



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1801 Goliad Street

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION Dairy Queen

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Zone C

CURRENT USE Dairy Queen

PROPOSED ZONING _____

PROPOSED USE Enterprise Rent A Car

ACREAGE 1.15

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

Enterprise Rent A Car

CONTACT PERSON _____

CONTACT PERSON

Eric Heideloff

ADDRESS _____

ADDRESS

8200 John Carpenter Freeway

CITY, STATE & ZIP _____

CITY, STATE & ZIP

Dallas, TX 75247

PHONE _____

PHONE

330-351-6079

E-MAIL _____

E-MAIL

Eric.C.Heideloff@em.com

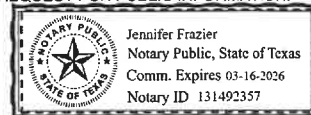
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED TRACY DARROLL Rep for DAIRYROCK, LLC [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 200.00 + 15/acre. TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF September, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF September, 2024.

OWNER'S SIGNATURE

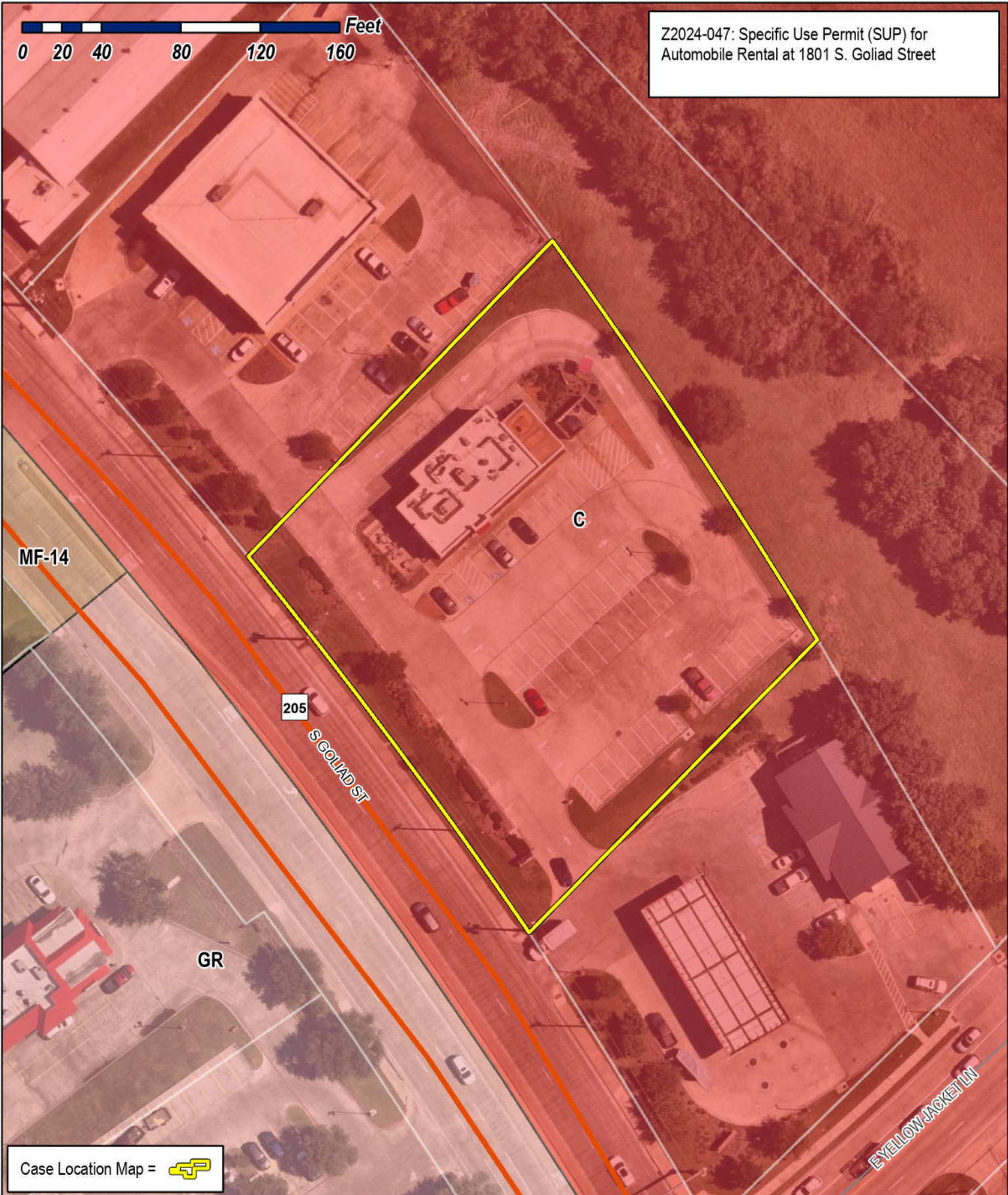



MY COMMISSION EXPIRES 03/16/2026

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



Z2024-047: Specific Use Permit (SUP) for Automobile Rental at 1801 S. Goliad Street



