



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR OUT OF COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS

806 AUSTIN ST. ROCKWALL, TX 75087

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING

SF 7

CURRENT USE

PROPOSED ZONING

PROPOSED USE

SHORT TERM RENTAL

ACREAGE

LOTS (CURRENT)

LOTS (PROPOSED)

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER

APPLICANT

CONTACT PERSON

Trenton Austin

CONTACT PERSON

ADDRESS

1340 Blanchard Hwy

ADDRESS

CITY, STATE & ZIP

Rockwall, TX 75087

CITY, STATE & ZIP

PHONE

972-922-5267

PHONE

E-MAIL

taustin@stplumbingservices.com

E-MAIL

NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Trenton Austin [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF September, 2024 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONNECTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF September, 2024

OWNER'S SIGNATURE

Trenton Austin

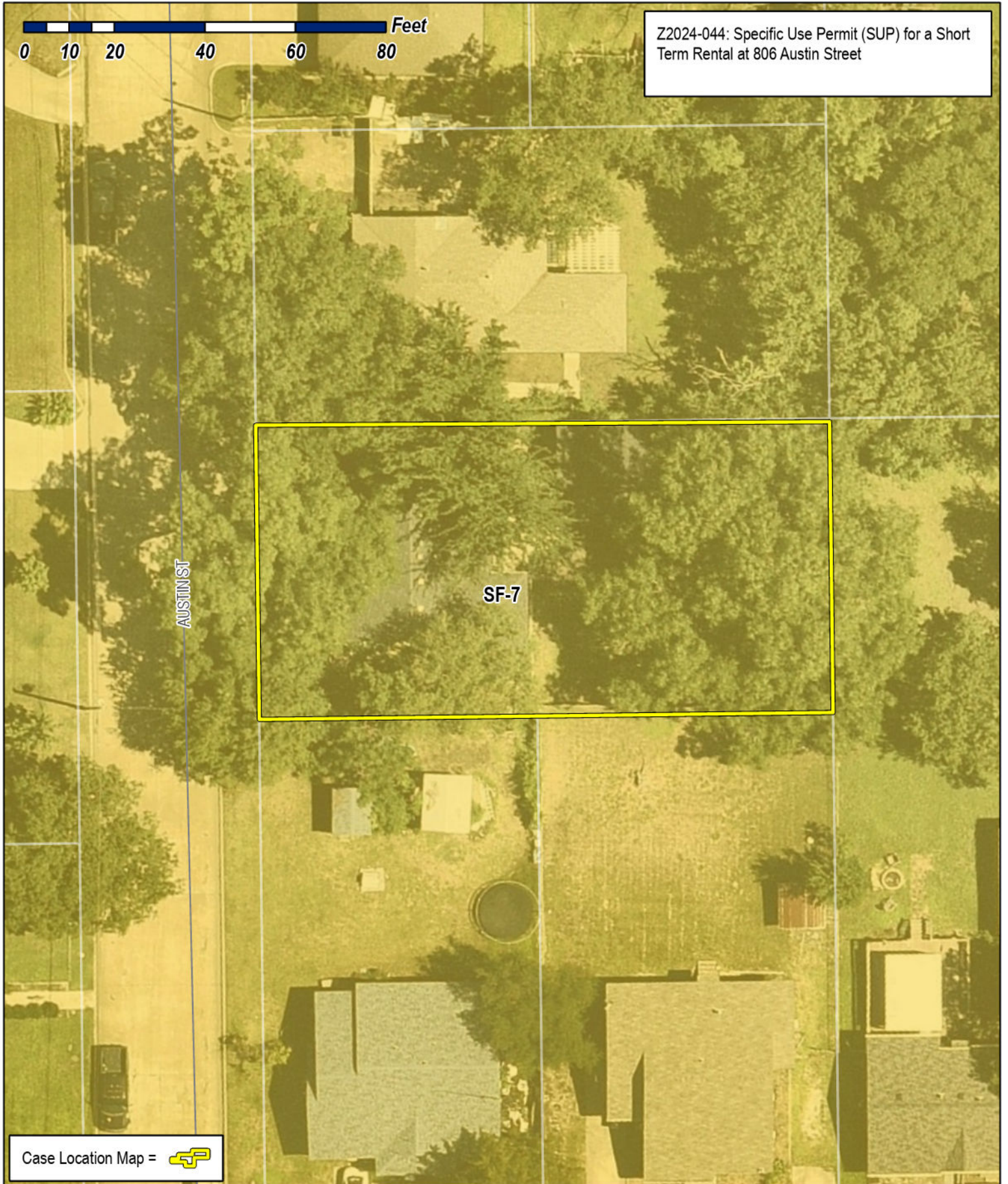
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Tara Riggs





Z2024-044: Specific Use Permit (SUP) for a Short Term Rental at 806 Austin Street



