



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 510 W. Kaufman St Rockwall, TX 75087

SUBDIVISION Lowe & Allen Block LOT 20 BLOCK -

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE Single Family Residential

ACREAGE .27 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Paul & Dioselina Carbow

APPLICANT _____

CONTACT PERSON Paul Carbow

CONTACT PERSON _____

ADDRESS 7137 Lanyon dr

ADDRESS _____

CITY, STATE & ZIP Dallas, TX 75227

CITY, STATE & ZIP _____

PHONE 469-623-2192

PHONE _____

E-MAIL pcarbow@dallasisd.org

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

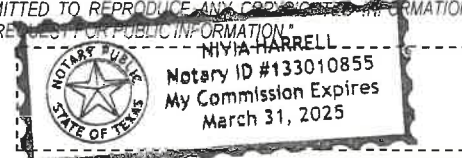
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Paul Carbow [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF July, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPIED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF July, 2024

OWNER'S SIGNATURE Paul Carbow

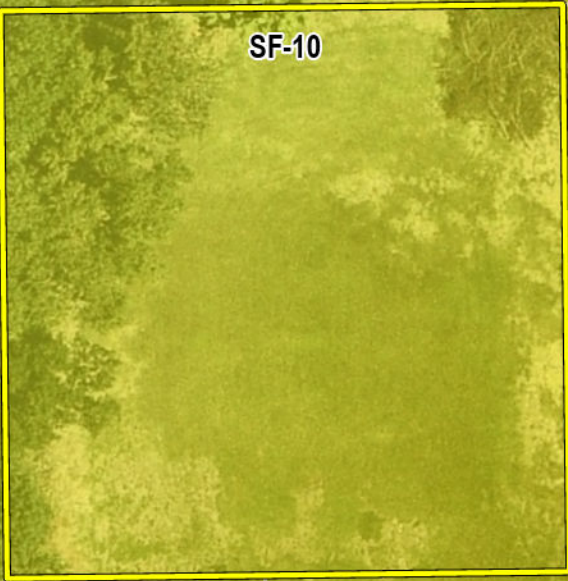
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Paul Harrell



MY COMMISSION EXPIRES _____



Z2024-031: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision 510 W. Kaufman Street.



