



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 178 Lynne Dr.

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Ariel Palacios</u>	<input type="checkbox"/> APPLICANT	<u>Inocencio Barron</u>
CONTACT PERSON	_____	CONTACT PERSON	_____
ADDRESS	<u>178 Lynne Dr.</u>	ADDRESS	<u>310 Lynne Dr.</u>
CITY, STATE & ZIP	<u>Rockwall Tx 75032</u>	CITY, STATE & ZIP	<u>Rockwall Tx 75032</u>
PHONE	<u>972 800 3628</u>	PHONE	<u>214 715 0979</u>
E-MAIL	_____	E-MAIL	<u>barron/inocencio777@gmail.com</u>

NOTARY VERIFICATION [REQUIRED]

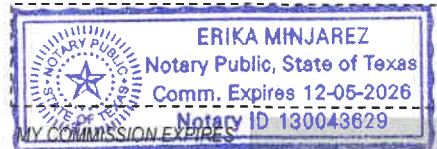
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Martin A Palacios Mora [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF September, 2024

OWNER'S SIGNATURE Ariel Palacios

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





Z2024-045: Specific Use Permit (SUP) in an Established Subdivision at 178 Lynne Drive



PD-75

LYNNE DR

Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

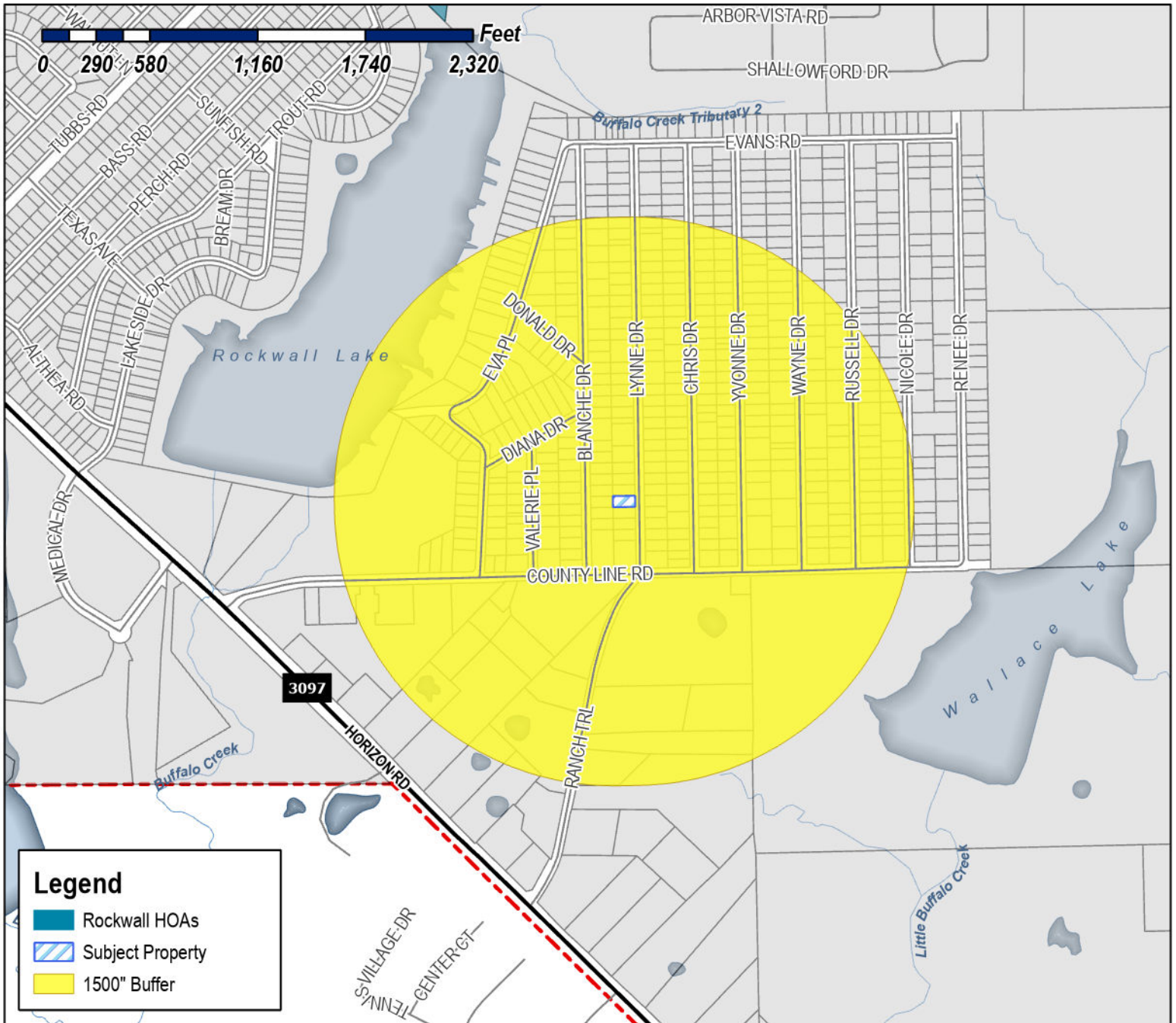




City of Rockwall

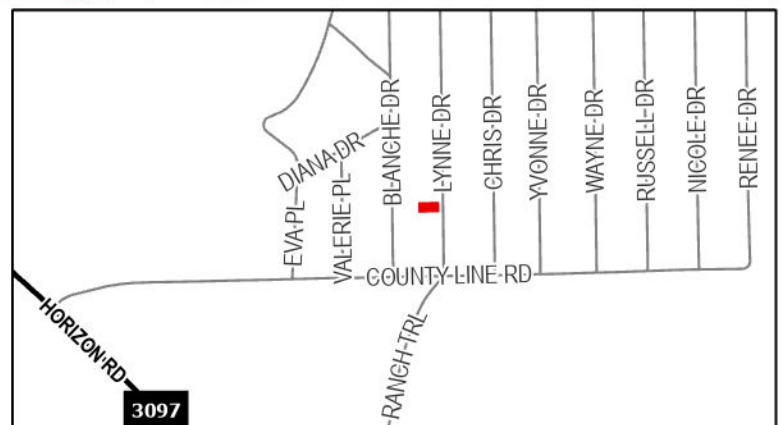
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Case Number: Z2024-045
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75
Case Address: (PD-75)
 178 Lynne Drive

Date Saved: 9/16/2024
 For Questions on this Case Call (972) 771-7745

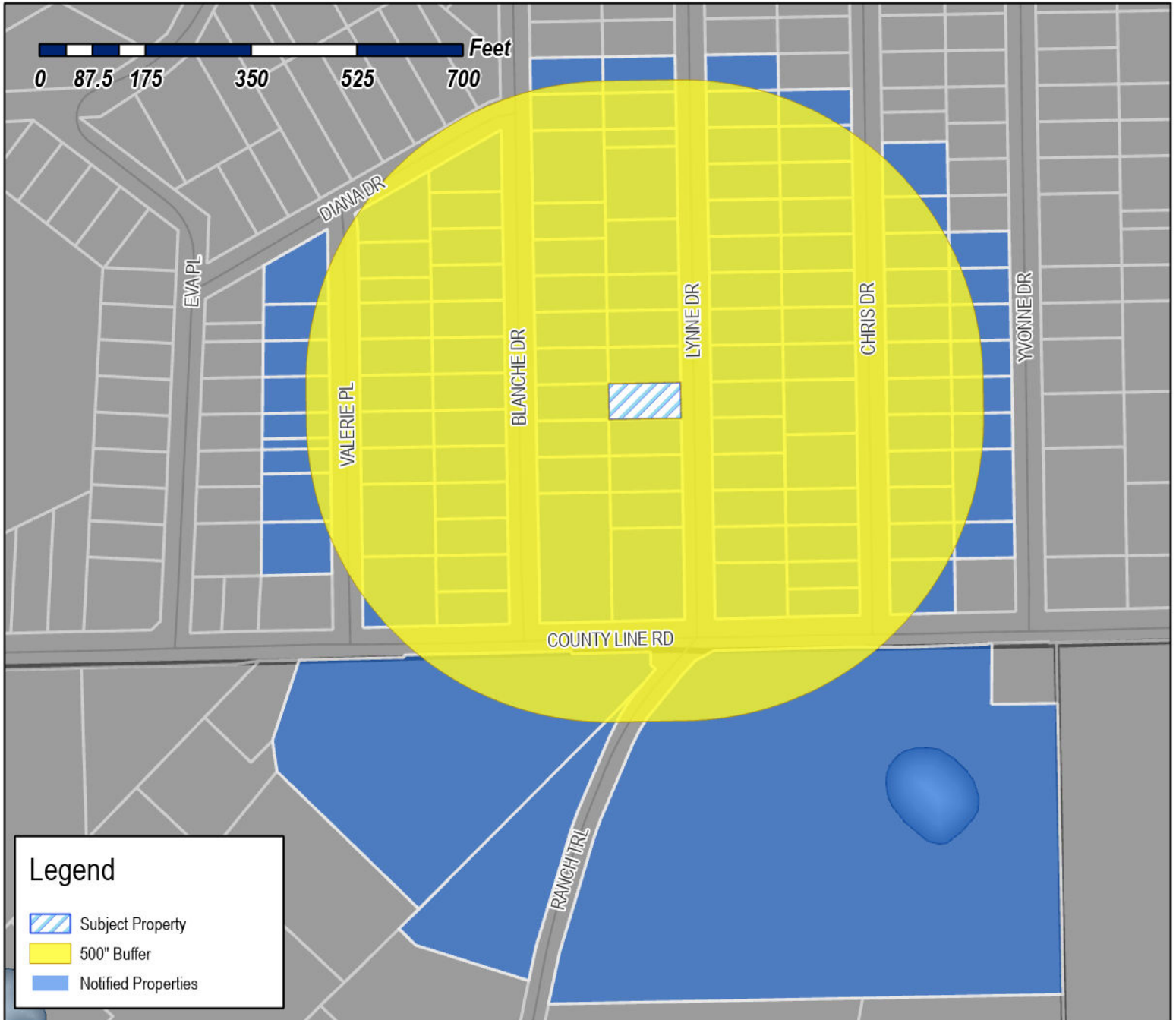




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Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2024-045
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 178 Lynne Drive