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

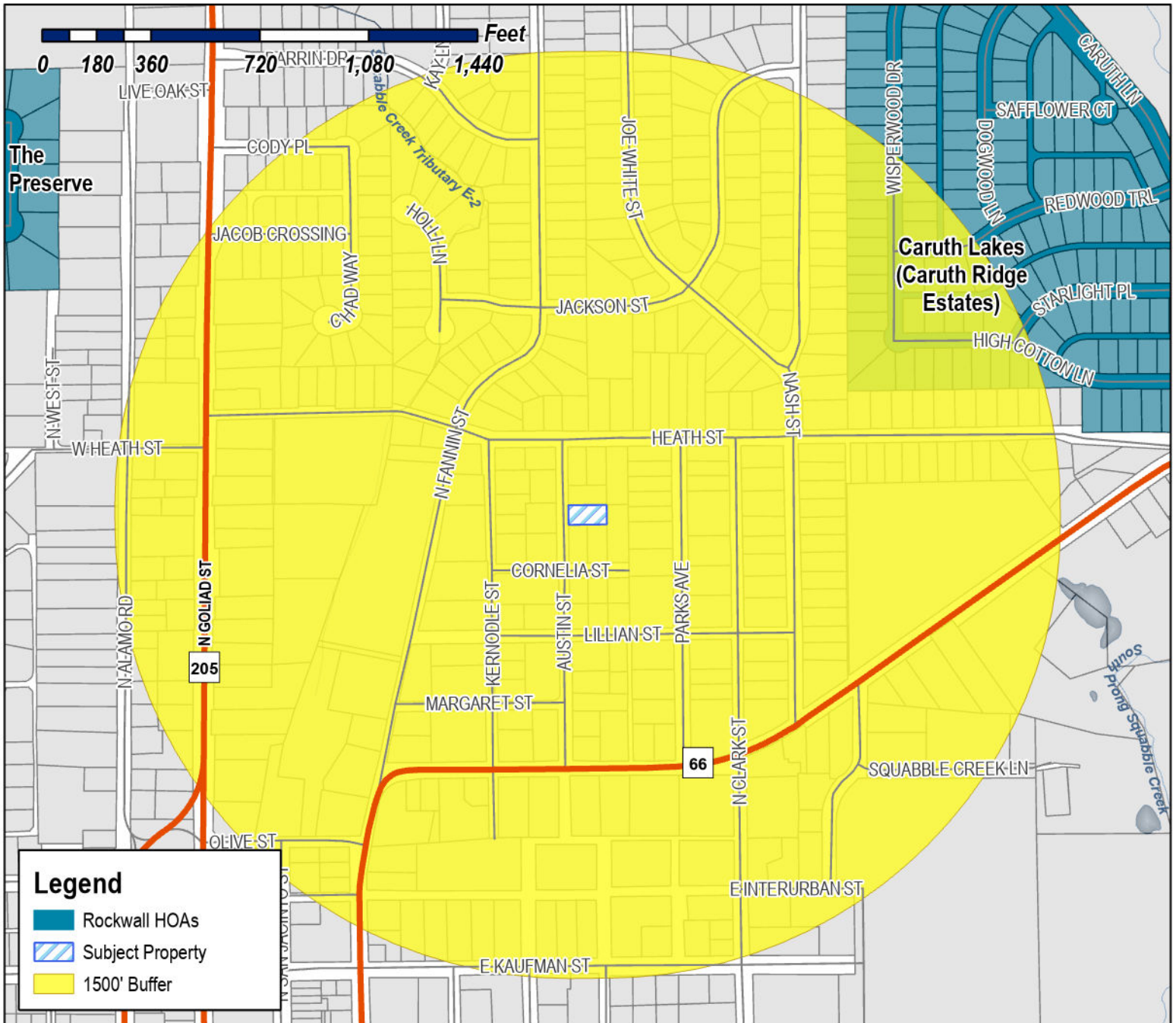




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Case Number: Z2024-044
Case Name: SUP for a Short Term Rental
Case Type: Zoning
Zoning: Single-Family 7 District (SF-7)
Case Address: 806 Austin St