SF-10

W KAUFMAN ST

SF-7

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

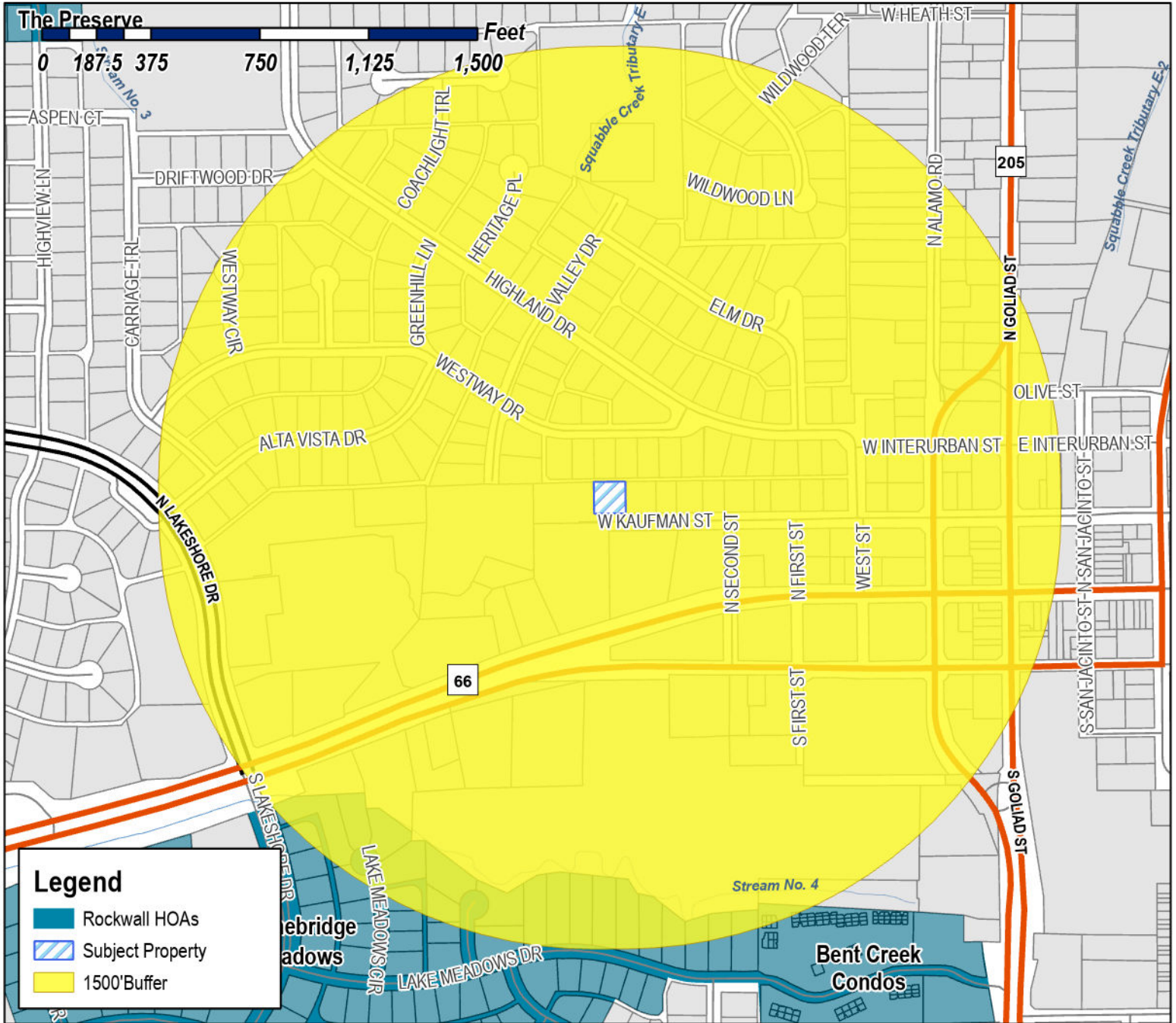




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Case Number: Z2024-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 510 W. Kaufman Street