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

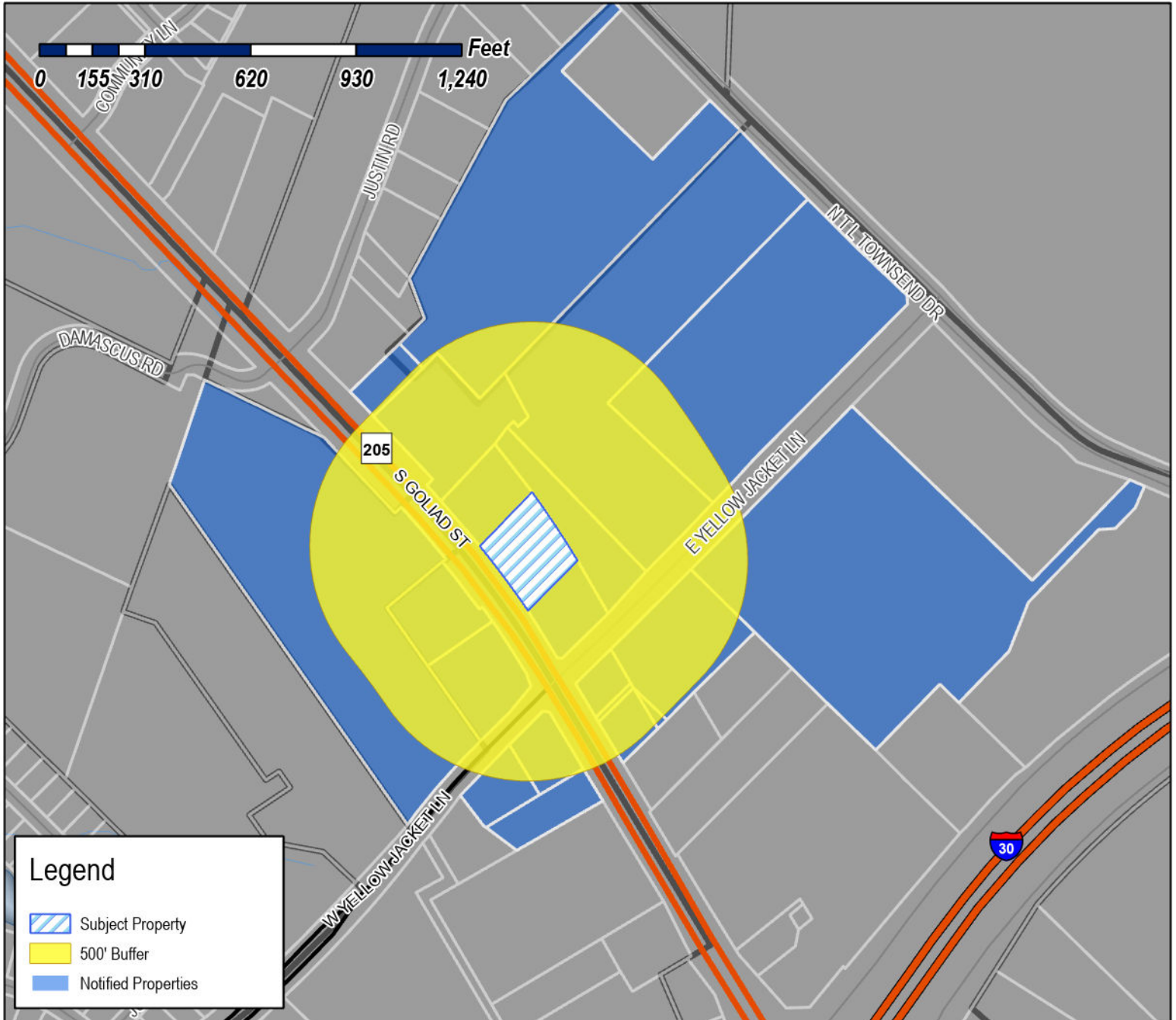




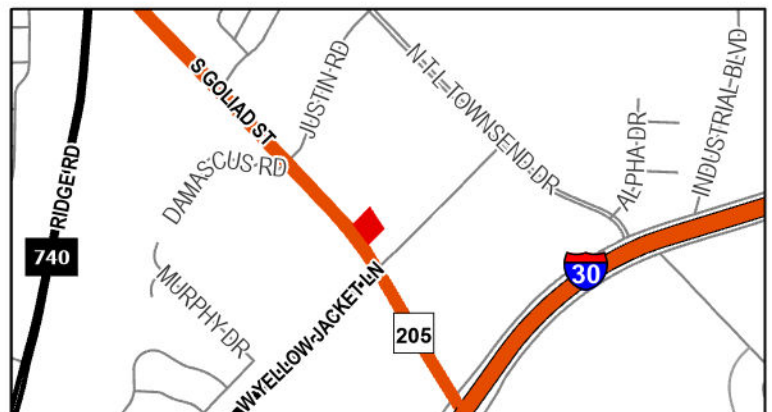
City of Rockwall

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Case Number: Z2024-047
Case Name: SUP for Automobile Rental
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1801 S. Goliad Street



Date Saved: 9/16/2024

For Questions on this Case Call: (972) 771-7745

RESIDENT
GOLIAD
ROCKWALL, TX 75087

RESIDENT
GOLIAD
ROCKWALL, TX 75087

RESIDENT
YELLOW JACKET LN
ROCKWALL, TX 75087

RESIDENT
YELLOW JACKET LN
ROCKWALL, TX 75087

ROCKWALL COUNTY
C/O CRIMINAL DIST ATT
1101 RIDGE RD STE 105
ROCKWALL, TX 75087

RESIDENT
1111 E YELLOWJACKET LN
ROCKWALL, TX 75087

RESIDENT
1121 YELLOW JACKET LN
ROCKWALL, TX 75087

MTK REAL ESTATE INVESTMENTS LLC
1131 RIDGE ROAD
ROCKWALL, TX 75087

RESIDENT
1196 N T L TOWNSEND DR
ROCKWALL, TX 75087

FIRST UNITED METHODIST CHURCH
FINANCE OFFICE
1200 E YELLOW JACKET LN
ROCKWALL, TX 75087

RESIDENT
1407 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1410 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1411 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1415 S GOLIAD ST
ROCKWALL, TX 75087

SMAJLI MARIO
1426 MURPHY DRIVE
ROCKWALL, TX 75087

PRITCHARD DONNA CULLINS
1610 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1801 S GOLIAD
ROCKWALL, TX 75087

LONE STAR CHICKEN LP
1810 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
1815 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1901 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1902 S GOLIAD
ROCKWALL, TX 75087

UHLIG JANET KAY &
1903 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
1920 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
2002 S GOLIAD
ROCKWALL, TX 75087

LANDLOW LLC
2070 PONTCHARTRAIN
ROCKWALL, TX 75087

ERNIES RENTAL HEADQUARTERS INC (ERHI) AND
2540 VILLAGE COMMON DRIVE
ERIE, PA 16506

DAIRYROCK LLC
300 SE 5TH AVENUE #4100
BOCA RATON, FL 33432

RETAIL BUILDERS INC
3000 NE 63RD ST
OKLAHOMA CITY, OK 73121

BRC CP PEBBLE PROPERTY LLC
4925 GREENVILLE AVE STE 860
DALLAS, TX 75206

LEGACY 316 BJJ HOLDINGS LLC
519 E INTERSTATE 30 #605
ROCKWALL, TX 75087

ALDERS AT ROCKWALL PROPERTY LLC
5925 FOREST LANE STE 502
DALLAS, TX 75230

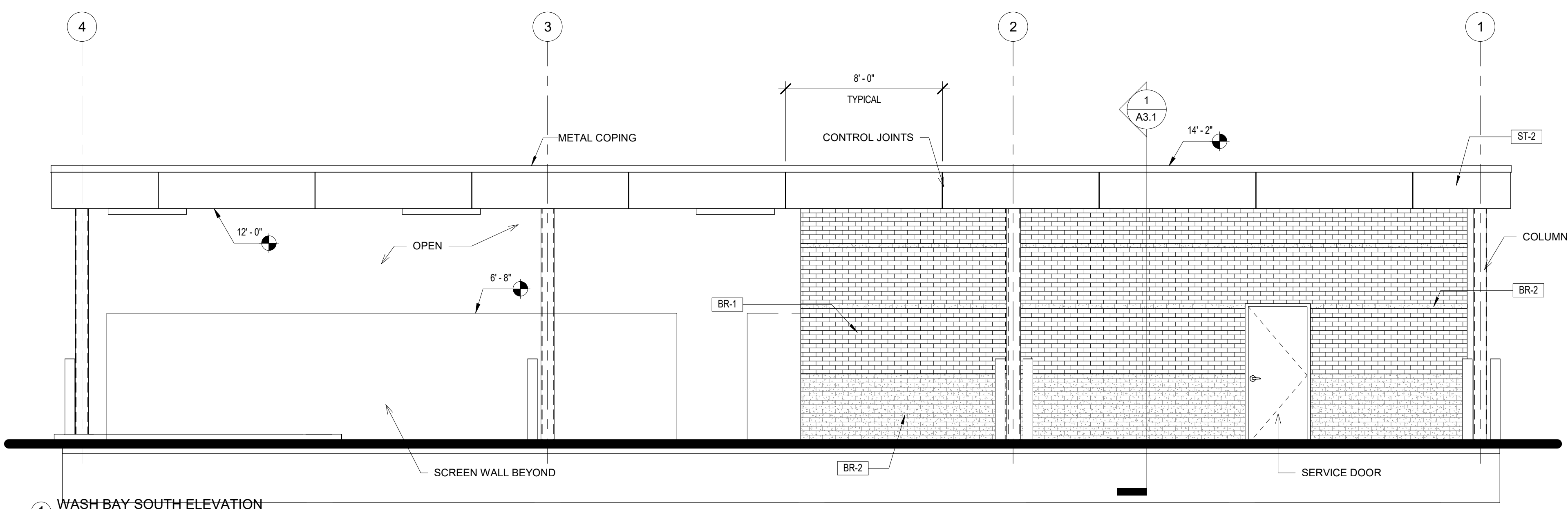
COX MORRIS G
6902 ELLSWORTH AVENUE
DALLAS, TX 75214