Date Saved: 9/16/2024

For Questions on this Case Call: (972) 771-7745



RESIDENT
109 BLANCHE DR
ROCKWALL, TX 75032

SALAS ALBERTO R & ADELA A
109 VALERIE PL
ROCKWALL, TX 75032

RESIDENT
112 CHRIS DR
ROCKWALL, TX 75032

GAMBOA SOCORRO
114 W RIDGEWOOD DR
GARLAND, TX 75041

CANIZALES ELIDA VILLAREAL
115 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
118 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
120 BLANCHE DR
ROCKWALL, TX 75032

HPA CL1 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

RESIDENT
121 LYNNE DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

RESIDENT
124 LYNNE DR
ROCKWALL, TX 75032

MCDONNELL BRANDON THOMAS
124 CHRIS DRIVE
ROCKWALL, TX 75032

RANGEL ADELA
125 CHRIS DR
ROCKWALL, TX 75032

NORTON ANA ESTELA & MITCHELL EVERETT
NORTON
130 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
131 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
132 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
132 VALERIE PL
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
134 YVONNE DR
ROCKWALL, TX 75032

TORRES DESTINY MARY
134 YVONNE DR
ROCKWALL, TX 75032

RESIDENT
135 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
137 VALERIE PL
ROCKWALL, TX 75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

RESIDENT
143 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
144 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
144 LYNNE DR
ROCKWALL, TX 75032

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS LANE
ROCKWALL, TX 75032

VALDEZ MARY ESTHER
148 VALERIE PL
ROCKWALL, TX 75032

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149 VALERIE PL
ROCKWALL, TX 75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX 75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
150 CHRIS DR
ROCKWALL, TX 75032

LUU LONG MINH AND THUC-UYEN THI LE AND
DUY THANH PHAM
154 LYNNE DR
ROCKWALL, TX 75032

VAZQUEZ RAMON LOPEZ
156 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
157 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
159 CHRIS DR
ROCKWALL, TX 75032

TEPOX FABIOLA DOMINGUEZ
159 VALERIE PL
ROCKWALL, TX 75032

DURAN ROCIO
160 VALERIE PL
ROCKWALL, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

VARGAS RICARDO
163 BLANCHE DR
ROCKWALL, TX 75032

HERNANDEZ JOSE O AND MIRIAM G SALAZAR
AND
JESUS HERNANDEZ SALAZAR
164 LYNNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

CHEPETLA ANTHONY
167 LYNNE DRIVE
ROCKWALL, TX 75032

RESIDENT
168 VALERIE PL
ROCKWALL, TX 75032

ZALOMANTE LLC
1690 LYNN LN
LUCAS, TX 75002

COLIN JOSE ENRIQUE OSORNIO
171 CRAWFORD LN
ROYSE CITY, TX 75189

RESIDENT
172 VALERIE PL
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
174 SUNRAY CREEK DR
KATY, TX 77493

RESIDENT
175 VALERIE PL
ROCKWALL, TX 75032

CASTANEDA NOE A
175 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
178 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
178 VALERIE PL
ROCKWALL, TX 75032

PALACIOS ARIEL
178 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
179 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
180 YVONNE DR
ROCKWALL, TX 75032

JIMENEZ ALMA RODRIGUEZ
181 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
185 BLANCHE DR
ROCKWALL, TX 75032

ESQUIVEL ZAIDA
186 CHRIS DRIVE
ROCKWALL, TX 75032

RESIDENT
187 VALERIE PL
ROCKWALL, TX 75032

RETANA JOSE L
187 LYNNE DR
ROCKWALL, TX 75032

ALVAREZ FRANCISCO J
190 BLANCHE DR
ROCKWALL, TX 75032

SANCHEZ ALEJANDRO &
190 YVONNE DR
ROCKWALL, TX 75032

RESIDENT
192 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ HERIBERTO FERRER AND
192 VALERIE PLACE
ROCKWALL, TX 75032

RESIDENT
193 CHRIS DR
ROCKWALL, TX 75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
196 CHRIS DR
ROCKWALL, TX 75032

MELENDEZ HOPE
199 DIANA DR
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PL
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PLACE
ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR
2 BROWNWOOD
LONGVIEW, TX 75602

ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

TOVAR JUAN GABRIEL
202 VALERIE PLACE
ROCKWALL, TX 75032

RESIDENT
203 CHRIS DR
ROCKWALL, TX 75032

UNDERWOOD TAMMY M AND
CAITLIN A DAVIS-WILSON
203 LYNNE DRIVE
ROCKWALL, TX 75032

RESIDENT
204 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
204 YVONNE DR
ROCKWALL, TX 75032

TORRES JAIME AND BERNICE
204 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
209 VALERIE PL
ROCKWALL, TX 75032

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
210 YVONNE DR
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

CRUZ IGNACIO
212 LYNNE DR
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE
212 LYNNE DR
ROCKWALL, TX 75032

RICO RUIZ CARLOS AND MARIA
212 VALERIE PL
ROCKWALL, TX 75032

BALDERAS JOSE C GARCIA & ERIKA MARTINEZ
PEREZ
213 CHRIS DRIVE
ROCKWALL, TX 75032

RESIDENT
214 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
215 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
216 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
219 BLANCHE DR
ROCKWALL, TX 75032

RUIZ JOSE C
219 VALERIE PL
ROCKWALL, TX 75032

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

MAZARIEGOS ROMULO AND ESTELA
224 YVONNE DR
ROCKWALL, TX 75032

CASTILLO CELIA GURRUSQUIETA
225 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
226 BLANCHE DR
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
229 BLANCHE DR
ROCKWALL, TX 75032

GUTIERREZ JOSE G & ANGELA A
229 BLANCHE DR
ROCKWALL, TX 75032

SCHULKE VANESSA AND ANTHONY FRESQUEZ
229 VALERIE PL
ROCKWALL, TX 75032

YANEZ MARIA TERESA
230 CHRIS DR
ROCKWALL, TX 75032

PEREZ FERMIN
230 LYNN DRIVE
ROCKWALL, TX 75032

HERNANDEZ GUILLERMINA
231 CHRIS DRIVE
ROCKWALL, TX 75032

RESIDENT
234 BLANCHE DR
ROCKWALL, TX 75032

CARMONA MARTIN SALVADOR
235 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
235 LYNNE DRIVE
ROCKWALL, TX 75032

RODRIGUEZ ALMA R
242 CHRIS DRIVE
ROCKWALL, TX 75032

RESIDENT
247 BLANCHE DR
ROCKWALL, TX 75032

GUARDIOLA GUADALUPE J
247 CHRIS DR
ROCKWALL, TX 75032

CARMONA EVELIA
249 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ CARLOS ALONZO
252 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
254 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
262 CHRIS DR
ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE
263 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
265 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
266 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
273 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
276 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
281 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
283 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
288 LYNNE DR
ROCKWALL, TX 75032

FRANCO RODOLFO &
CARMEN FRANCO
291 SMITH ACRES DR
ROYSE CITY, TX 75189

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

RANCH TRAIL VENTURES LLC
315 RANCH TRAIL
ROCKWALL, TX 75032

MAZARIEGOS EDGAR & SONIA I
3248 BLACKLAND RD
ROYSE CITY, TX 75189

PALICIOS MARIA
365 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
382 RANCH TRL
ROCKWALL, TX 75032

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

CARMONA JOSE ROBERTO &
397 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
405 RANCH TRL
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
4100 ANDYS LANE
PARKER, TX 75002

RENOVATION SPECIALIST LLC
411 CHRIST DRIVE
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
430 RENEE DRIVE
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
430 RENEE DRIVE
ROCKWALL, TX 75032

CORDOVA JUAN JOSE RANGEL
4427 FM 550
ROYSE CITY, TX 75189

RANGEL JUAN
4427 FM 550
ROYSE CITY, TX 75187

RONQUILLO ALMA DELIA
444 EVA PL
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
505 COUNTY LINE RD
ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC
5508 FOREST LANE
DALLAS, TX 75230

GARCIA MARTIN
590 SUN VALLEY DR
ROYSE CITY, TX 75189

FLORES DAYANARA &
611 MEADOW DR
ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

GUEVARA JOSE
6938 STATE HIGHWAY 50
COMMERCE, TX 75428

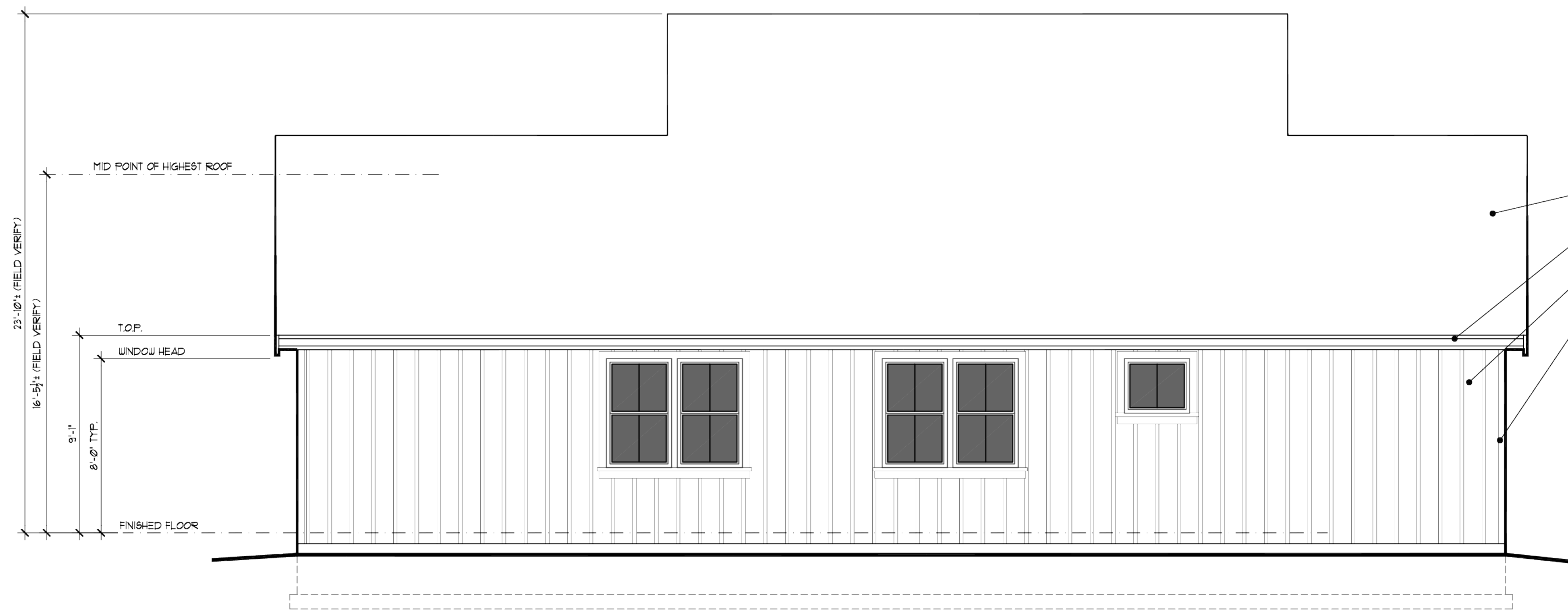
GUEVARA JOSE
6938 STATE HIGHWAY 50
COMMERCE, TX 75428

