
 For Questions on this Case Call (972) 771-7745





# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

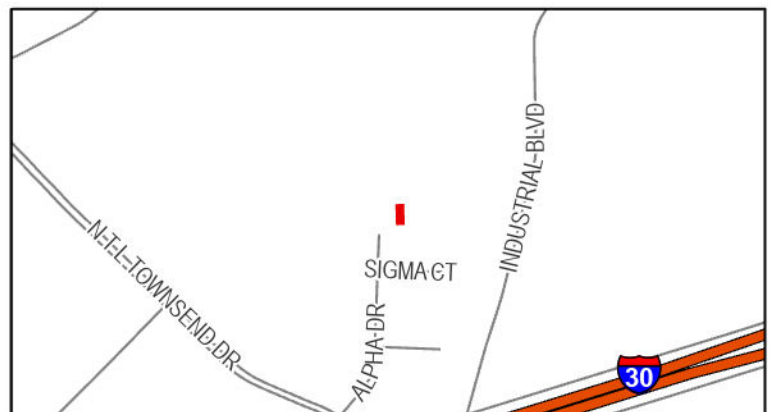
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2024-057  
**Case Name:** SUP for a Warehouse/ Retail Store  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1915 Alpha Drive Suite 140

**Date Saved:** 11/19/2024

For Questions on this Case Call: (972) 771-7745



RESIDENT  
1197 T L TOWNSEND DR  
ROCKWALL, TX 75087

QA LOGISTICS ROCKWALL LP  
C/O ATCAP PARTNERS LLC  
12001 N CENTRAL EXPY STE 200  
DALLAS, TX 75243

RESIDENT  
1203 BETA CT  
ROCKWALL, TX 75087

RESIDENT  
1203 SIGMA CT  
ROCKWALL, TX 75087

MITCHELL II LTD  
1208 SIGMA CT  
ROCKWALL, TX 75087

ELLIS RICHARD M III AND  
DAVID M ELLIS AND JODY M ELLIS AND CHARLES  
M ELLIS  
1223 WATERSIDE CIR  
DALLAS, TX 75218

SVEA INDUSTRIAL II LLC  
12333 SOWDEN RD STE B  
HOUSTON, TX 77080

RESIDENT  
1905 ALPHA CT  
ROCKWALL, TX 75087

CANINE PROPERTIES LLC  
1920 ALPHA DR  
ROCKWALL, TX 75087

RESIDENT  
1930 ALPHA DR  
ROCKWALL, TX 75087

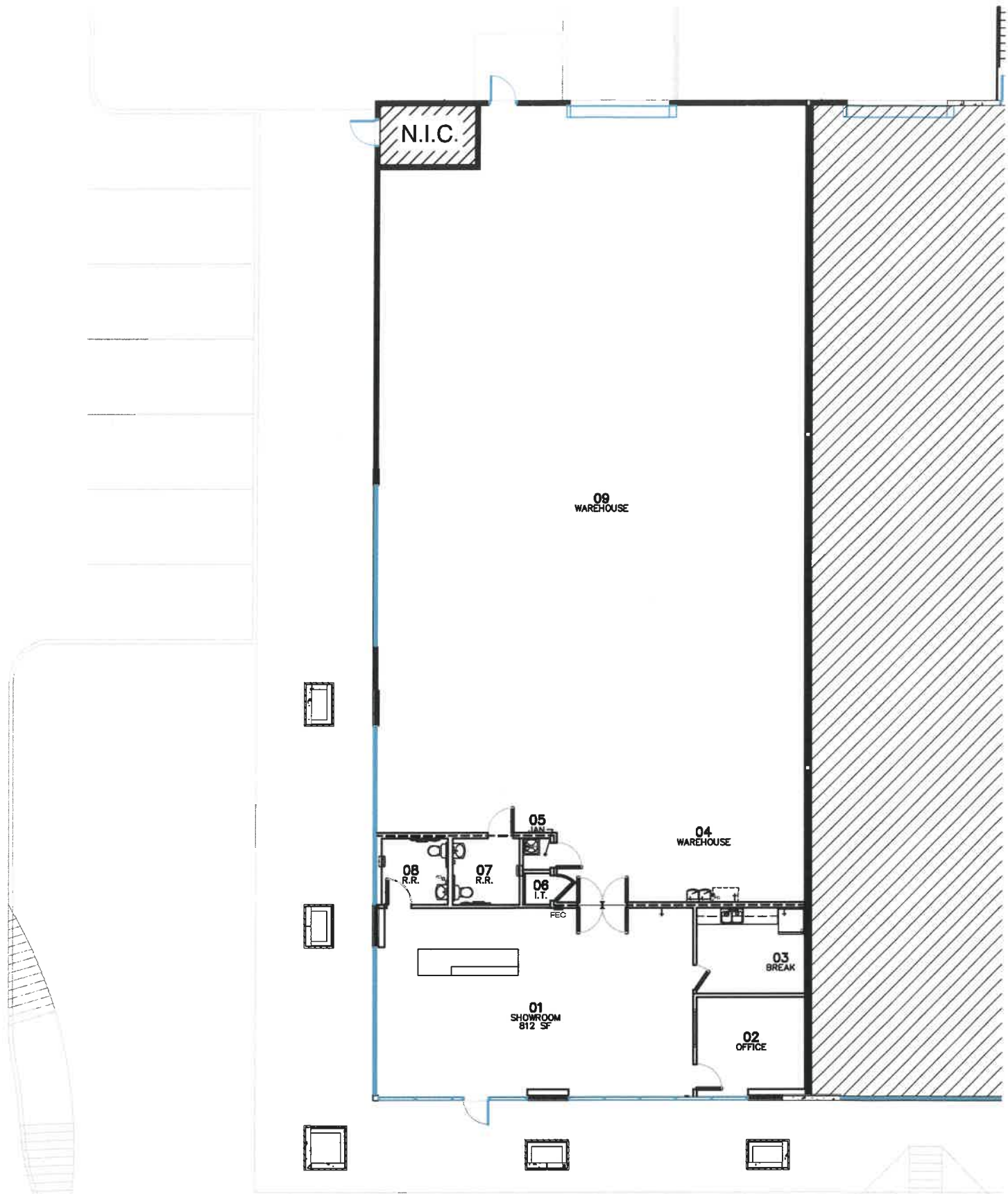
RESIDENT  
2005 INDUSTRIAL  
ROCKWALL, TX 75087

BASK INVESTMENTS LLC  
401 COLUMBIA DR ROCKWALL TX 75032

ROCKWALL STEEL CO  
PO BOX 159  
ROCKWALL, TX 75087

SPEC AERO PROPERTIES LP  
PO BOX 683  
GREENVILLE, TX 75403

AMAZON.COM SERVICES LLC  
C/O AMAZON PROPERTY TAX  
PO BOX 80416  
SEATTLE, WA 98108



**1** PROPOSED CONSTRUCTION PLAN  
 SCALE: 1/16"=1'-0" OFFICE SF: 6,213



FOR REFERENCE ONLY

11/13/2024

1915 ALPHA DR. | STE. 400  
 ROCKWALL, TX