YELLOW JACKET OB 1 LLC
800 EAGLE PASS
HEATH, TX 75032

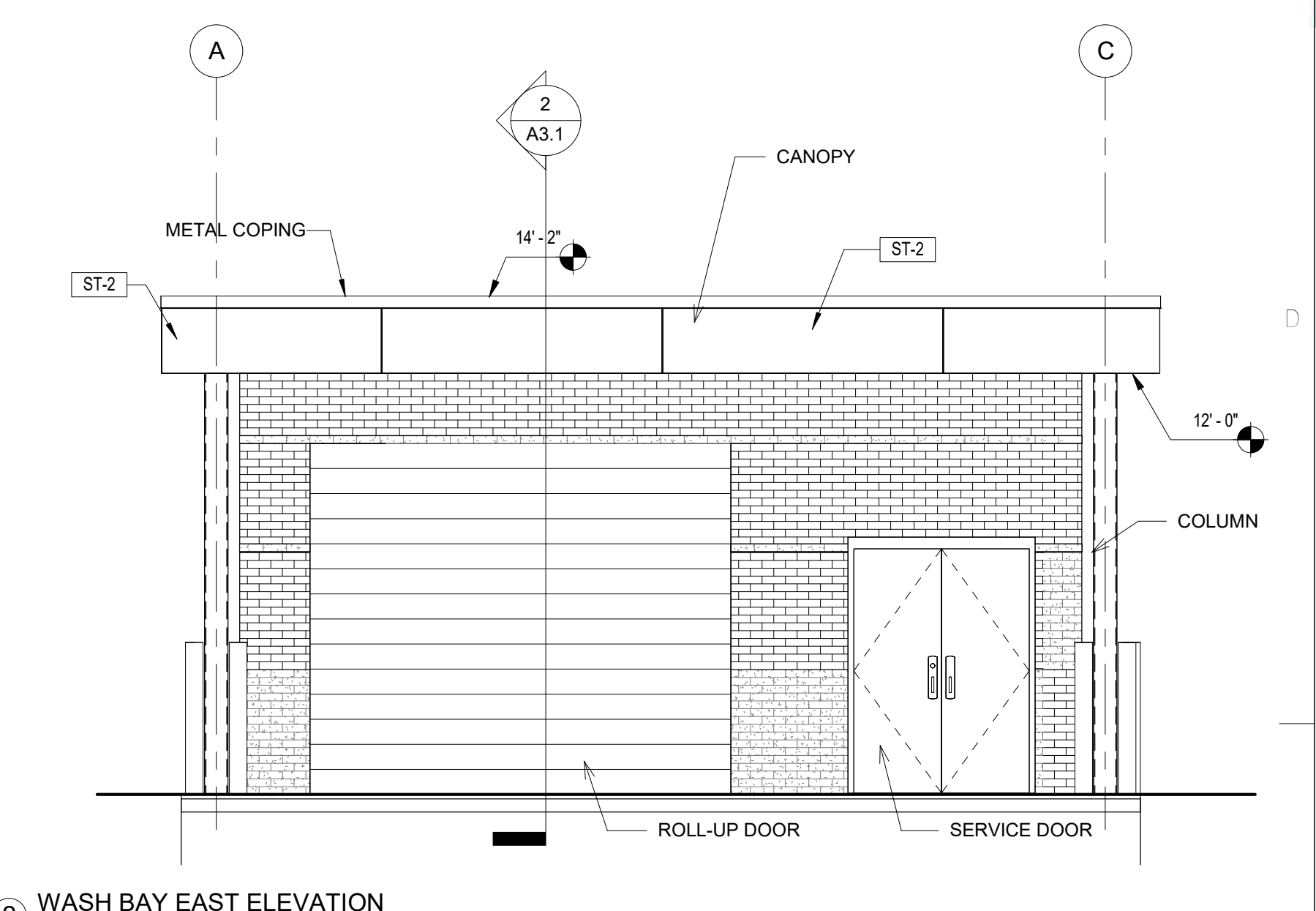
RESIDENT
811 YELLOW JACKET
ROCKWALL, TX 75087

MIAN REAL ESTATE HOLDINGS LLC-FUND III
SERIES
8660 THOMAS CHARLES LANE
HICKORY HILLS, IL 60457

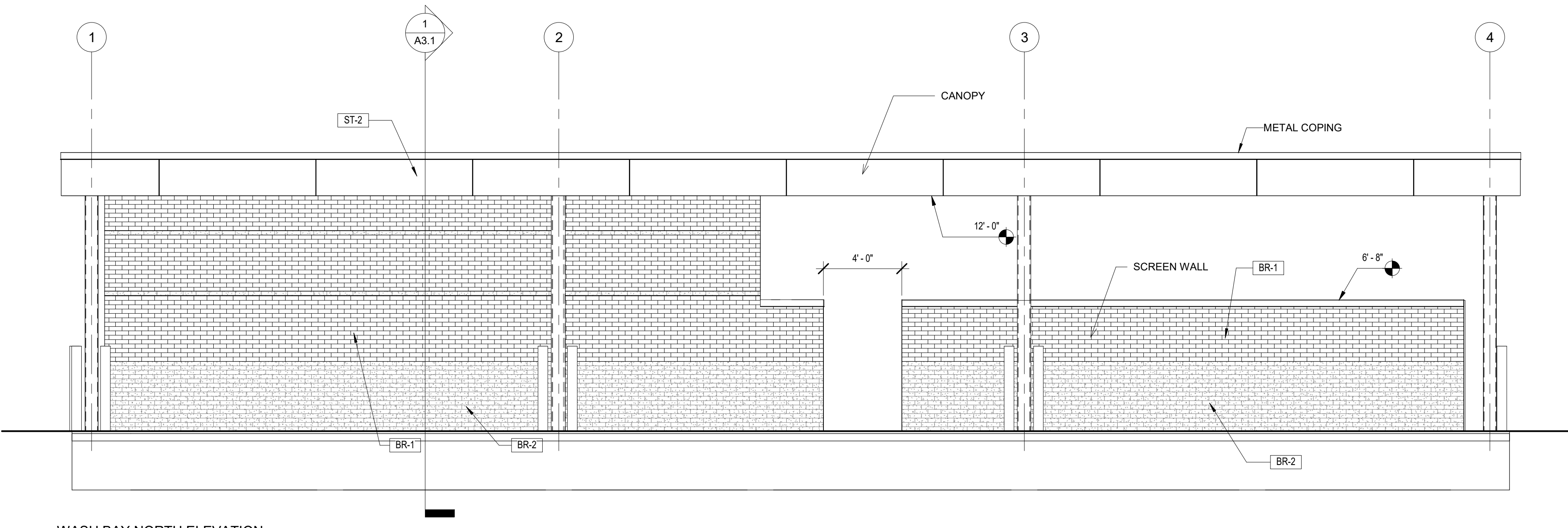
TEASDALE INVESTMENTS LLC
C/O RICHARD C GRANT
CULHANE MEADOWS PLLC 4805 S COLONY BLVD
THE COLONY, TX 75056