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

GUEVARA CARLOS & MONICA A
802 N ALAMO RD
ROCKWALL, TX 75087

PAVON MARISOL
810 E. DOUGHERTY DR
GARLAND, TX 75041

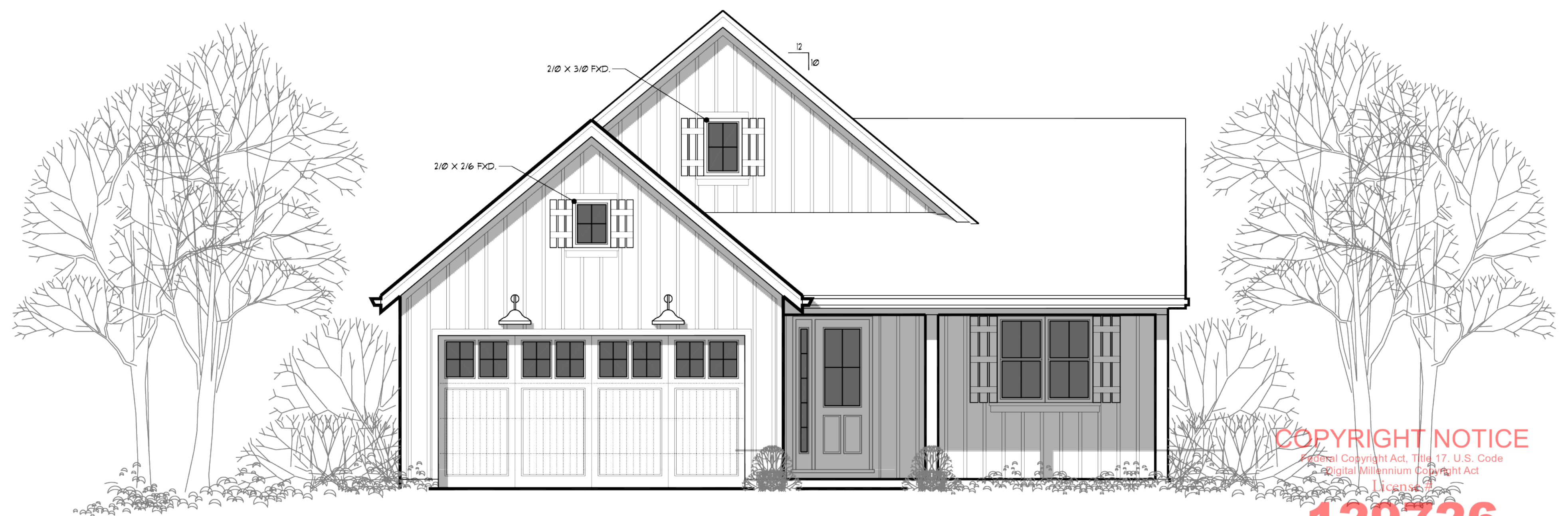
SALAS HECTOR JABIER & CAROLINA ORTIZ
921 W YELLOWJACKET LANE APT 105
ROCKWALL, TX 75087



- ROOFING MATERIAL
(SEE ROOF PLAN)
 - G. 1. GUTTER ON 2 X 8 FASCIA
C/W DOWNSPOUTS (SEE ROOF PLAN)
 - 1 X 2 CEDAR BATTENS @ 12" O.C. OVER
1/2" ACX PLYWOOD
 - 5/4 X CEDAR CORNER BDS.
- THE TYPE OF EXTERIOR FINISH, THE
INSTALLATION AND THE WATERPROOFING
DETAILS ARE ALL TO BE THE FULL
RESPONSIBILITY OF THE OWNER/BUILDER. THIS
DESIGNER ASSUMES NO RESPONSIBILITY FOR
THE INTEGRITY OF THE BLDG ENVELOPE

LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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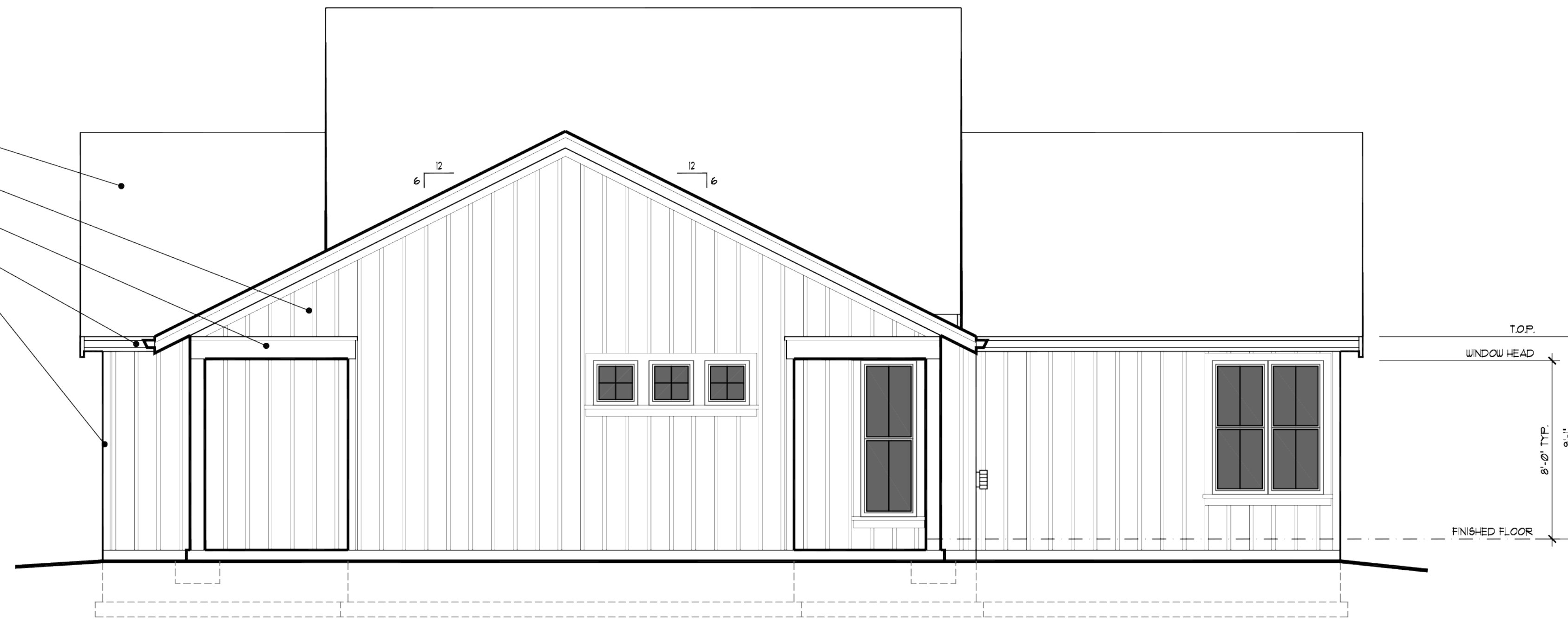
129726

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CONSTRUCTION OF A SINGLE RESIDENCE. THIS LICENSE CANNOT BE
TRANSFERRED, UNAUTHORIZED REPRODUCTION OR USAGE OF
THESE DOCUMENTS OR REMOVAL OF THIS NOTIFICATION IS SUBJECT
TO PROSECUTION

THE CONTRACTOR ASSUMES FULL RESPONSIBILITY
FOR THE CORRECT INSTALLATION OF ALL
EXTERIOR FINISHES AND WEATHERPROOFING.