Date Saved: 7/12/2024
 For Questions on this Case Call (972) 771-7745

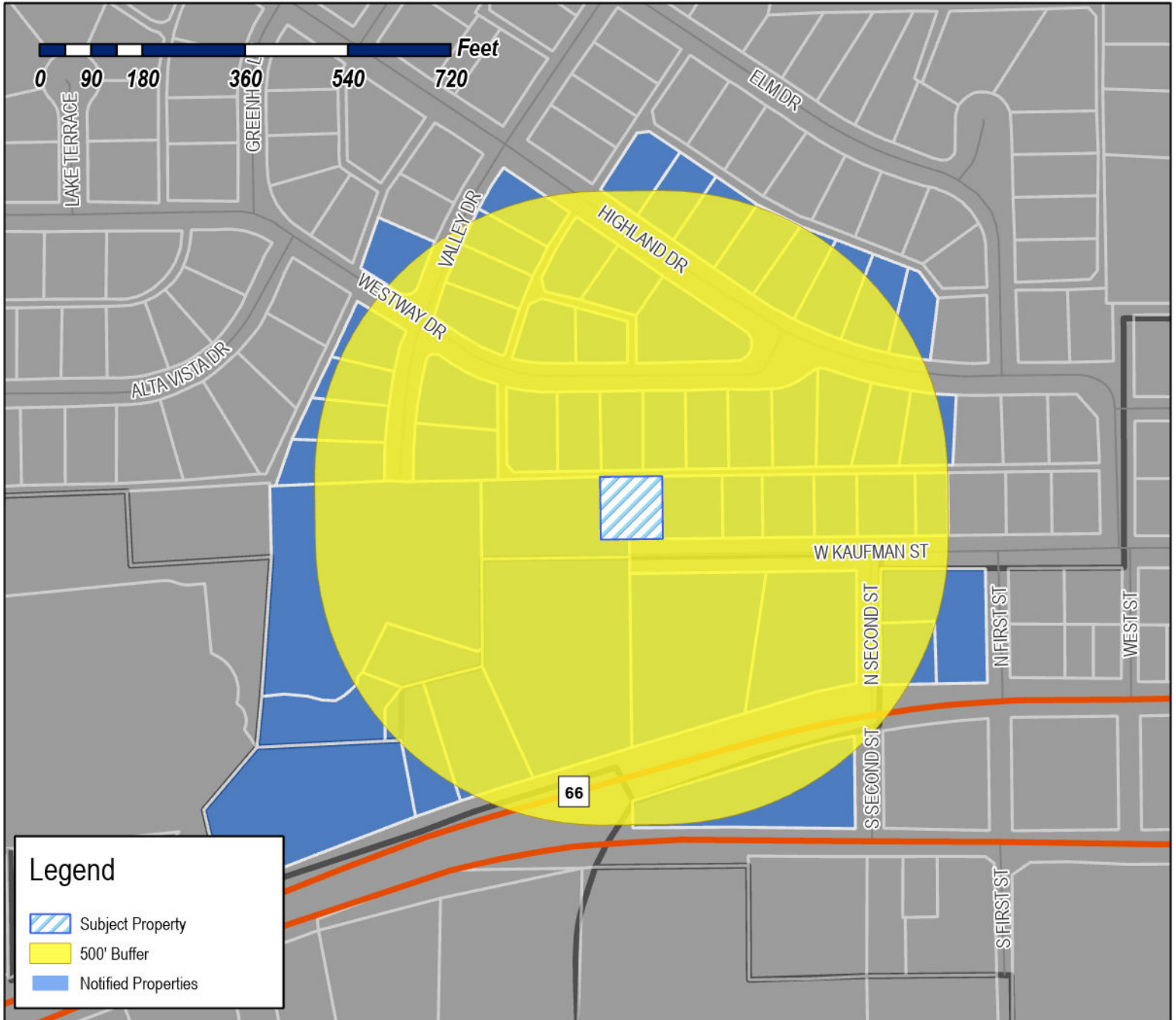





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Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2024-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 510 W. Kaufman Street



Date Saved: 7/12/2024

For Questions on this Case Call: (972) 771-7745

SPARKS ROBERT & TANA
103 N 1ST ST
ROCKWALL, TX 75087

ASHLEY CHRISTOPHER H
1107 BAY SHORE DRIVE
ROCKWALL, TX 75087

GILLESPIE RICHARD M AND DONNA M
1130 SIERRA PASS
ROCKWALL, TX 75087

RADNEY JAMES AND PATTI
1972 CR 2296
QUINLAN, TX 75474

LINDSEY NOEL
201 VALLEY DR
ROCKWALL, TX 75087

GARRISON DAVID C AND MICHEL J
202 VALLEY DR
ROCKWALL, TX 75087

MCELROY LEAH KIMBERLY
203 VALLEYB DR
ROCKWALL, TX 75087

PHIPPS RICKIE LYNN AND
204 VALLEY DRIVE
ROCKWALL, TX 75087

RSIDENT
205 VALLEY DR
ROCKWALL, TX 75087

MILLS KAY SUSAN
207 VALLEY DR
ROCKWALL, TX 75087

BALL JUSTIN D
2155 CLUBVIEW DR
ROCKWALL, TX 75087

VISTAGE PROPERTIES LLC
2625 DISCOVERY BLVD
ROCKWALL, TX 75032

ALTA VISTA BNB LLC
2701 WHISPERING OAKS
ROCKWALL, TX 75087

RSIDENT
301 VALLEY DR
ROCKWALL, TX 75087

PAINTER MICAH
301 VALLEY DRIVE
ROCKWALL, TX 75087

GREENAWALT M GENE & CLAUDINE
302 VALLEY DR
ROCKWALL, TX 75087

CHAMBERLAIN MARCUS P
304 VALLEY DR
ROCKWALL, TX 75087

EDMINSON JACOB K AND SUSAN C
306 VALLEY DR
ROCKWALL, TX 75087

KLEPPER LINDA C (POLLARD)
307 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
308 VALLEY DR
ROCKWALL, TX 75087

WEBB TEDDY DOUGLAS & AURORA
308 HIGHLAND DRIVE
ROCKWALL, TX 75087

PENCE ALLEE
309 HIGHLAND DRIVE
ROCKWALL, TX 75087

GARCIA JOHN
310 HIGHLAND DRIVE
ROCKWALL, TX 75087

PEOPLES JOHN P
311 HIGHLAND DR
ROCKWALL, TX 75087

GARRETT GERRY B
312 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
313 WESTWAY DR
ROCKWALL, TX 75087