Date Saved: 9/13/2024
 For Questions on this Case Call (972) 771-7745

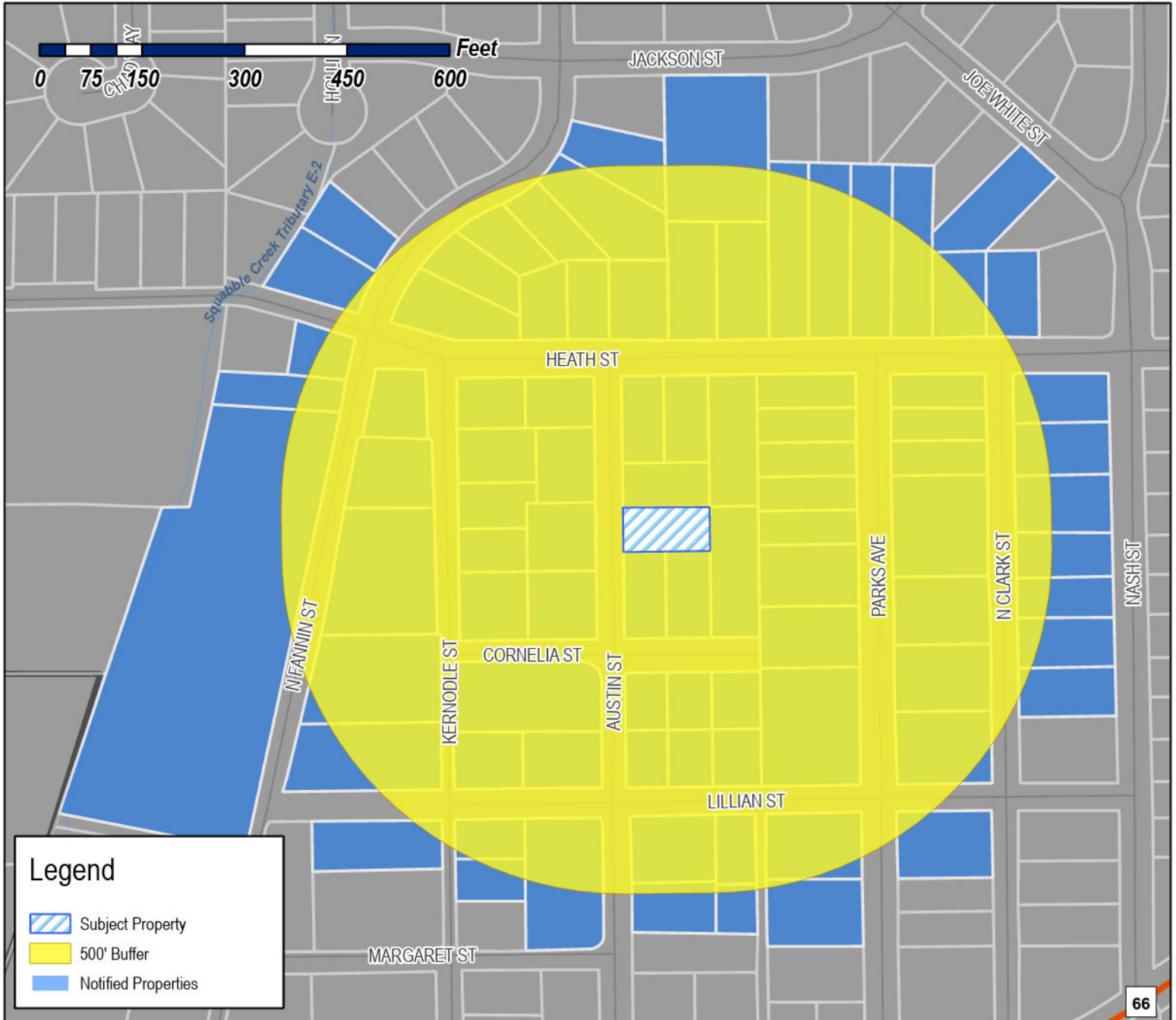




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For Questions on this Case Call: (972) 771-7745



SUCH ANNIE ROSE
1022 TEXAN TRAIL
GRAPEVINE, TX 76051

RESIDENT
103 JOE WHITE
ROCKWALL, TX 75087

PRYOR MICA
1036 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

CONRAD CCC DEVELOPMENT LLC
1215 THOMASVILLE COURT
GARLAND, TX 75044

CELINE ESTATES INC
149 BRENTWOOD DRIVE
HEATH, TX 75032

FINK BEVERLY A & ROYCE G
17111 255TH AVE
SPIRIT LAKE, IA 51360

CELINE ESTATES INC
1925 BROKEN LANCE LN
ROCKWALL, TX 75032

VANILLA BEAN PROPERTIES SERIES 2 LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 7 LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 8 LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 6 LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 3 LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 10 LLC
2 MANOR COURT
HEATH, TX 75032

REDDEN POLLY PEOPLES
213 SOVEREIGN CT
ROCKWALL, TX 75032

THOMAS ANGELA
2200 KINGS PASS
HEATH, TX 75032

PARK STUFF SERIES LLC
2301 LAFAYETTE DR
HEATH, TX 75032

GLASS JERRY R
301 MEADOWDALE DR
ROCKWALL, TX 75087

CAUBLE LINDA
301 S CLARK ST
ROCKWALL, TX 75087

ZYLKA PROPERTIES LLC
3021 RIDGE ROAD A66
ROCKWALL, TX 75032

ZYLKA PROPERTIES LLC
3021 RIDGE ROAD A66
ROCKWALL, TX 75032

STARK ROBERT S & TINA J
3090 N GOLIAD ST SUITE 102 #213
ROCKWALL, TX 75087

CLARK APRIL N
313 NAKOMA DRIVE
ROCKWALL, TX 75087

ABEAR HOMES LLC SERIES 3
3400 N CENTRAL EXPY #110
RICHARDSON, TX 75080

TIPPING VIVIAN E AND
401 EAST HEATH STREET
ROCKWALL, TX 75087

DOLLINS ROBIN KAY AND GEORGE OEN
403 E HEATH
ROCKWALL, TX 75087

RESIDENT
405 E HEATH
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D
500 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
501 LILLIAN
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M
501 CORNELIA ST
ROCKWALL, TX 75087