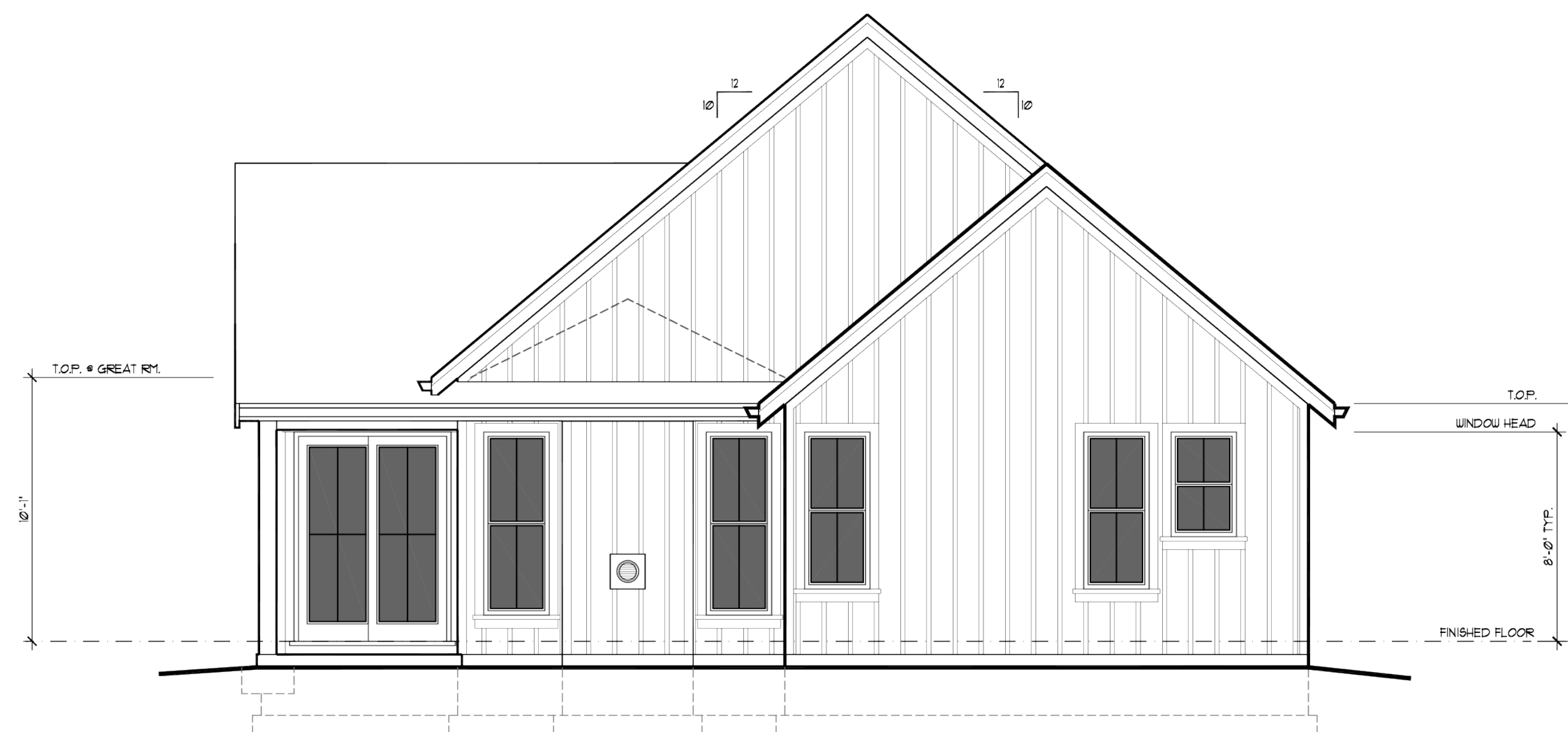
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- ROOFING MATERIAL
(SEE ROOF PLAN)
- 1 X 2 CEDAR BATTENS @ 12" O.C. OVER
1/2" A/CX PLYWOOD
- 2 X 10 R/S TRIM BD. W/ 26
G.A. G.L. FLASHING
- G. I. GUTTER ON 2 X 8 FASCIA
CAJ DOWNSPOUTS (SEE ROOF PLAN)
- 5/4 X CEDAR CORNER BDS.
- THE TYPE OF EXTERIOR FINISH, THE
INSTALLATION AND THE WATERPROOFING
DETAILS ARE ALL TO BE THE FULL
RESPONSIBILITY OF THE OWNER/BUILDER. THIS
DESIGNER ASSUMES NO RESPONSIBILITY FOR
THE INTEGRITY OF THE BLDG ENVELOPE



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

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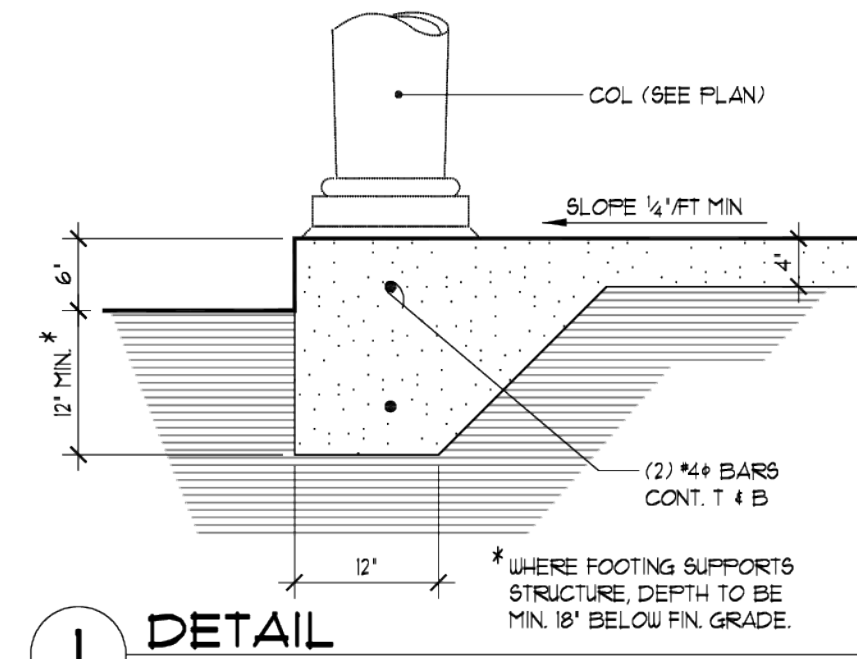
129726

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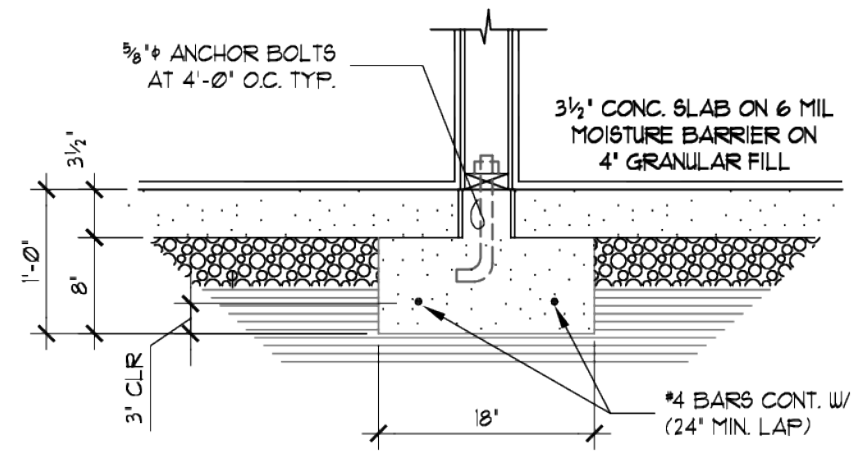
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FOR THE CORRECT INSTALLATION OF ALL
EXTERIOR FINISHES AND WEATHERPROOFING.

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MAN FLOOR	1596 SQ. FT.	GARAGE AREA	1396 SQ. FT.
TOTAL AREA	1596 SQ. FT.		



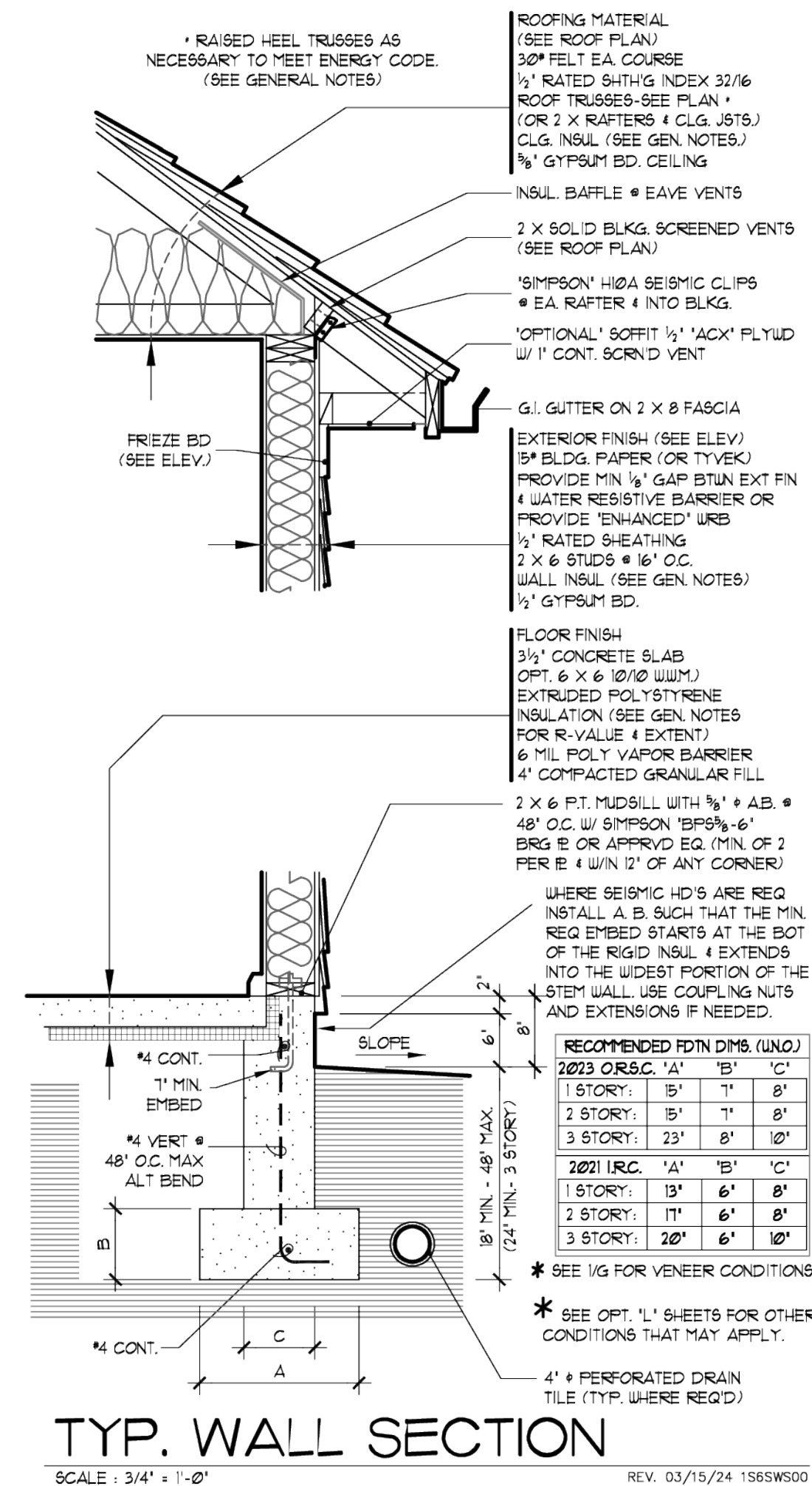
1 DETAIL
SCALE: 3/4" = 1'-0"