DEL CASTILLO LUIS
314 HIGHLAND DRIVE
ROCKWALL, TX 75087

HARVEY JAMES
315 WESTWAY DRIVE
ROCKWALL, TX 75087

BURTON NORVELLA KAY
316 HIGHLAND DR
ROCKWALL, TX 75087

PURNELL MICHAEL & DEBORAH
317 HIGHLAND DR
ROCKWALL, TX 75087

BUTLER PAUL DAVID
317 WESTWAY DRIVE
ROCKWALL, TX 75087

STACEY MARY
318 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
319 WESTWAY DR
ROCKWALL, TX 75087

HARRELL GRANT E
319 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
320 HIGHLAND DR
ROCKWALL, TX 75087

CONFIDENTIAL
321 HIGHLAND DR
ROCKWALL, TX 75087

RANDOLPH JILL FOX
321 WESTWAY DRIVE
ROCKWALL, TX 75087

GOODMAN MORGAN AND AMANDA
322 HIGHLAND DRIVE
ROCKWALL, TX 75087

ROGERS OLIVER G
322 WESTWAY DR
ROCKWALL, TX 75087

RICE KAREN
323 WESTWAY DRIVE
ROCKWALL, TX 75087

DAFFRON SYBIL ANNETTE
324 WESTWAY DRIVE
ROCKWALL, TX 75087

RSIDENT
325 WESTWAY DR
ROCKWALL, TX 75087

KOVAR RACHAEL A
404 WEST KAUFMAN STREET
ROCKWALL, TX 75087

PICKETT GINA
406 W KAUFMAN ST
ROCKWALL, TX 75087

ALLEN ROBERT G DDS
406 W RUSK ST
ROCKWALL, TX 75087

ROAN-NUNN MABEL PEGGY ESTATE
419 N. TEXAS ST.
EMORY, TX 75440

CANUP PAUL RICHARD AND VICTORIA ANN
REVOCABLE LIVING TRUST
PAUL RICHARD CANUP AND VICTORIA ANN
CANUP CO-TRUSTEES
4268 AIRLINE RD
LONGVIEW, TX 75605

MCVANEY JEFFREY AND MORGAN
4761 SECRET CV
ROCKWALL, TX 75032

SPAFFORD SARAH
494 DOWELL RD
ROCKWALL, TX 75032

RSIDENT
502 W KAUFMAN
ROCKWALL, TX 75087

SMITH MARY SUE
502 W RUSK ST
ROCKWALL, TX 75087

RSIDENT
504 W KAUFMAN
ROCKWALL, TX 75087

RSIDENT
504 W RUSK
ROCKWALL, TX 75087

RSIDENT
506 W KAUFMAN
ROCKWALL, TX 75087

BARKER FRED D & JANICE
508 WEST KAUFMAN ST
ROCKWALL, TX 75087

RSIDENT
510 W KAUFMAN ST
ROCKWALL, TX 75087

CANUP DAVID & PATRICIA
602 W RUSK ST
ROCKWALL, TX 75087

RSIDENT
604 W RUSK
ROCKWALL, TX 75087

RUSK STREET DEVELOPMENT LP
636 HANBY LN
ROCKWALL, TX 75032

RSIDENT
702 W RUSK
ROCKWALL, TX 75087

CURBOW PAUL AND DIOSELINA
7137 LANYON DRIVE
DALLAS, TX 75227

STATE HIGHWAY DEPT
I 30 RT 3 L L LOFLAND
ROCKWALL, TX 75087

STEGER ANA WADE LIFE ESTATE &
DIANA WADE CHAPMAN, CYNDIE SUE PATRICK
& O L STEGER III
PO BOX 478
ROCKWALL, TX 75087

HIGHWOOD ADDITION
VOL. 50, PG. 618
D.R.R.C.T.