BARNETT GEORGE S
502 CORNELIA ST
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA
502 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
503 LILLIAN
ROCKWALL, TX 75087

RESIDENT
504 CORNELIA
ROCKWALL, TX 75087

TANTON MELVIN V JR
504 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
505 LILLIAN
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TRAIL
ROCKWALL, TX 75087

MOJICA JOSE L
505 CORNELIA ST
ROCKWALL, TX 75087

RESIDENT
505 E HEATH
ROCKWALL, TX 75087

RESIDENT
506 CORNELIA
ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE
506 LILLIAN ST
ROCKWALL, TX 75087

YOUNG MOLLIE AND JAY CHANCE
507 PARKS AVENUE
ROCKWALL, TX 75087

RESIDENT
509 E HEATH
ROCKWALL, TX 75087

DOROTIK DAVID W
509 PARKS AVE
ROCKWALL, TX 75087

RICHARDSON PATRICE
510 COVE RIDGE RD
HEATH, TX 75032

ALLEGRETTO RICHARD JR AND SARAH ANN
510 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
511 E HEATH
ROCKWALL, TX 75087

COATS LOIS LOUISE
512 E HEATH ST
ROCKWALL, TX 75087

GREENAWALT PATRICK AND COURTNEY
513 E HEATH ST
ROCKWALL, TX 75087

FANG PROPERTIES LLC
536 LOMA VISTA
HEATH, TX 75032

RESIDENT
601 E HEATH
ROCKWALL, TX 75087

EICH CHRIS AND ELENA
601 PARKS AVENUE
ROCKWALL, TX 75087

RESIDENT
602 AUSTIN
ROCKWALL, TX 75087

MURPHY MICHAEL
602 PARKS AVE
ROCKWALL, TX 75087

LOFLAND JANA J
603 AUSTIN ST
ROCKWALL, TX 75087

SUTTON JUDITH A
603 E HEATH ST
ROCKWALL, TX 75087

FUNK TED FREDRICK AND REBECCA LYNN
604 KERNODLE
ROCKWALL, TX 75087

FUQUA MATTHEW
604 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
605 E HEATH
ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM
605 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
606 KERNODLE
ROCKWALL, TX 75087

RESIDENT
606 PARKS
ROCKWALL, TX 75087

DANIEL RODNEY
606 AUSTIN ST
ROCKWALL, TX 75087

RESIDENT
607 NASH
ROCKWALL, TX 75087

MULLINS CHRISTOPHER CHARLES AND ARYN
ELISE
607 KERNODLE ST
ROCKWALL, TX 75087

TORRES ROSIE
609 NASH ST
ROCKWALL, TX 75087

BELANGER CORKY
616 MONTROSE DR
ROCKWALL, TX 75087

RESIDENT
701 NASH
ROCKWALL, TX 75087

MOONEY DAVID AARON
701 AUSTIN ST
ROCKWALL, TX 75087

CASTILLO AGAPITO & ESTELA
701 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
702 KERNODLE
ROCKWALL, TX 75087

HENRY AMANDA A
702 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
703 PARKS
ROCKWALL, TX 75087

TIBBETTS ELAINE
703 KERNODLE ST
ROCKWALL, TX 75087

ELLISTON REBECCA S
703 NASH STREET
ROCKWALL, TX 75087

FRASIER MICHAEL & MARY GRACE
704 JACKSON ST
ROCKWALL, TX 75087

THOMAS TRACY
704 KERNODLE ST
ROCKWALL, TX 75087

2021 B L GRAVES REVOCABLE TRUST
705 KERNODLE ST
ROCKWALL, TX 75087

RUSHING BRIAN AND
705 NASH ST
ROCKWALL, TX 75087

PECINA JOE & LORETHIA ANN
706 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
707 NASH
ROCKWALL, TX 75087

RESIDENT
707 PARKS
ROCKWALL, TX 75087

CLOVER CHRISTIAN & SCOTT CLOVER & RENEE
CLOVER
708 PARKS AVE
ROCKWALL, TX 75087

MCDOWELL KIMBERLEE & KIRBY
709 NASH ST
ROCKWALL, TX 75087

BARRON ARMANDO
709 PARKS AVE
ROCKWALL, TX 75087

SILVA REBECA BRIANA &
JAVIER SILVA
711 PARKS AVENUE
ROCKWALL, TX 75087

FLANAGAN RONNY LYNN JR AND JULIE
MICHELLE
714 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
801 AUSTIN
ROCKWALL, TX 75087