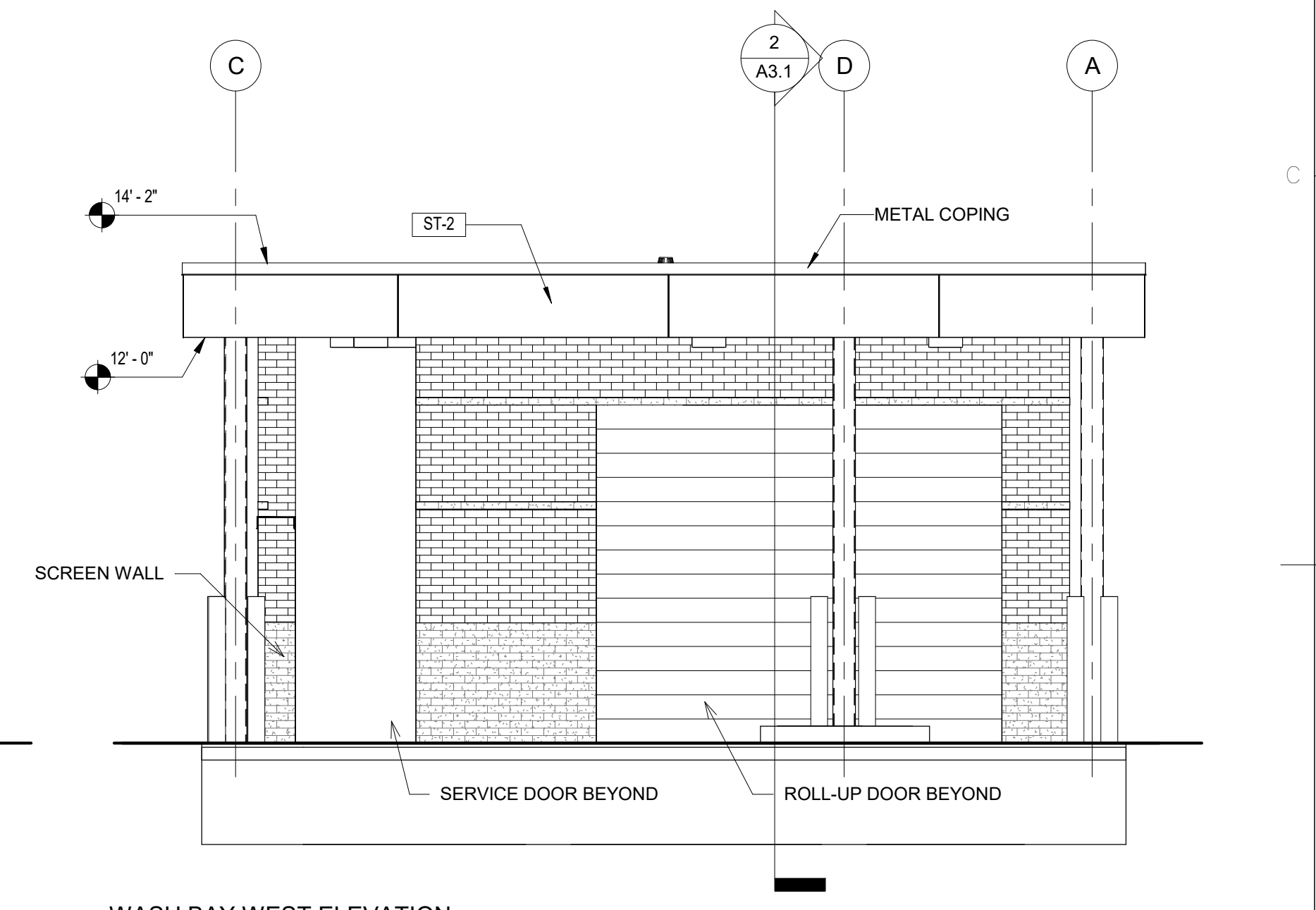
1 WASH BAY SOUTH ELEVATION
1/4" = 1'-0"



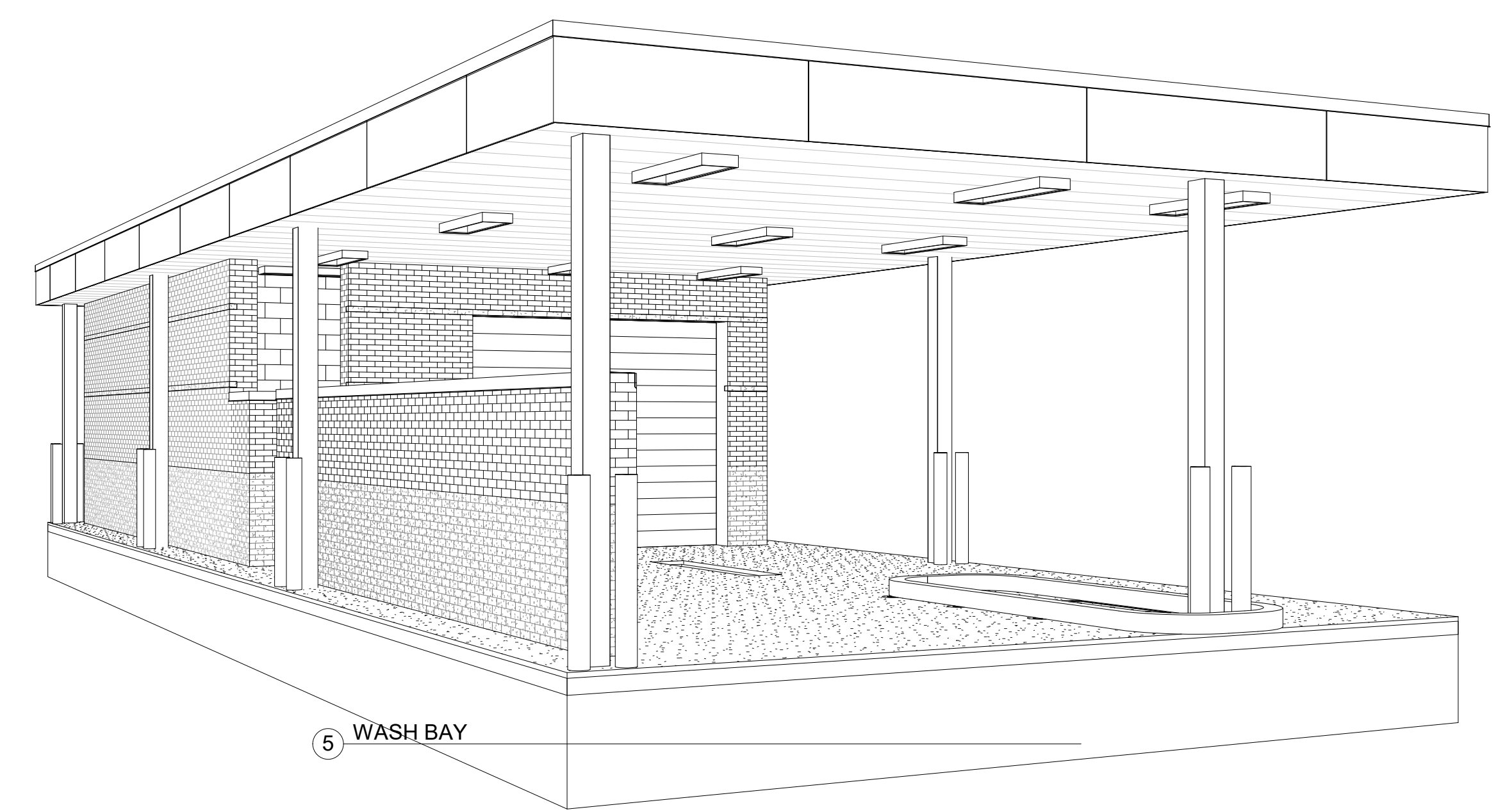
2 WASH BAY EAST ELEVATION
1/4" = 1'-0"



3 WASH BAY NORTH ELEVATION
1/4" = 1'-0"



4 WASH BAY WEST ELEVATION
1/4" = 1'-0"

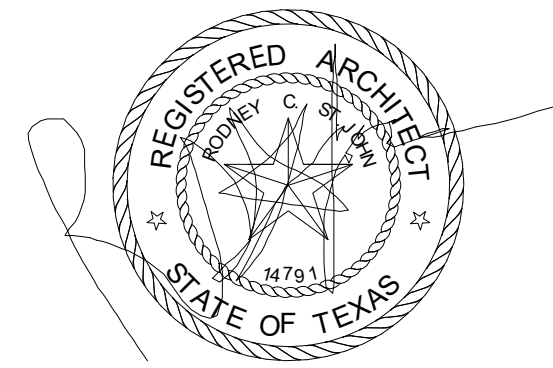


5 WASH BAY

STUCCO NOTE:
STUCCO SHALL BE APPLIED USING 3-STEP PROCESS OVER DIAMOND METAL MESH TO A 7/8 INCH THICKNESS OR BY OTHER PROCESS PRODUCING COMPARABLE STUCCO FINISH WITH EQUAL OR GREATER STRENGTH AND DURABILITY SPECIFICATION.