BLOCK 14

LOT 4

LOT 5

LOT 6

1/2" I.R.F.
(CONTROL MONUMENT)

3/8" I.R.F.
0.8' NORTH
OF PLAT COR.

15' ALLEY (UNIMPROVED)
EAST 109.00'

1/2" I.R.S.

EAST
112.15'

1/2" I.R.S.

0.7'

5.5'

12.4'

FRAME
SHED

12.2'

CHAIN LINK
FENCE

0.6'

PROPERTY LINE ALONG FENCE AS CALLED BY PLAT
N 01'00'00" W 110.00'

LOT 2

LOT 1

DAMP CANUP, ET UX
VOL. 149, PG. 140
D.R.R.C.T.

1/2" I.R.S.

WEST 109.00'

1/2" I.R.S.

EAST
112.15'

PRIVATE DRIVE

WEST KAUFMAN STREET
(60' R.O.W.)
(ASPHALT PAVING)



TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located on Kaufman Street in the City of Rockwall, Texas, described as follows:

Lot 2 of REPLAT OF PART OF BLOCK "26" IN THE LOWE AND ALLEN ADDITION, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet A, Page B, Plat Records, Rockwall County, Texas.

"THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN ACCORDING TO THE FLOOD PLAIN MAP OF THE CITY OF ROCKWALL COMMUNITY PANEL NO. 480547 0005 C. MAP DATED 6/16/92 (ZONE "X")."

THERE ARE NO ENCROACHMENTS, CONFLICTS OR PROTUSIONS, EXCEPT AS SHOWN.

The plat hereon is a representation of an on the ground survey as dated thereabove, the lines and dimensions of said property being indicated, the size, location and type of buildings and improvements are as shown, all improvements being within the boundaries of the property set back from property lines the distance indicated, all easements and other matters of record of which I have been advised are as shown hereon. This survey was performed in connection with the transaction described in C.F. No. 200007710 of Rockwall County Abstract & Title Company. Use of this survey for any other purpose or by any other parties shall be at their own risk and the undersigned is not responsible to any others for any loss resulting therefrom.