RESIDENT
802 KERNODLE
ROCKWALL, TX 75087

COLWILL DIANA MARIA AND JESSE DAVID
803 AUSTIN ST
ROCKWALL, TX 75087

JOHNSON BRADLEY K AND GINGER M
803 KERNODLE ST
ROCKWALL, TX 75087

EMBRY ASHLEY
803 MIRAMAR DR
ROCKWALL, TX 75087

RESIDENT
804 KERNODLE
ROCKWALL, TX 75087

RUSTY ENTERPRISES LLC
804 WILLIAMS STREET
ROCKWALL, TX 75087

BUSHNELL MICHAEL S & TIFFANIE C
805 KERNODLE ST
ROCKWALL, TX 75087

ORTIZ ENRIQUE AROZLA
805 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
806 KERNODLE
ROCKWALL, TX 75087

AUSTIN TRENTON C
806 AUSTIN ST
ROCKWALL, TX 75087

DEL BOSQUE MARIO ETUX
807 KERNODLE ST
ROCKWALL, TX 75087

MEJIA JULIO & MARIA R
807 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
808 AUSTIN
ROCKWALL, TX 75087

RESIDENT
808 KERNODLE
ROCKWALL, TX 75087

RESIDENT
809 AUSTIN
ROCKWALL, TX 75087

JOSEY BROOKE
810 KERNODLE ST
ROCKWALL, TX 75087

JENNINGS AMANDA L
811 AUSTIN ST
ROCKWALL, TX 75087

MCCLAIN LOUETTA
8309 TURNBERRY ST
ROWLETT, TX 75089

WIEHE JOHN THOMAS
900 N FANNIN ST
ROCKWALL, TX 75087

CROWDER GERALDINE
901 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
902 N FANNIN
ROCKWALL, TX 75087

HEMPHILL REBECCA AND TODD
903 NORTH FANNIN STREET
ROCKWALL, TX 75087

HALL WYNNE &
904 N FANNIN ST
ROCKWALL, TX 75087

WILLIAMS BROOKS
906 FANNIN STREET
ROCKWALL, TX 75087

RESIDENT
908 N FANNIN
ROCKWALL, TX 75087

HAGENY MARY
910 N FANNIN STREET
ROCKWALL, TX 75087

601 E. HEATH, A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK 710 AGAPE CIR
ROCKWALL, TX 75087



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
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STAFF USE ONLY

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PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS

806 AUSTIN ST. ROCKWALL, TX 75087

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING

SF 7

CURRENT USE

PROPOSED ZONING

PROPOSED USE

SHORT TERM RENTAL

ACREAGE

LOTS (CURRENT)

LOTS (PROPOSED)

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OWNER

APPLICANT

CONTACT PERSON

Trenton Austin

CONTACT PERSON

ADDRESS

1340 Blanchard Hwy

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Rockwall, TX 75087

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Trenton Austin

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Tara Riggs





SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

RECEIVED BY:

T. Buehler

DATE RECEIVED:

9/16/2024

STR PERMIT NO.

STR2024-4890

ACKNOWLEDGEMENTS BY PROPERTY OWNER [PLEASE INITIAL BY EACH STATEMENT]

- TA I acknowledge that a *Short-Term Rental Permit* granted by the City of Rockwall does not supersede any property specific restrictions against *Short-Term Rentals* that may exist under law, agreement, lease, covenant, or deed restriction.
- TA I acknowledge that if three (3) violations/citations occur in any consecutive 12-month period, that my *Short-Term Rental Permit* will be revoked and that I will not be eligible to apply for a new *Short-Term Rental Permit* for 12-months from the date of revocation. In addition, I acknowledge that the City of Rockwall will have the right to inspect my property when a violation is reported or suspected.
- TA I acknowledge that a *Short-Term Rental Permit* and any non-conforming rights associated with a *Short-Term Rental Permit* are non-transferable to another property owner or operator, or address or location.
- TA I acknowledge that I am responsible for remitting all applicable state, county, and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinance. I also acknowledge that failure to pay hotel occupancy tax will result in the revocation of my *Short-Term Rental Permit*.
- TA I acknowledge that a *Short-Term Rental Permit* is valid for a period of three (3) years, and — as the owner of the subject property — it is my responsibility to apply for a renewal 30-days prior to the expiration of my *Short-Term Rental Permit*. Should I fail to submit a renewal application in this time period, I will forfeit all non-conforming rights and be required to submit a new application that will be subject to all the current requirements stipulated by the Unified Development Code (UDC) and Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances.

REGISTRATION TYPE

New Registration | Renewal of an Existing Registration

Was this property being used as a short-term rental prior to April 1, 2024? Yes | No

PROPERTY INFORMATION [PLEASE PRINT]

| | | | |
|------------------|-------------------|--------|--|
| Address | 806 Austin Street | Zoning | |
| Subdivision | | Lot | |
| General Location | Downtown Rockwall | Block | |

TYPE OF SHORT-TERM RENTAL

Please indicate the type of short-term rental being permitted and registered:

- SHORT-TERM RENTAL (OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX)**. A single-family home, townhome, or duplex — or portion thereof — in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
- SHORT-TERM RENTAL (NON-OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX)**. A single-family home, townhome, or duplex — or a portion thereof — in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit — or portion thereof — on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property).
- SHORT-TERM RENTAL (APARTMENT OR CONDOMINIUM)**. An apartment or condominium (or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC]) — or a portion thereof — in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.