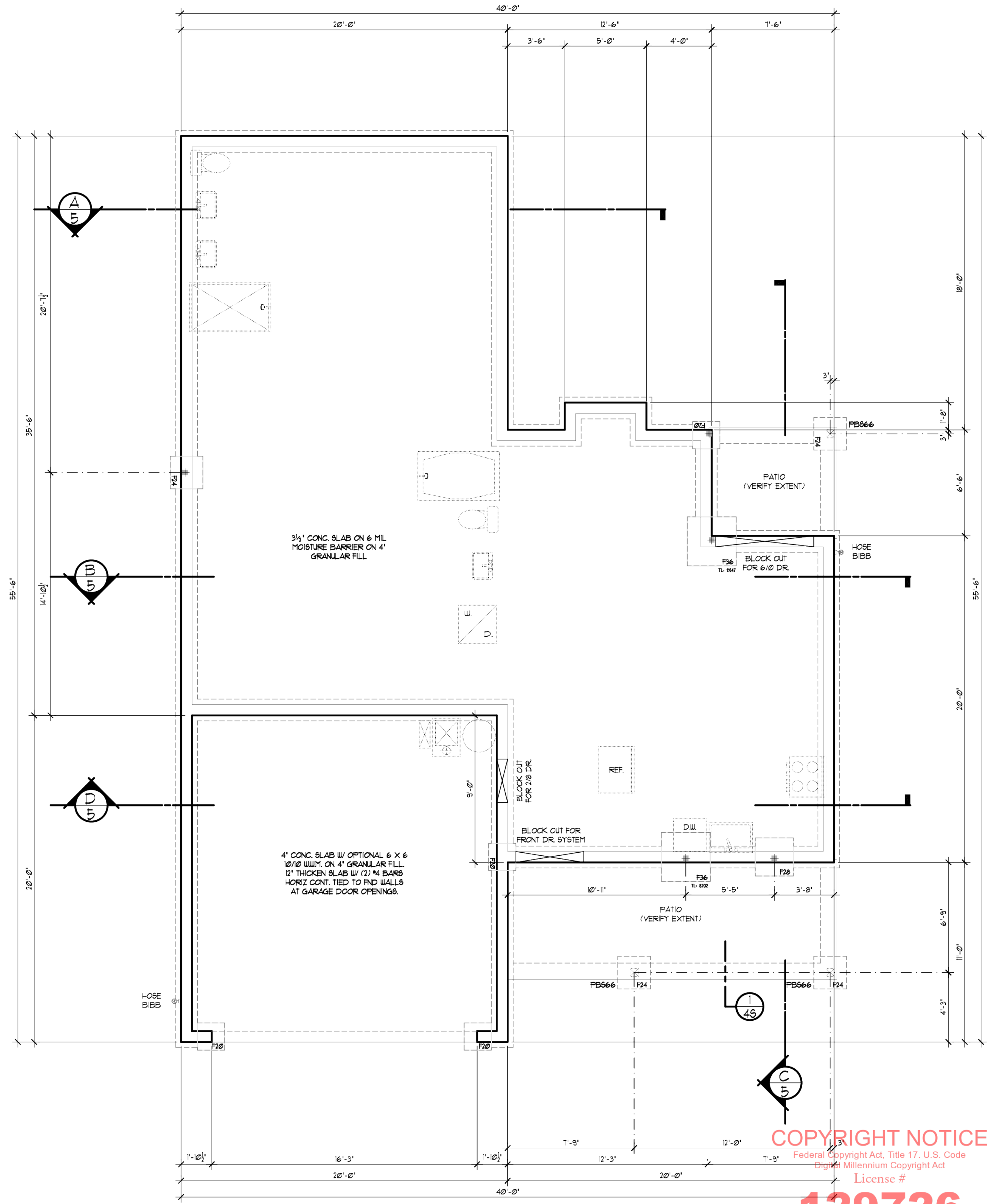
2 DETAIL
SCALE: 3/4" = 1'-0"

TAG	PAD SIZE	REINFORCING	MAX. BRG
-	18" DIA. x 1'	N.A.	2,414 #
F20	20"x20"x10"	N.A.	3,819 #
F24	24"x24"x12"	N.A.	5,400 #
F28	28"x28"x14"	N.A.	7,211 #
F30	30"x30"x15"	N.A.	8,203 #
F36	36"x36"x17"	(4) #4 BARS @ 1' O.C. E/W	12,073 #
F42	42"x42"x19"	(5) #4 BARS @ 8" O.C. E/W	16,931 #
F48	48"x48"x21"	(6) #4 BARS @ 9" O.C. E/W	21,600 #
F54	54"x54"x23"	(6) #4 BARS @ 9" O.C. E/W	27,331 #
F60	60"x60"x25"	(7) #4 BARS @ 9" O.C. E/W	33,150 #

ASSUMED MIN. 4x4" D.F. COLUMN (UNO. - SEE PLANS)
 # 6x6" D.F. COLUMN FOR MAX. BRG.
 ## 3 1/2"x3 1/2" FSL COLUMN FOR MAX. BRG. (OR 6x6 TO 1852) #
 ### 5 1/2"x5 1/2" FSL COLUMN FOR MAX. BRG. (SEE POST-CONN. DETAIL) SOIL B.P. 1,500 PSF



TYP. WALL SECTION
SCALE: 3/4" = 1'-0"



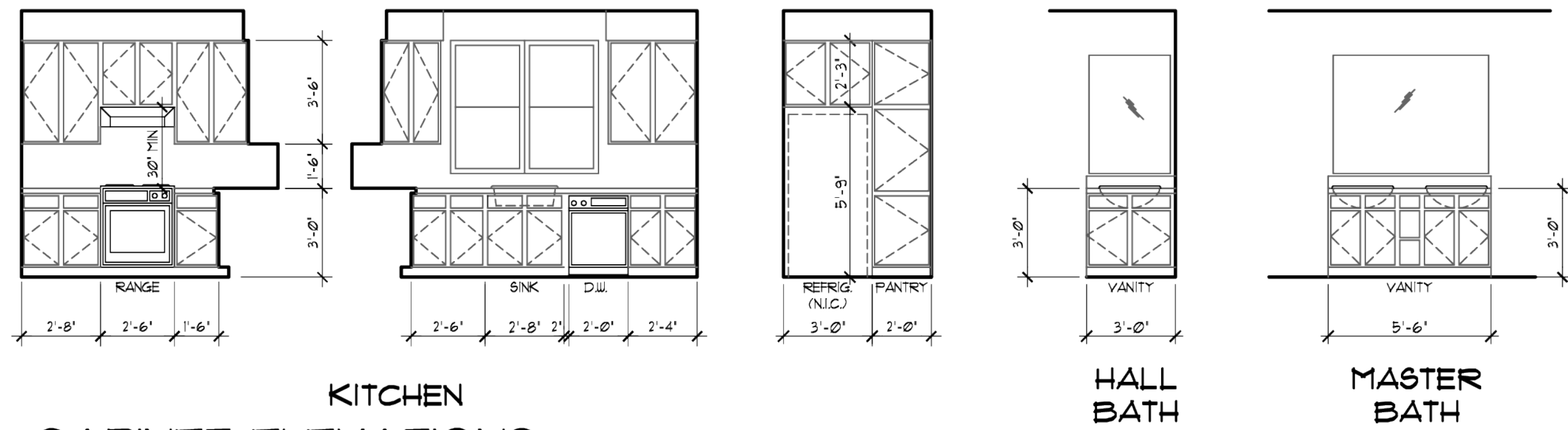
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

IF LATERAL ENGINEERING IS REQUIRED, REFER TO
 ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

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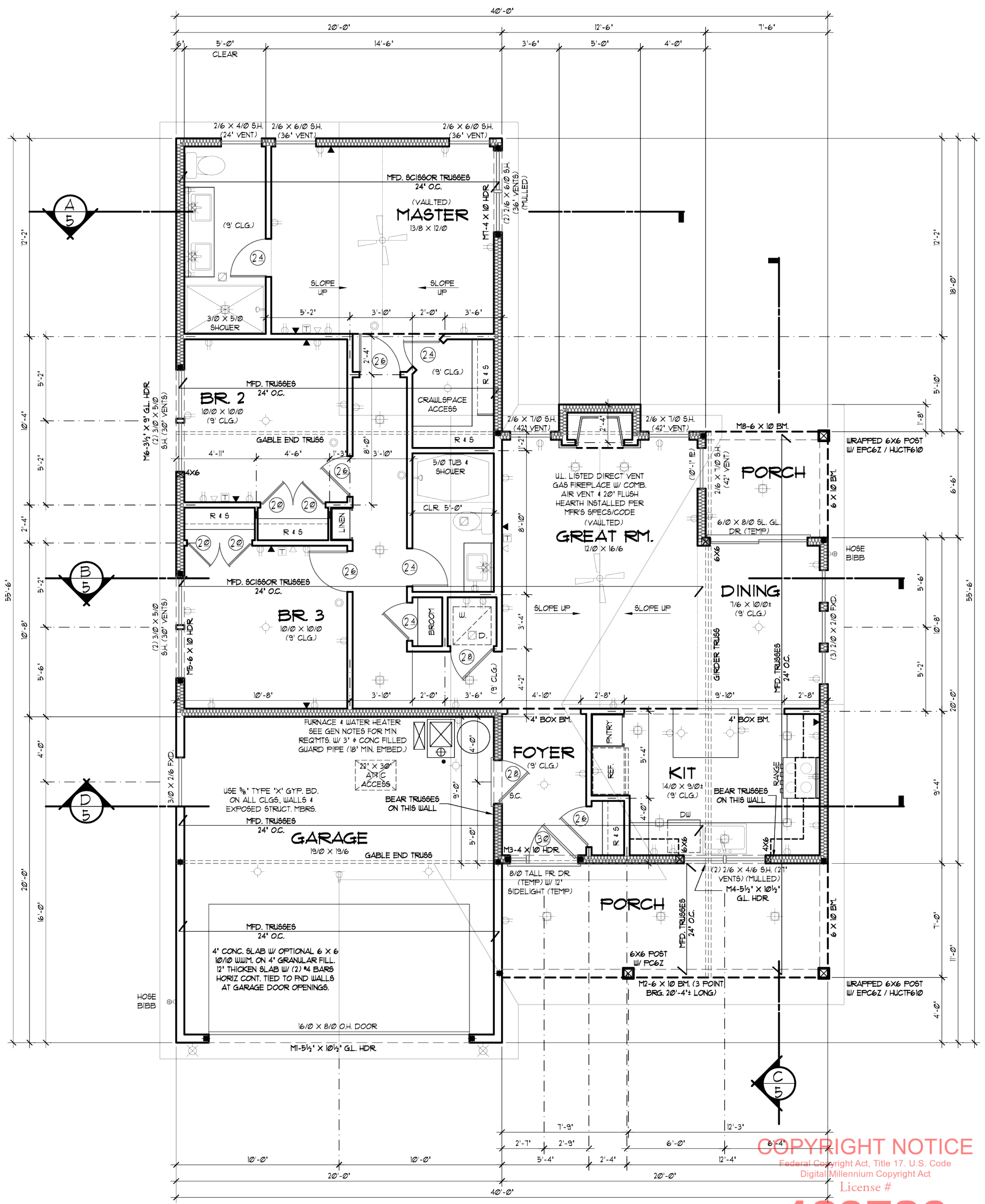
**KITCHEN
CABINET ELEVATIONS**