NOTE:
ROOF MOUNTED, WALL-MOUNTED OR DETACHED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW OF THE RIGHT-OF-WAY.

EXTERIOR FINISH SCHEDULE	
Material: Mark	Material: Description
<varies>	<varies>
BR-1	EXTERIOR BRICK. COLOR : ACME BLEND 114 K/S PARK AVE, MORTAR: BLUFF AMERIMIX
BR-2	EXTERIOR ACCENT BRICK. COLOR: ACME BLEND 102 K/S MUSHROOM BROWN, MORTAR: BUFF AMERIMIX
ST-1	STONE VENEER: CORONADO COUNTRY CASTLE SUNSET BLEND
ST-2	STUCCO: SHERWIN WILLIAMS TC CAMEL
ST-3	STONE TRIM: COORDINATE W/ STONE SUPPLIER. COLOR TO MATCH ST-4
ST-4	EIFS TRIM. SHERWIN WILLIAMS SW 7008 ALABASTER
VT-1	



8/30/24

PRIZM ARCHITECTS
INTERNATIONAL LTD., INC.
ARCHITECTS DESIGNERS PLANNERS
380 DECKER DRIVE, STE. 170 IRVING, TX, 75062
(972) 714-0430, FAX (972) 714-0282

REVISIONS:

NO.	DESCRIPTION

ENTERPRISE RENT-A-CAR

HWY 77 @ CARDINAL LANE
WAXAHACHIE, TX

PROJECT NUMBER: 0.004.0224
ISSUED: 8/30/24
DRAWN BY: Author
CHECKED BY: Checker
FILENAME:

EXTERIOR ELEVATIONS
WASH BAY
A2.1



Rent-A-Car Division
8200 John W Carpenter Freeway
Dallas, TX 75247
214-688-8300
enterprise.com

Rockwall Planning and Zoning Committee -

The attached application is for a request for EAN Holdings, LLC (D/B/A Enterprise Rent-A-Car) to receive a specific use permit at 1801 Goliad Street in Rockwall, TX. This location is currently occupied by a Dairy Queen, and we are in agreement with the landlord that we will move into the building provided this specific use permit is granted.

Enterprise has outgrown our current location in Rockwall at 724 E Interstate 30. The parking and car wash situations are not sustainable for the growth and brand image we wish to maintain as a company. As you may be aware, we are currently washing cars on the back side of our building in a space the size of about two parking spots. Should we be granted this SUP, we would relocate our current location at 724 E Interstate 30 to the Dairy Queen.

Should this SUP be granted, we would build an enclosed automatic car wash with all proper draining and an OWS. This car wash would be located on the back side of the building where the dumpster is currently located (see yellow highlighted section on page 1 of the Drawing Examples attachment). We would then plan to relocate the dumpster on the back left corner of the property & build an enclosure for that dumpster (see purple highlighted section on page 1 of the Drawing Examples attachment & page 4 for the dumpster drawings). Enterprise would only remodel the interior of the building and plans to have the landscaping around the property refreshed. Finally, the current monument sign would be repurposed to display our Enterprise logo.

We have included potential drawings of the automatic car wash and dumpster in the Drawing Examples file that is attached. The drawings submitted with this application are potential drawings taken from another location we will be building in the DFW metroplex. Should the SUP be granted, professional drawings will be made available.


Thank you for your consideration and we look forward to hearing back.

A handwritten signature in blue ink, appearing to read 'Ryan Todd', written over a horizontal line.

Ryan Todd

Regional Business Manager

EAN Holdings, LLC (d/b/a Enterprise Rent A Car)

An aerial photograph of a parking lot and building. A purple rectangular area is highlighted in the upper left corner of the parking lot. A white car is parked in the lot. The building below has a red location pin on its roof. The text '1801 S Goliad St' is overlaid on the image.