PROPERTY OWNER INFORMATION [PLEASE PRINT]

| | | | |
|-----------------|---------------------|----------|--------------|
| Name | Trenton Austin | Phone | 972-922-5267 |
| Mailing Address | 1340 Meandering Way | City | Rockwall |
| Email | | State | TX |
| | | Zip Code | 75087 |

RESPONSIBLE PARTY [PLEASE PRINT]

Please note that a *Responsible Party* is required for all *Short-Term Rental Permit* applications. A *Responsible Party* is a local representative that resides in Rockwall County and who is available at all time the rental is in use. The *Responsible Party* must be available within one (1) hour of contact and must be authorized to make decisions regarding the property and its occupants.

Same as Property Owner

| | | | |
|-----------------|--|----------|--|
| Name | | Phone | |
| Mailing Address | | City | |
| Email | | State | |
| | | Zip Code | |



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

REQUIREMENTS CHECKLIST

Please indicate that the following required items have been provided with this application by checking the box next to each required item:

- REGISTRATION FEE.** A \$500.00 application fee payable to the City of Rockwall.
- SITE PLAN.** A site plan showing the location of the *Short-Term Rental* and the parking areas provided for the *Short-Term Rental*.
- PICTURES.** Pictures of the subject property showing the rear, front, and side yards of the subject property. In addition, pictures of all structures – one (1) per each façade of a structure – and any on-site amenities.
- COMMERCIAL INSURANCE.** Each *Short-Term Rental* shall be required to have and provide proof of general commercial insurance (or an equivalent) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00.
- DRIVER LICENSE.** A copy of the driver license for the property owner and responsible party.

GENERAL STANDARDS CHECKLIST

Please indicate that subject property currently conforms with the following requirements by checking the box next to each general standard:

- ADVERTISING.** All advertising for the *Short-Term Rental* – including online or on a proprietary website, application, or other technology – will include the *Short-Term Rental Permit Number* within the description or body of the advertisement for public reference.
- PARKING.** The parking on the subject property currently conforms to the requirements of *Table 5: Parking Requirement Schedule* of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, I understand that all parking shall be on an improved surface (i.e. gravel, pavers, asphalt, or concrete) and no guest or occupant will park on an unimproved surface (e.g. grass, vegetation, soil, etc.).
- EVACUATION PLAN.** [ONLY APPLICABLE TO APARTMENTS AND CONDOMINIUMS THAT DO NOT HAVE DIRECT INGRESS/EGRESS TO THE EXTERIOR OF THE BUILDING FROM THE FRONT DOOR] An evacuation plan showing how to exit the building has been posted on the front door.
- TEMPORARY STRUCTURES.** There are no temporary structures (i.e. recreational vehicles/campers, vehicles intended for occupancy, tents, canopies or shade structures that are not permitted by the City of Rockwall, or similar structures or vehicles) being utilized as a *Short-Term Rental*.
- TRASH/RUBBISH/SOLID WASTE.** There are enough City approved containers (i.e. a polycarts or approved garage cans) to hold all trash/rubbish/solid waste produced on-site. I also understand that it will be a violation to have any trash/rubbish/solid waste – bagged or otherwise – placed on the ground.
- SIGNAGE.** No external signage shall be installed or constructed on the property indicating or advertising the property as a *Short-Term Rental*.
- FIRE EXTINGUISHER.** A standard five (5) pound fire extinguisher (i.e. 2A:10B:C) has been properly mounted within 75-feet of all portions of the *Short-Term Rental* on each floor.
- SMOKE AND CARBON MONOXIDE DETECTORS.** Operable smoke and carbon monoxide detectors have been installed in the *Short-Term Rental* in accordance with all applicable City of Rockwall codes.
- INGRESS/EGRESS.** All bedrooms in the *Short-Term Rental* have at least one (1) operable emergency point of ingress/egress for rescue and escape (i.e. windows and/or doors).
- SLEEPING ACCOMMODATIONS.** There is no overnight sleeping outdoors or outdoor sleeping spaces provided as part of the *Short-Term Rental*.
- TENANT NOTIFICATION.** The following information has been posted in a visible and obvious location inside the *Short-Term Rental*: [1] the property owner's and/or the Responsible Party's contact information and phone number; [2] pertinent information relating to the aforementioned standards (i.e. the location of the required off-street parking; the schedule, location, and requirements regarding trash/rubbish/solid waste; information regarding the conduct of guests; and etc.); [3] information to assist guests in the case of an emergency (i.e. emergency and non-emergency telephone numbers for police, fire, and medical services); and, [4] a notice that failure to conform to the requirements and codes of the City of Rockwall is a violation, and that an owner, occupant, or visitor can be cited for violations to these requirements.