SCALE: 1/4" = 1'-0"

- LEGEND**
- ⊙ RECESSED LIGHT
 - ⊙ RECESSED DIRECTIONAL LIGHT FIXTURE
 - ⊙ WALL-MOUNT LIGHT
 - ⊙ SURFACE-MOUNT LIGHT
 - ⊙ FLOOD LIGHT
 - ⊙ SURFACE MOUNTED FLUORESCENT
 - ⊙ RECESSED EXHAUST FAN VENTED TO THE EXTERIOR
 - ⊙ CEILING FAN
 - ⊙ DUPLEX OUTLET
 - ⊙ CEILING MOUNTED DUPLEX OUTLET
 - ⊙ 220V OUTLET
 - ⊙ FLUSH FLOOR MOUNTED OUTLET (VERIFY LOC.)
 - ⊙ TELEPHONE OUTLET
 - ⊙ DATA OUTLET
 - ⊙ SPEAKER LOCATION
 - ⊙ TELEVISION OUTLET
 - ⊙ SPEAKER LOCATION
 - ⊙ SMOKE / CO DETECTOR (SEE GENERAL NOTES FOR OTHER SPEC'S)
 - ⊙ BEARING POINT LOCATION (PROVIDE SOLID BEARING - MIN. OF MEMBER WIDTH UNO.)
 - ⊙ POINT LOAD FROM ABOVE
 - ⊙ 4 X 4 POST FROM ROOF H/P, VALLEY OR RIDGE DOWN TO BEARING POINT ON WALL BELOW (MAX. OF 45' FROM VERT.)
 - ⊙ BEARING WALL SUPPORTING STRUCTURE ABOVE
 - ⊙ 4 X 10 HDR. # BEARING WALL INT. DOOR & OPENINGS W/ MIN (2) 2 X 4 SUPPORT EA END (UNO.)
 - ⊙ DROPPED STRUCT. MEMBER BEARING # WALL
- S-FURLONG 07/18/16

- ENERGY ENVELOPE KEY**
- ⊙ WALL/FUR/CLG. INSUL.
 - ⊙ FOUNDATION INSUL.
- (SEE SHEET 'G' FOR INSULATION VALUES)

- CO. DET LOCATION**
- CARBON MONOXIDE ALARMS SHALL BE LOCATED IN EA. BEDROOM OR WITHIN 5 FEET OUTSIDE OF EA. BEDROOM DOOR, AT EVERY FLOOR LEVEL W/ BEDROOMS. (SEE SHEET 'G' FOR ADD'L. INFO)



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

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Mascord
COLLECTION

1187
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PROJECT MANAGER/AS
DRAWN: 08/07/20 LAW

25# SNOW LOAD

MAN FLOOR	1986 SQ. FT.	1986 SQ. FT.	396 SQ. FT.
TOTAL AREA			
GARAGE AREA			

1187
3

ROOF DESIGN NOTES

THIS ROOF HAS BEEN DESIGNED TO SUPPORT CEDAR SHAKE ROOFING MATERIALS AND COMPOSITION ROOFING OF VARIOUS TYPES. THE TABLE BELOW DESCRIBES IN DETAIL THE ASSUMPTIONS MADE IN THE DESIGN OF THE ROOF STRUCTURE OF THIS BUILDING.

ROOF LIVE LOAD (SNOW)	25.0 PSF	32.5 PSF	ACTUAL REQ'D
FRAMING MATERIALS:	2.0 PSF	6.75 PSF	SAFETY FACTOR
SHEATHING MATERIALS:	1.5 PSF	6.75 PSF	
MISC. MATERIALS:	1.5 PSF		
ROOFING TYPE	DRY / WET	40.0	PSF TL
MED SHAKES	2.0 / 32.5 PSF		
HVT SHAKES	3.0 / 4.0 PSF		
SHINGLES	2.0 / 32.5 PSF		
COMPOSITION	2.5 / 3.0 PSF		

GYPSUM MATERIALS: ADD 2.0 PSF FOR VAULTED AREAS (COVERED IN SAFETY FACTOR)

NOTE: HIP, VALLEYS & RIDGES SHALL NOT BE LESS IN DEPTH THAN THE END CUT OF THE RAFTERS (FIELD VERIFY ALL CONDITIONS)

LEGEND

- 4 X 4 WOOD POST FROM RIDGE (HIP OR VALLEY) TO WALL BELOW (MIN. 2" X 4 REQ'D AT WALL BEARING POINT) NOTE: SPLICES IN HIP & VALLEYS CAN ONLY OCCUR @ POST DOWN LOCATIONS
- 49 SQ. IN. ROOF VENTS (SEE VENT TABLE FOR QTY. - 50%/50% SHOWN)
- 2X4 FURLIN WALL TO BM. OR WALL BELOW (FRAM'G AT 24" O.C.)
- SHADED AREA DENOTES ROOF FRAMED OVER RAFTERS BELOW
- DOWNSPOUTS

COMP/SHAKE ROOF

MAXIMUM SPANS PER 2004 WUPA TEL. R.R.-28
#2 D.F. L/240
25' LL & 18' DL

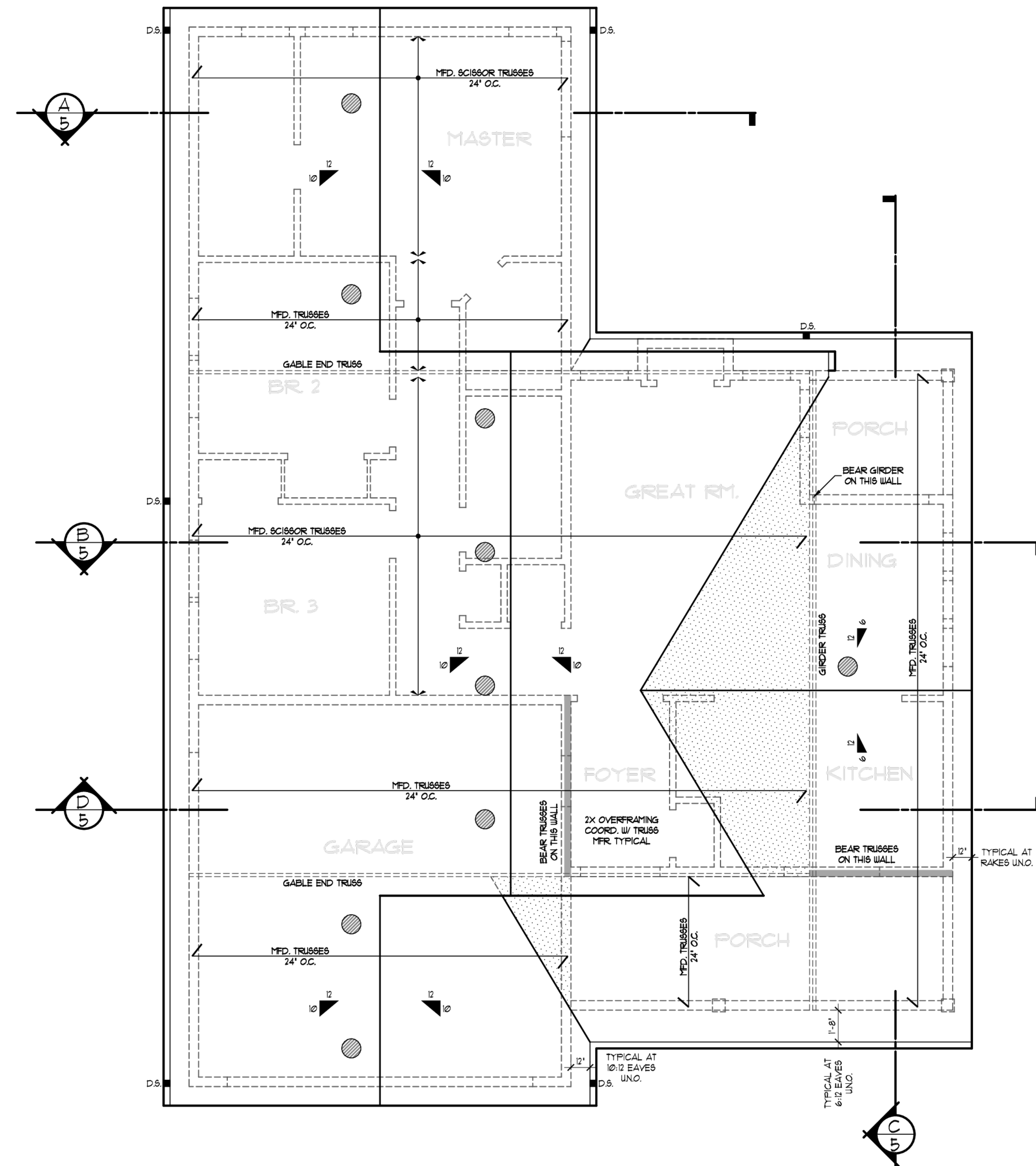
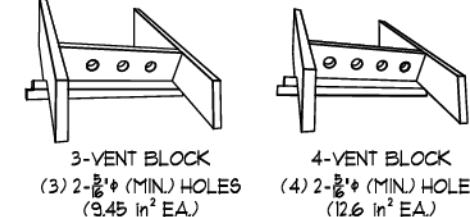
SIZE	SPACING	SPAN
2X6	12' O.C. 16' O.C. 24' O.C.	14'-0" 12'-1" 9'-10"
2X8	12' O.C. 16' O.C. 24' O.C.	17'-8" 15'-4" 12'-6"
2X10	12' O.C. 16' O.C. 24' O.C.	21'-1" 18'-9" 15'-3"
2X12	12' O.C. 16' O.C. 24' O.C.	25'-1" 21'-8" 17'-9"