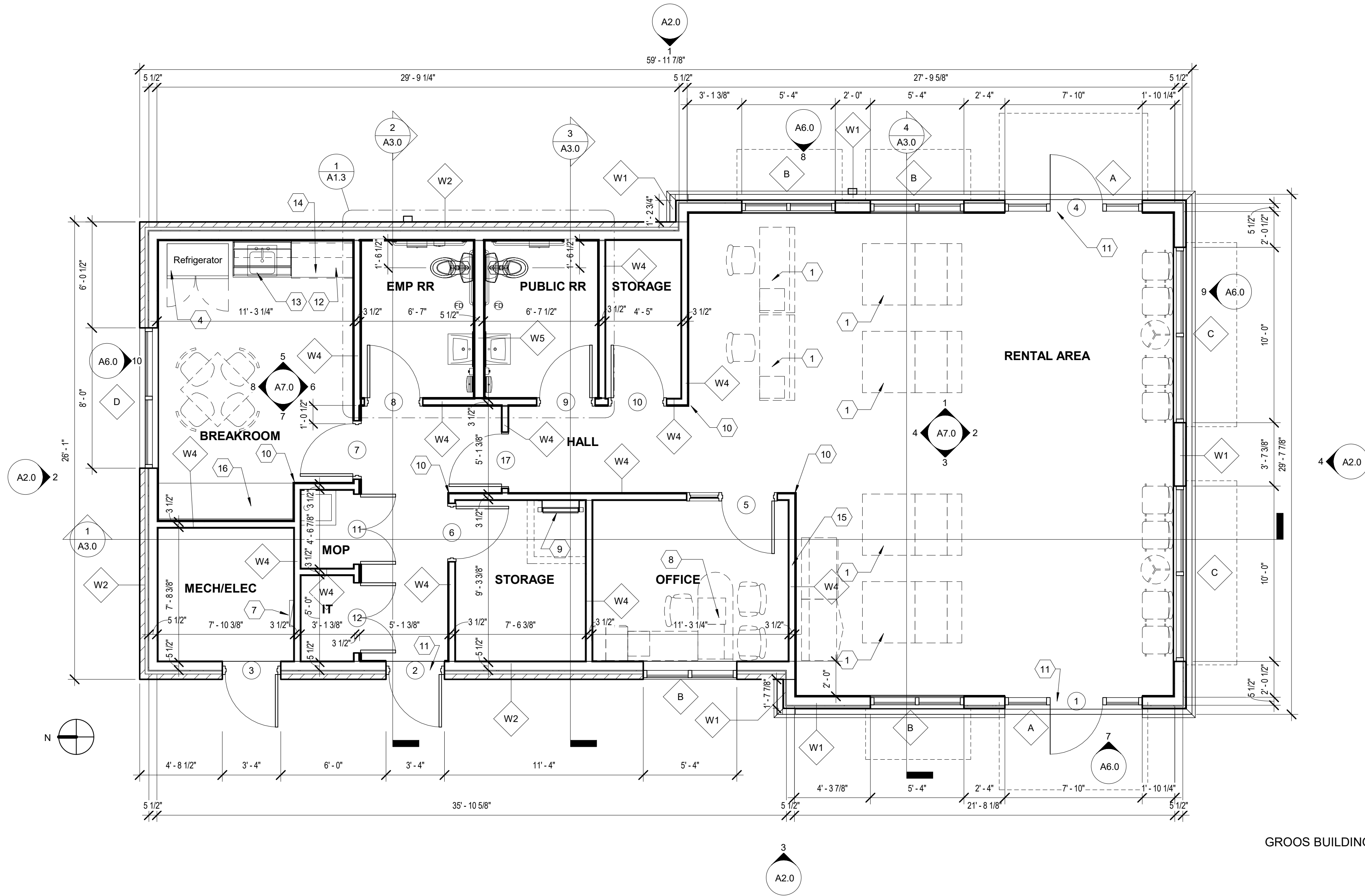
Proposed
Dumpster
Enclosure

Proposed Enclosed
Car Detailing Area

1801 S Goliad St

FLOOR PLAN NOTES	
1	SERVICE COUNTER CASWORK BY OWNER.
4	REFRIGERATOR BY GC. VERIFY REQUIREMENTS WITH OWNER.
7	ELECTRICAL PANELS - SEE ELECTRICAL DRAWINGS.
8	OFFICE CASEWORK FURNISHED BY OWNER.
9	ROOF ACCESS LADDER
10	CORNER GUARDS FROM TOP OF BASE TO 48" AF.F. (ALIGN WITH TOP OF WALL PANELS)
11	PROVIDE ADA COMPLIANT THRESHOLD BY GC
12	GRANITE COBUNTERTOP BY GC. VERIFY COLOR WITH OWNER.
13	ADA COMPLIANT GRANITE COUNTERTOP @ SINK BY GC. VERIFY COLOR WITH OWNER.
14	BASE CABINETS BY GC.
15	PROVIDE OWNER OUTLET AT WALL FOR COUNTER/DESK. FIELD VERIFY LOCATION WITH OWNER.
16	23" DEEP COUNTERTOP BY GC.

- REFER TO STRUCTURAL DRAWINGS FOR FRAMING, LUMBER SIZE AND SPACING REQUIREMENTS AT ALL EXTERIOR WALLS. INFORMATION INDICATED ON THE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER THE ARCHITECTURAL DRAWINGS.
- INTERIOR WOOD STUDS SHALL BE 2x4'S OR 2x6'S @ 16" o.c. AS DIMENSIONED ON FLOOR PLAN. INTERIOR STEEL STUDS SHALL BE 6", 20 GA. @ 16" o.c. AS DIMENSIONED ON FLOOR PLAN OR AS DETAILED.
- REFER TO WALL SECTIONS FOR ADDITIONAL CONSTRUCTION DETAILS.
- REFER EXTERIOR ELEVATIONS FOR REQUIRED EXTERIOR FINISHES
- REFER TO INTERIOR ELEVATIONS AND FINISH MATERIAL SCHEDULE FOR REQUIRED INTERIOR FINISHES.
- INTERIOR WALLS SHALL EXTEND A MINIMUM OF 6" ABOVE ADJACENT FINISHED CEILING. EXTEND GYPSUM BOARD OR SCHEDULED SHEATHING TO TOP OF WALL (6" ABOVE ADJACENT FINISHED CEILING). BRACE STUD WALLS TO STRUCTURE ABOVE FOR SOUND STABLE INSTALLATION. REFER TO STRUCTURAL DRAWINGS FOR REQUIRED BRACING DETAIL.
- PROVIDE 2x FIRE BLOCKING IN CONCEALED SPACES OF ALL STUD WALLS @ CEILING LEVEL AND @ 10' INTERVALS AND OTHERWISE REQUIRED BY CODE.
- REFER TO INTERIOR WALL SHEATHING KEY FOR INTERIOR SHEATHING REQUIREMENTS
- DIMENSIONS INDICATED ON THE FLOOR PLAN ARE FROM FACE OF STUD TO FACE OF STUD UNLESS SPECIFICALLY NOTED OTHERWISE.

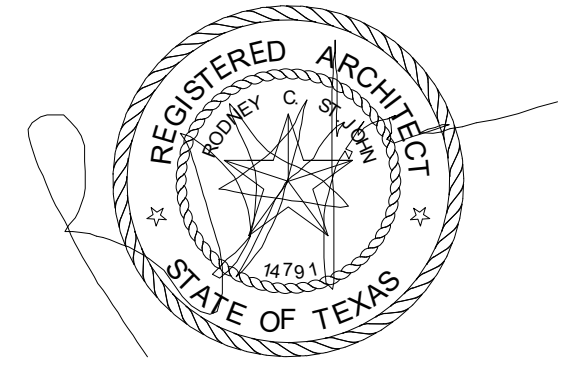


GROSS BUILDING AREA = 1,619 S.F.

1 FLOOR PLAN
1/4" = 1'-0"

OCCUPANT LOAD SCHEDULE					
Number	Name	Area	Occupancy	Load Factor	Occupant Load
14	PUBLIC RR	59 SF			
15	EMP RR	59 SF			
16	STORAGE	39 SF			
17	OFFICE	103 SF			
18	STORAGE	68 SF			
19	MOP	13 SF			
20	IT	15 SF			
21	BREAKROOM	169 SF			
22	MECH/ELEC	59 SF			
23	HALL	49 SF			
24	RENTAL AREA	689 SF			
		1321 SF			0

WALL SCHEDULE	
Type Mark	Description
W1	2X6 WOOD STUD 1/2" EXTERIOR SHEATHING, WRB (TYVEK OR EQUAL), W/ R-19 BATT INSULATION EXTERIOR FINISH: STUCCO SYSTEM: 3 STEP PROCESS OVER DIAMOND METAL LATH TO A 7/8" THICKNESS. STONE WAINSCOT. INTERIOR: 5/8" GYPSUM WALL BOARD.
W2	2X6 WOOD STUDS W/ 1/2" EXTERIOR SHEATHING, R-19 BATT INSULATION. EXTERIOR: BRICK VENEER: INTERIOR: 5/8" GYPSUM WALL BOARD
W3	2X6 WOOD STUDS W/ 1/2" EXTERIOR SHEATHING, WRB (TYVEK OR EQUAL), R-19 BATT INSULATION. EXTERIOR FINISH: STONE VENEER: INTERIOR: 5/8" GYPSUM WALL BOARD.
W4	2X4 WOOD STUD W/ 5/8" GYPSUM WALL BOARD EACH SIDE
W5	2X6 WOOD STUD W/ 5/8" GYPSUM WALL BOARD EACH SIDE
W8	8" CMU W/ INSULATED CELLS. EXTERIOR FINISH: BRICK VENEER. INTERIOR OF CMU SHALL BE PAINTED W/ WATER RESISTANT BARRIER.
W9	8" CMU W/ INSULATED CELLS. CMU SHALL BE PAINTED W/ WATER RESISTANT BARRIER.



8/30/24

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INTERNATIONAL LTD., INC.

ARCHITECTS DESIGNERS PLANNERS
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(972) 714-0430, FAX (972) 714-0282

REVISIONS:

NO.	DATE	DESCRIPTION

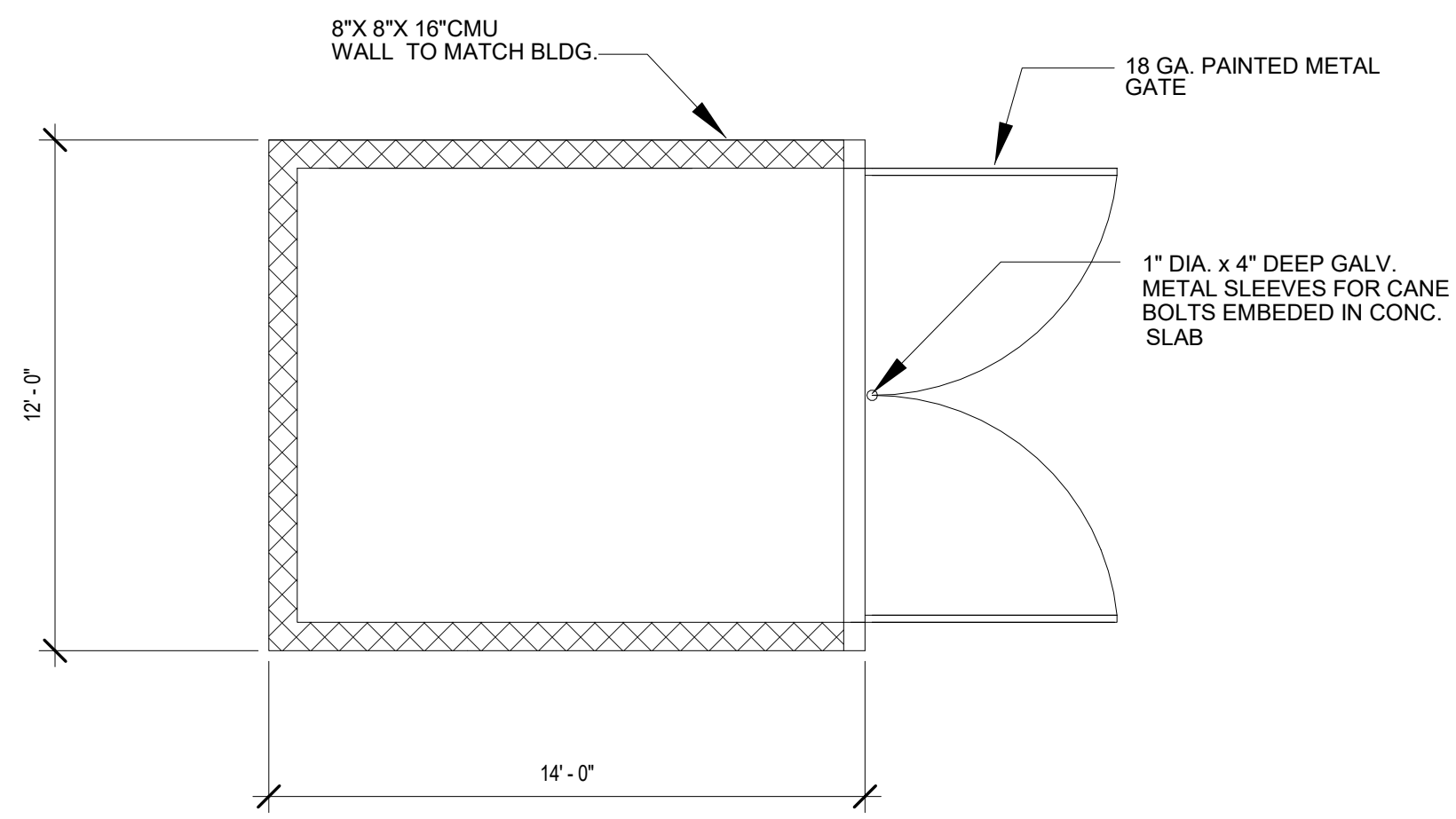
ENTERPRISE RENT-A-CAR

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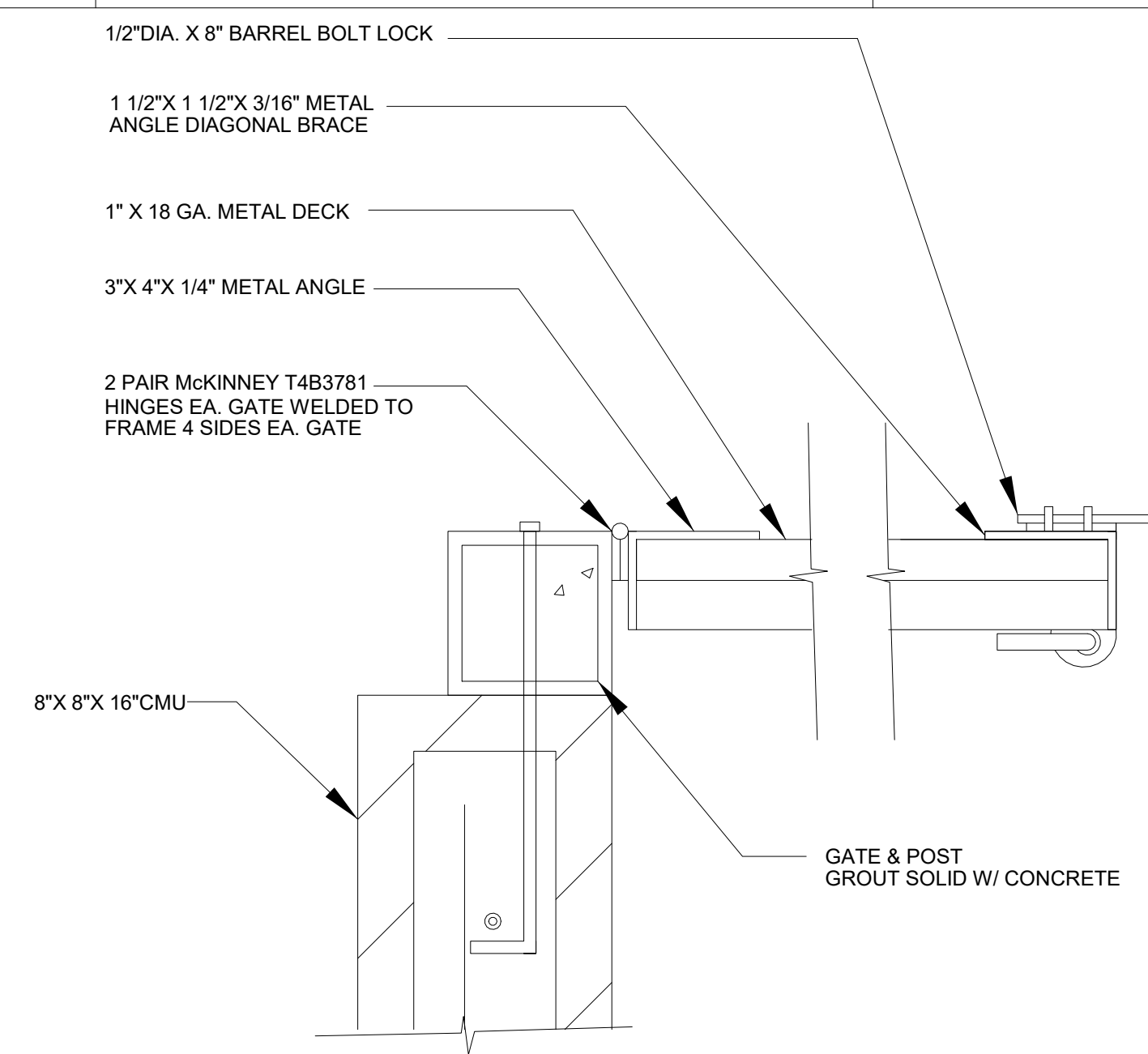
PROJECT NUMBER:	0.004.0224
ISSUED:	8/30/24
DRAWN BY:	Author
CHECKED BY:	Checker
FILENAME:	