RESPONSIBLE PARTY'S CERTIFICATION

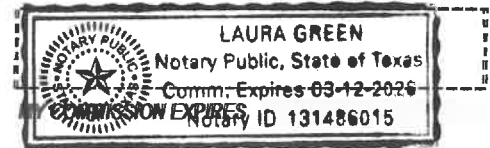
I hereby certify that I am the *Responsible Party* of the property identified in this application, and that my primary residence is located in Rockwall County. I further understand my responsibilities as the *Responsible Party* as stipulated by Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and consent to have my information posted online. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4th DAY OF September, 2024

RESPONSIBLE PARTY'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Laura Green



PROPERTY OWNER'S CERTIFICATION

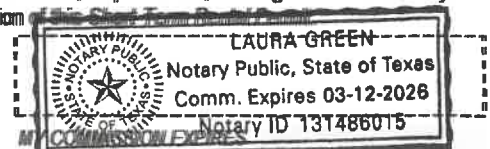
I hereby certify that I am the property owner of the property identified in this application, and that all information provided on this application is true and correct. I also hereby certify that the property identified in this application is in compliance with all of the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and that it is my sole responsibility to ensure that the property continues to be in compliance with the rules, requirements, and regulations of the City of Rockwall. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4th DAY OF September, 2024

PROPERTY OWNER'S SIGNATURE

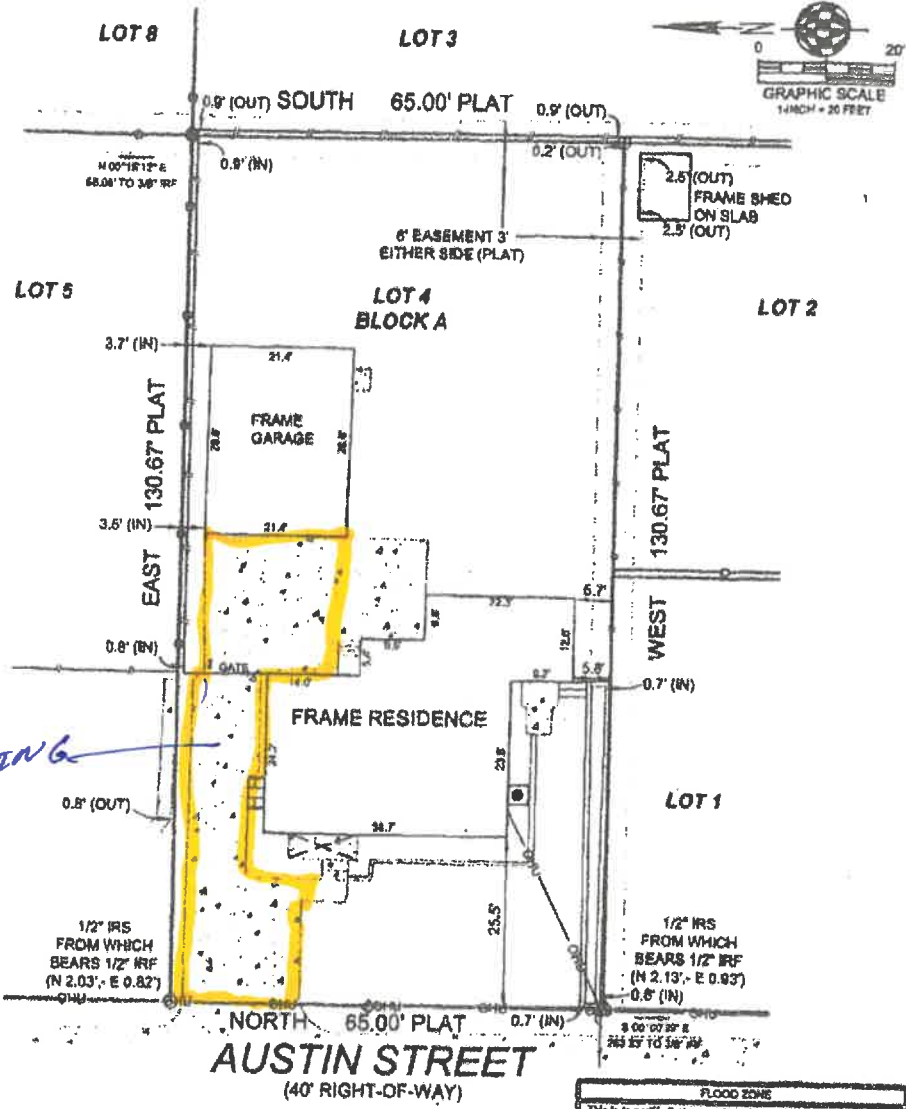
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Laura Green



SURVEY PLAT: 806 AUSTIN STREET

Being Lot 4, in Block A, in the REVISION OF LOTS 15 AND 16, FARMERS AND MERCHANTS NATIONAL BANK ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet 49, Slide 526, of the Plat Records of Rockwall County, Texas.



PARKING

FLOOD ZONE
This is to certify that no portion of the subject property shown herein lies within the 100 Year Flood Hazard Area as shown on the Flood Insurance Rate Map, Community Panel No. 48097C 0040L, dated 09-25-2008. The property is located in Zone "C".