ROOF VENTS

ROOF AREA (ft ²) x 1180		EAVE-BLOCK'G		ROOF VENTS	
% EAVE	AREA (ft ²)	% ROOF	AREA (ft ²)	3-VENT	4-VENT
60	572.6	40	341.8	54	41
56.7	484.4	43.3	370.0	51	39
53.3	455.4	46.7	399.0	48	36
50	427.2	50	427.2	45	34

PER 2004 IBC - 800.2 THE MIN NET FREE VENTILATING AREA SHALL BE 1/80 OF THE AREA OF THE VENTED SPACE.
EXCEPTION: THE MIN NET FREE VENTILATING AREA SHALL BE 1/60 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
1. CLIMATE ZONES 4, 5, 6, 7, 8, & 9 CLASS 1 OR 2 VAPOR RETARDER IS INSTALLED ON THE WARM-HUMID SIDE OF THE CEILING.
2. NOT LESS THAN 40 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED ON THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 1 FEET FROM THE RIDGE OR HIGHER POINT OF THE SPACE. (MEASURED VERTICALLY). THE BALANCE OF THE REQUIRED VENTILATING PROVIDED SHALL BE LOCATED IN THE BOTTOM PORTION OF THE ATTIC SPACE. (MEASURED VERTICALLY). THE LOCATION OF RAFTER PRATTING MEMBERS COMPATIBLE WITH THE INSTALLATION OF UPPER VENTILATORS INSTALLATION MORE THAN 1 FEET FROM THE RIDGE OR HIGHER POINT OF THE SPACE SHALL BE PERMITTED.

EAVE BLOCKING



ROOF PLAN TO BE VERIFIED W/ TRUSS LAYOUT AND DESIGN BY TRUSS MFR. SEE LAYOUT TRUSS DRAWINGS AND ENGINEERING, BY MFR, FOR ADDITIONAL SPECIFICATIONS AND INSTALLATION REQUIREMENTS.

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ROOF FRAMING PLAN

IF LATERAL ENGINEERING IS REQUIRED, REFER TO ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

SCALE: 1/4" = 1'-0"

TYPICAL AT 10:12 EAVES UNCL.

TYPICAL AT 6:12 EAVES UNCL.

TYPICAL AT 12:12 EAVES UNCL.

TYPICAL AT 12:12 EAVES UNCL.

TYPICAL AT 12:12 EAVES UNCL.

TYPICAL AT 12:12 EAVES UNCL.

TYPICAL AT 12:12 EAVES UNCL.

TYPICAL AT 12:12 EAVES UNCL.

TYPICAL AT 12:12 EAVES UNCL.



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WWW.MASCORD.COM

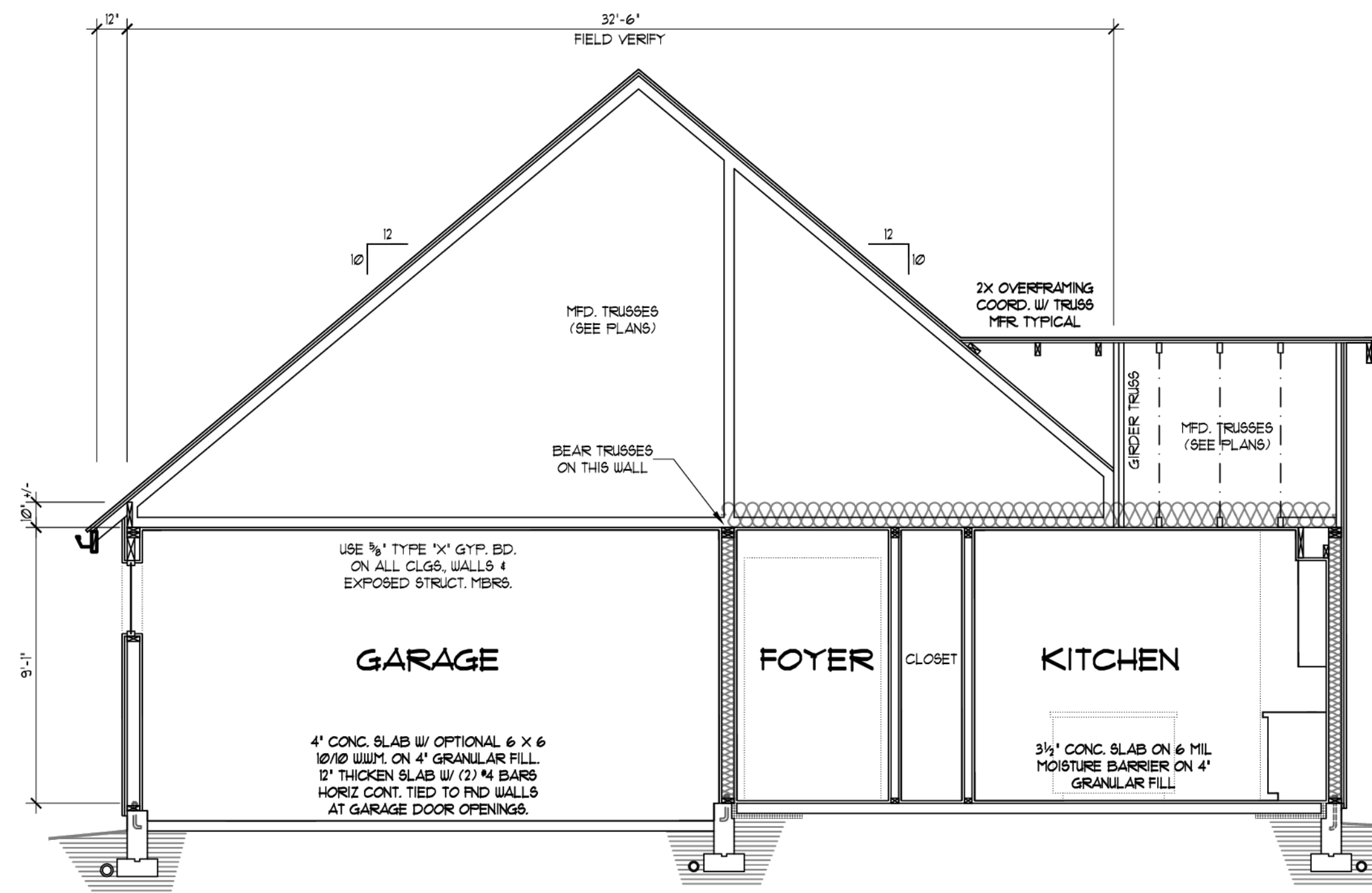
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DRAWN 08/07/20 LAW

25# SNOW LOAD

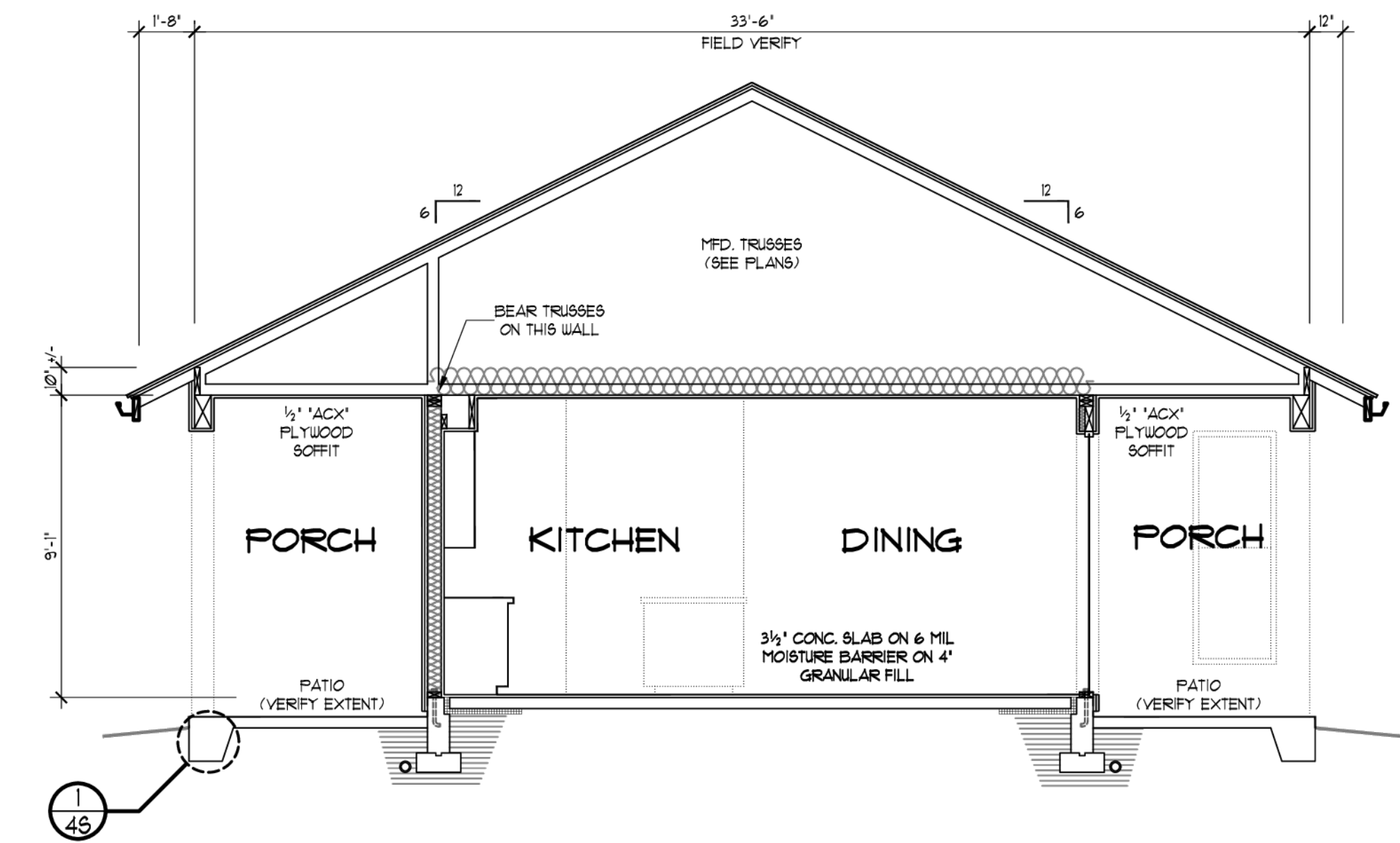
MAIN FLOOR	1196 SQ. FT.
TOTAL AREA	1196 SQ. FT.
GARAGE AREA	4,396 SQ. FT.