FLOOR PLAN CAR RENTAL

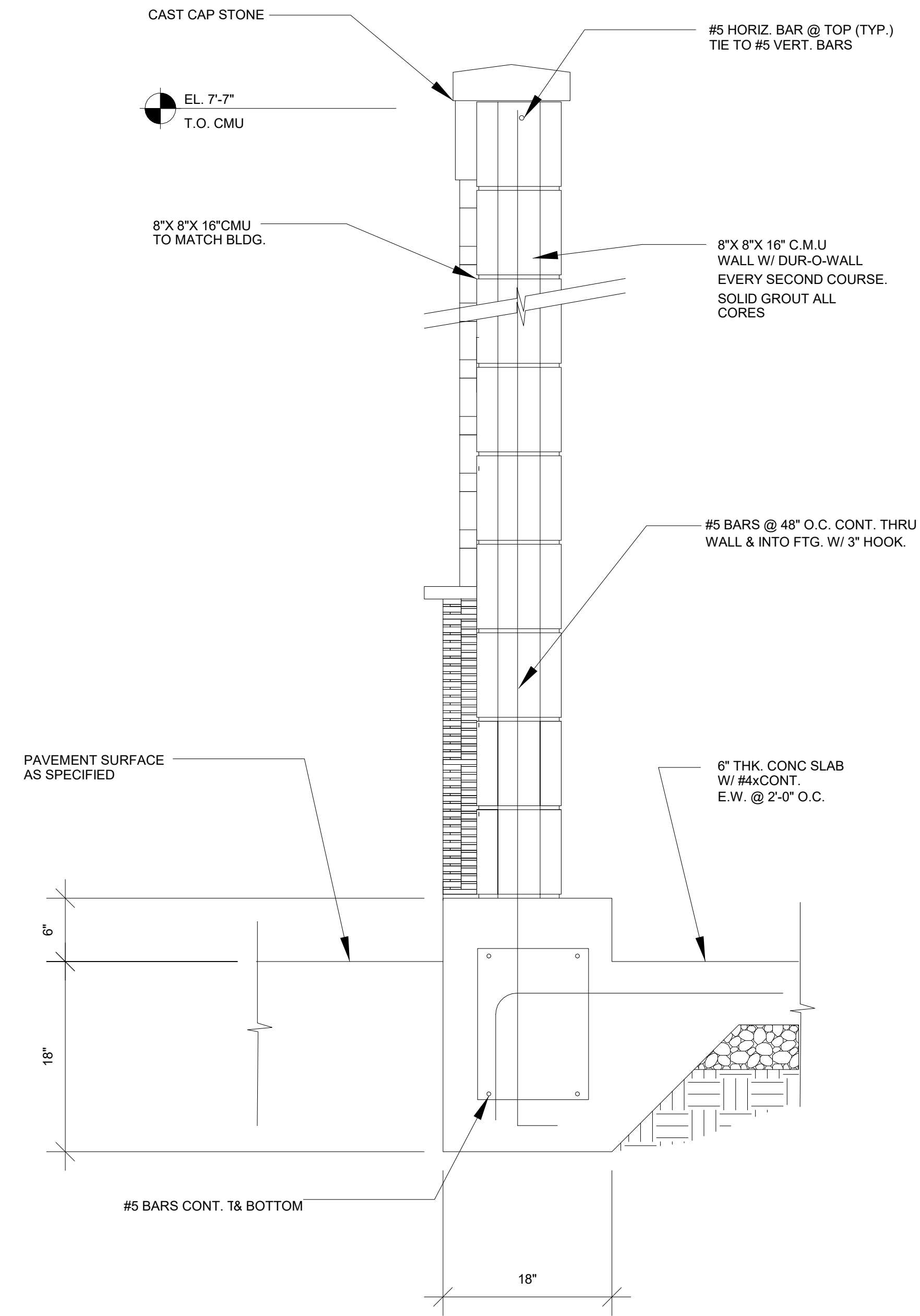
A1.0



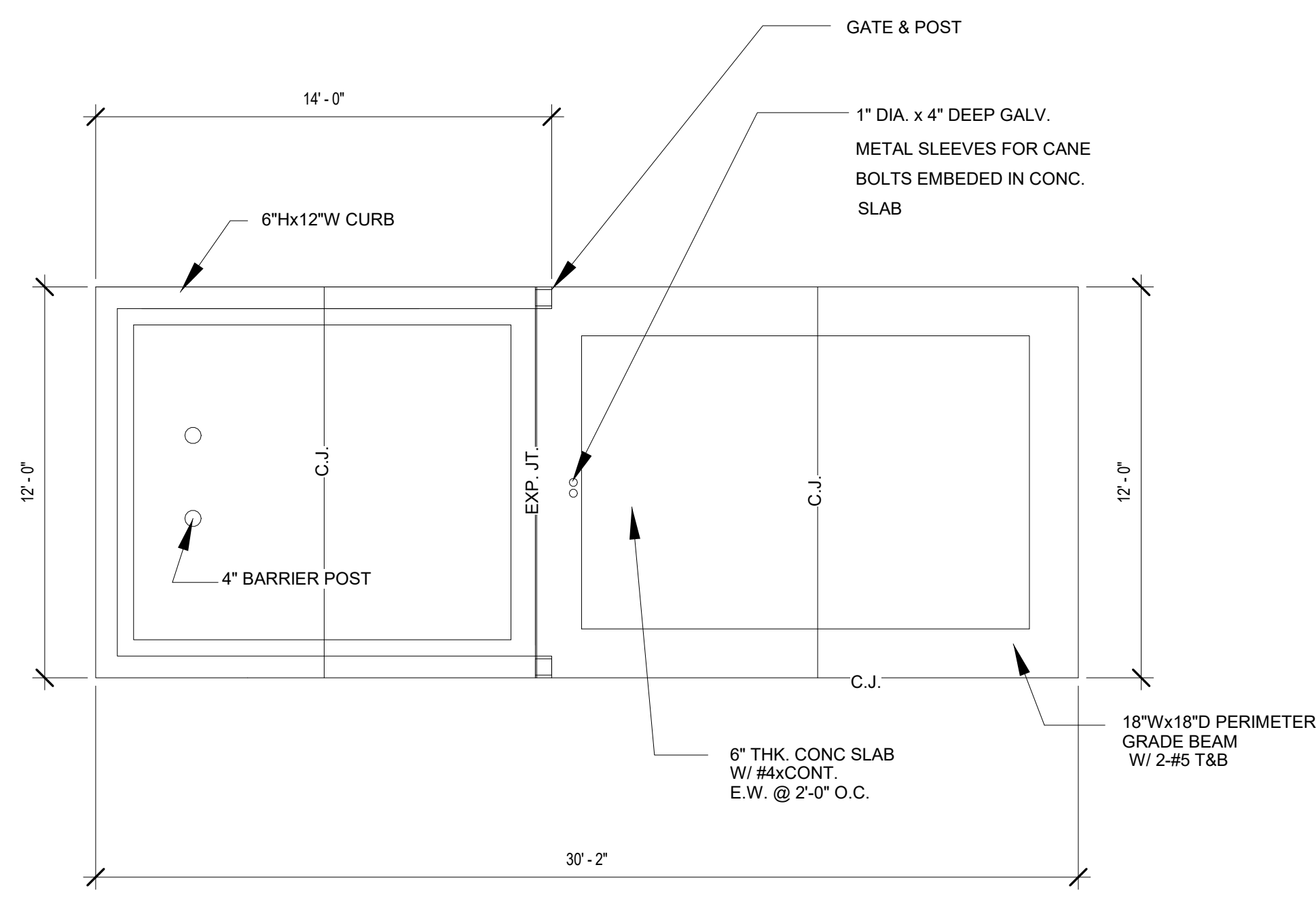
PLAN VIEW



JAMB DETAIL

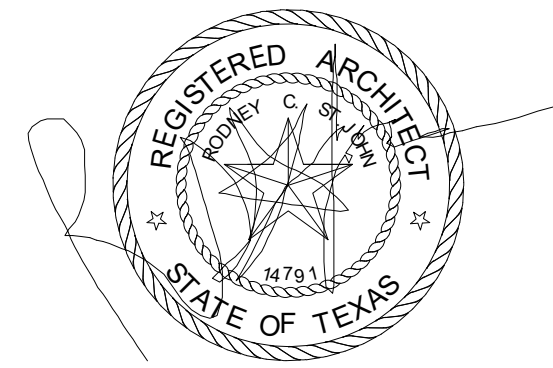


SECTION



FOUNDATION VIEW

1 DUMPSTER ENCLOSURE
1/4" = 1'-0"



8/30/24

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ARCHITECTS DESIGNERS PLANNERS
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REVISIONS:

NO.	DESCRIPTION

ENTERPRISE RENT-A-CAR
HWY 77 @ CARDINAL LANE
WAXAHACHIE, TX

PROJECT NUMBER:	0.004.0224
ISSUED:	8/30/24
DRAWN BY:	Author
CHECKED BY:	Checker
FILENAME:	

TRASH ENCLOSURE

A10.0