LEGEND

| | | | | | | |
|---------------|------------------|----------------|--------------|-----------------------|--------------------------|---------------|
| 10" IR FENEST | X-POUND | FILE BOX | UTILITY POLE | OVERHEAD UTILITY LINE | CONC. NUMBER | CONCRETE |
| 12" IR NET | X-BOX | CABLE BOX | WATER METER | IRON W/HP ANCHOR | RECESSED STONE RET. WALL | GRAVEL |
| 18" IR FOUND | SAN. SEW. MH | ELECTRIC BOX | DRS. METER | BARBED WIRE FENCE | BUILDING LINE | BRICK |
| 24" IR FOUND | IRRIGATION VALVE | BRICK COLUMN | A.D. PAD | IRON FENCE | EASEMENT | STONE |
| 30" IR FOUND | WATER VALVE | STONE COLUMN | TRANS. BOX | CHARLUM FENCE | BOUNDARY | WOOD DECK |
| 36" IR FOUND | FRS HYDRANT | STONE DRAIN MH | POOL EQUIP. | WOOD FENCE | HIGH BANK LINE | BUILDING WALL |
| 42" IR FOUND | LIGHT POLE | SAN. SEW. DCL | | ASPHALT | AREA | TILE |

I, John S. Turner, Registered Professional Land Surveyor of the State of Texas, do certify that this Survey Plat is a true, correct and accurate representation of the project shown herein as authorized by survey on the ground under my supervision. The lines and dimensions of said property being indicated by this plat. The improvements are within the boundaries of the property lines as the distances indicated and there are no visible and apparent encroachments, encroachments, utilities or projections, except as shown. This survey meets or exceeds the minimum standards required by the Texas Board of Professional Land Surveying.

This survey was performed exclusively for the parties in connection with the G. F. Harbitt steam turbine and is accurate for a single use. This survey remains the property of the Surveyor. Unauthorized reuse is not permitted without the expressed written permission of the Surveyor. This survey is an original work protected by United States Copyright Law which, however, may be copied. All rights reserved. Do not make a legal copy.

John S. Turner
JOHN S. TURNER RPLS 6310



A&W SURVEYORS, INC.
Professional Land Surveyors
TEXAS REGISTRATION NO. 100174-00
P.O. BOX 870029, MESQUITE, TX 75187
PHONE: (972) 681-4875 FAX: (972) 681-4854
WWW.AWSURVEY.COM

JOB NO. 14-1472 DRAWN BY: GGP
DATE: 06-20-2014 G.F. NO.: 2023-1321 DGRU
CERTIFY TO: BLAIR LEAKE TITLE CO. REVISION TITLE

"A professional company operating in your best interest"



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

9/9/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

| | |
|---|---|
| PRODUCER CORE Insurance Group 2570 River Park Plz Ste 100 Fort Worth, TX 76116 | CONTACT NAME: Norma Ayala PHONE (A/C, No, Ext): FAX (A/C, No): |
| | E-MAIL ADDRESS: norma@coreins.us |
| INSURER(S) AFFORDING COVERAGE | |
| INSURER A : Northfield Insurance Company | NAIC # 27987 |
| INSURED Trenton and Sarah Austin 806 Austin Street Rockwall, TX 75087 | INSURER B : |
| | INSURER C : |
| | INSURER D : |
| | INSURER E : |
| | INSURER F : |
| | |

COVERAGES

CERTIFICATE NUMBER:

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

| INSR LTR | TYPE OF INSURANCE | ADDL INSD | SUBR WVD | POLICY NUMBER | POLICY EFF (MM/DD/YYYY) | POLICY EXP (MM/DD/YYYY) | LIMITS | |
|----------|--|-----------|----------|-----------------|-------------------------|-------------------------|---|---------------------|
| A | <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER: | | | WS581435 | 9/3/2024 | 9/3/2025 | EACH OCCURRENCE | \$ 1,000,000 |
| | | | | | | | DAMAGE TO RENTED PREMISES (Ea occurrence) | \$ 100,000 |
| | | | | | | | MED EXP (Any one person) | \$ 5,000 |
| | | | | | | | PERSONAL & ADV INJURY | \$ 1,000,000 |
| | | | | | | | GENERAL AGGREGATE | \$ 2,000,000 |
| | | | | | | | PRODUCTS - COMP/OP AGG | \$ 2,000,000 |
| | | | | | | | | \$ |
| | AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY | | | | | | COMBINED SINGLE LIMIT (Ea accident) | \$ |
| | | | | | | | BODILY INJURY (Per person) | \$ |
| | | | | | | | BODILY INJURY (Per accident) | \$ |
| | | | | | | | PROPERTY DAMAGE (Per accident) | \$ |
| | | | | | | | | \$ |
| | UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$ | | | | | | EACH OCCURRENCE | \$ |
| | | | | | | | AGGREGATE | \$ |
| | | | | | | | | \$ |
| | WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y / N <input checked="" type="checkbox"/> N / A If yes, describe under DESCRIPTION OF OPERATIONS below | | | | | | PER STATUTE | OTH-ER |
| | | | | | | | E.L. EACH ACCIDENT | \$ |
| | | | | | | | E.L. DISEASE - EA EMPLOYEE | \$ |
| | | | | | | | E.L. DISEASE - POLICY LIMIT | \$ |

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
Short Term Rental for 806 Austin St Rockwall Tx

CERTIFICATE HOLDER

CANCELLATION

Insured's Purposes Only

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE