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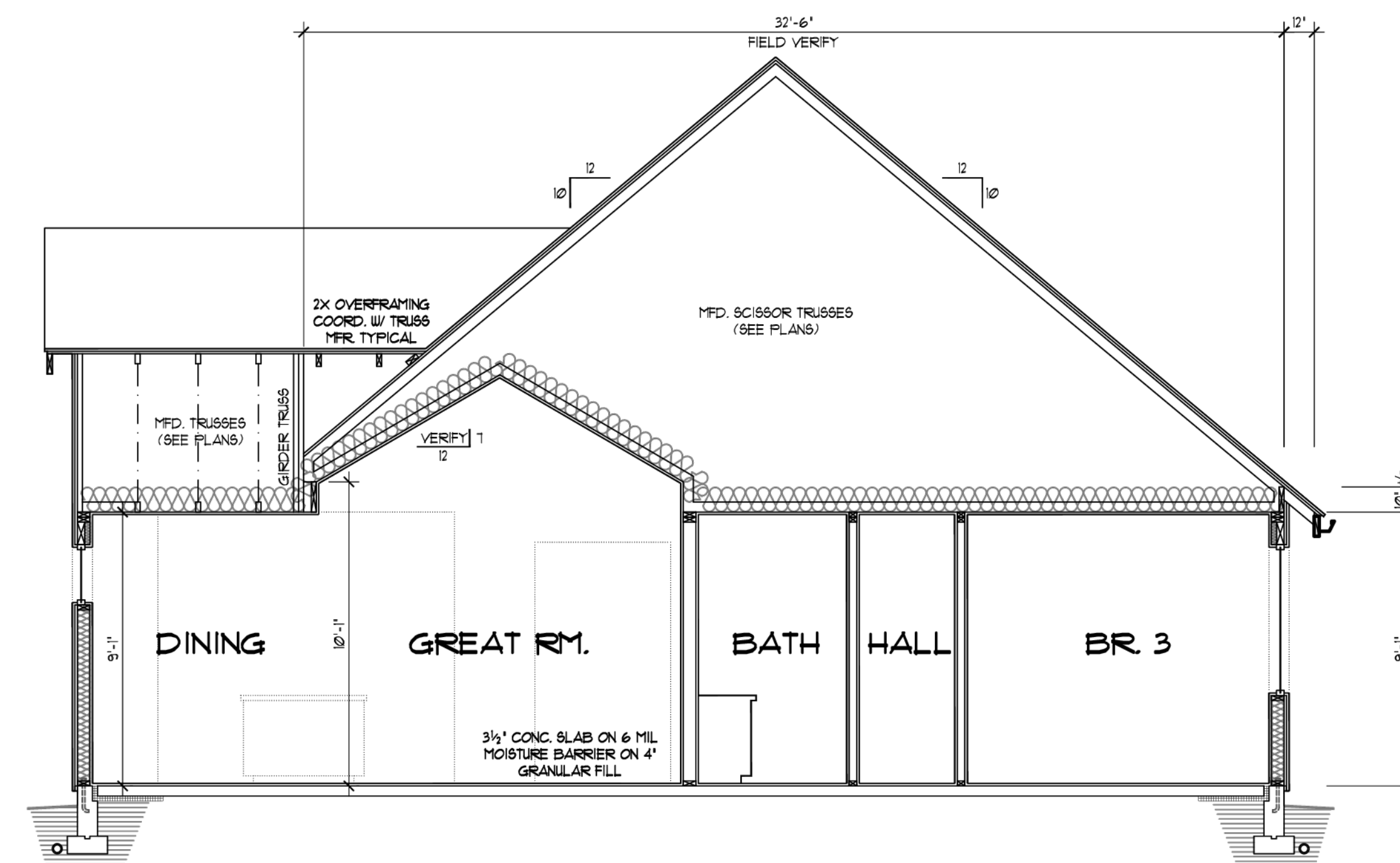


D BUILDING SECTION
SCALE: 1/4" = 1'-0"

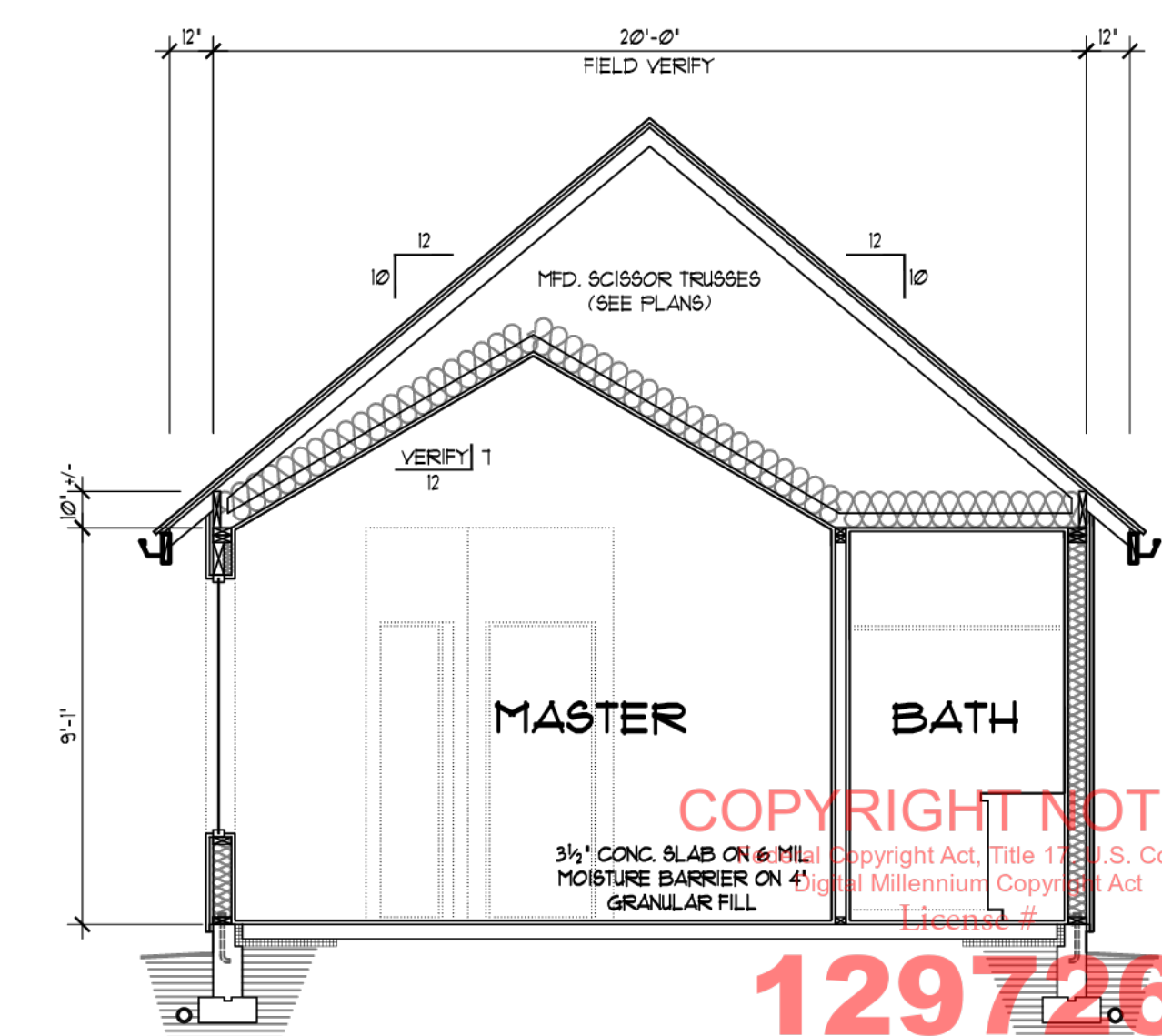


C BUILDING SECTION
SCALE: 1/4" = 1'-0"

ENERGY ENVELOPE KEY	
	WALL, FLOOR, CLG. INSUL.
	FOUNDATION INSUL.
(SEE SHEET 'G' FOR INSULATION VALUES)	



B BUILDING SECTION
SCALE: 1/4" = 1'-0"



A BUILDING SECTION
SCALE: 1/4" = 1'-0"

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25# SNOW LOAD	
MAIN FLOOR	196 SQ. FT.
TOTAL AREA	196 SQ. FT.
GARAGE AREA	396 SQ. FT.