Registered Professional
Land Surveyor

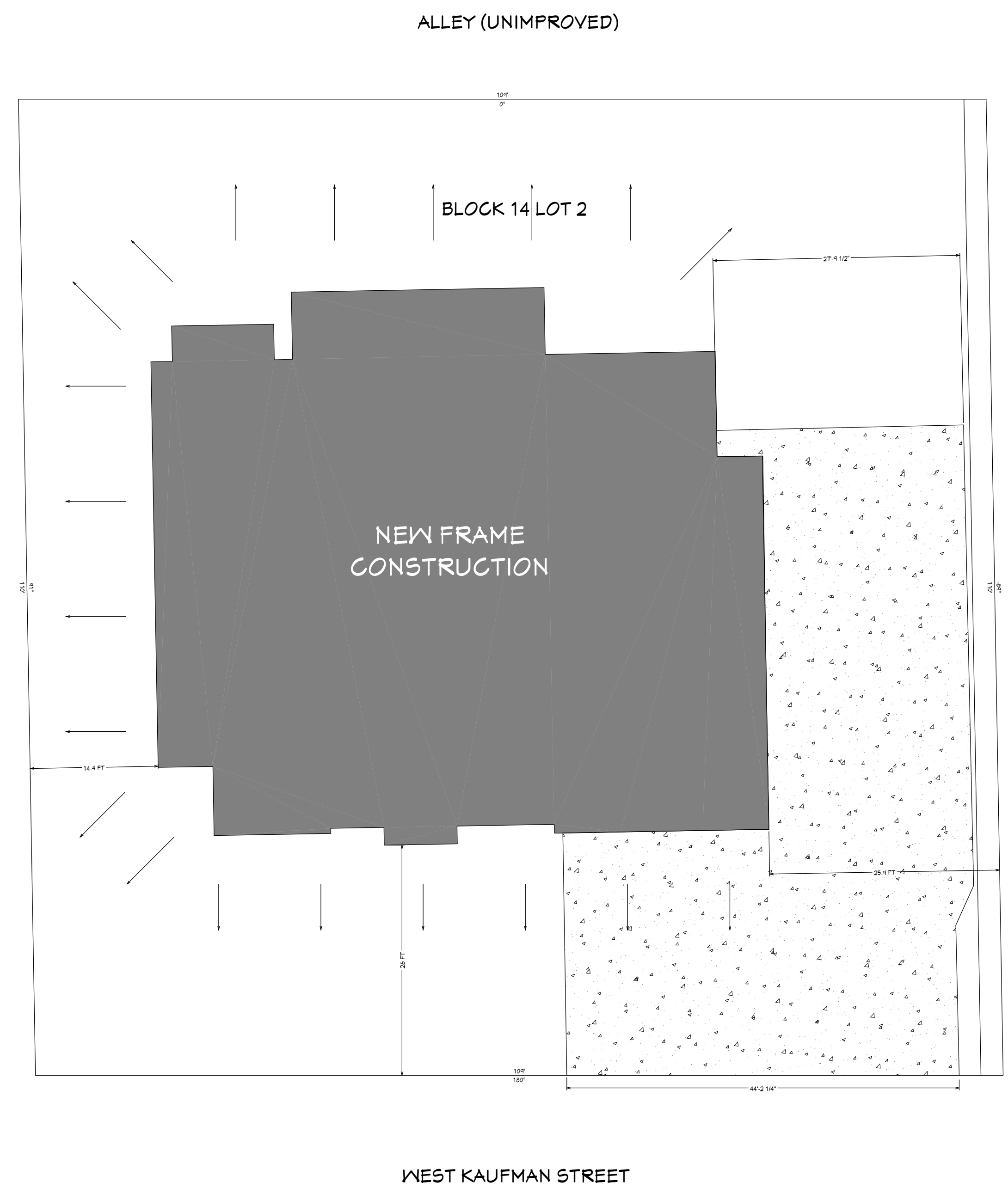
[Signature]

Daniel A. Smith, R.P.L.S. No. 4645

1" PIPE END.
(CONTROL MONUMENT)

Daniel A. Smith Land Surveying, Inc.
309 N. GALLOWAY, SUITE 107
Mesquite, Texas 75149
(972) 216-3334 fax (972) 216-8922

Job No. 4872-B Scale: 1" = 20'
Date: 07/25/00 Drawn by: AWK

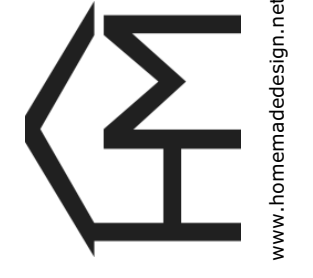


GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

SITE NOTES:

1. Confirm zoning setbacks.



REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Plot Plan

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

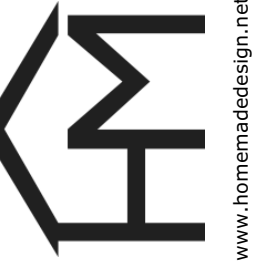
1" = 10'

SHEET:

12

SHEET INDEX	
1	Project Overview
2	Floor Plan Dimensioned
3	Floor Plan Dimensioned
4	Exterior Elevations
5	Exterior Elevations
6	Wall Section Details
7	Roof Detail
8	Roof Detail
9	Foundation Detail
10	Electrical Plan
11	Electrical Plan
12	Plot Plan

All construction must meet or exceed locally adopted building codes.



www.homemadedesign.net

NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kauffman
 Rockwall, TX 75227
 | 469-623-2192

Exterior Elevations

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1/4" = 1'

SHEET:

4

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

EXTERIOR NOTES:

1. All exterior columns/posts to be built from 2x4 studs, wrapped by Zip System wall sheathing.
2. All brackets, gable accent, and corbels to be cedar.
3. All corner boards, fascia, soffit, frieze & trim to be composite material.
4. Entire exterior to be SmartSide composite lap unless specified otherwise.



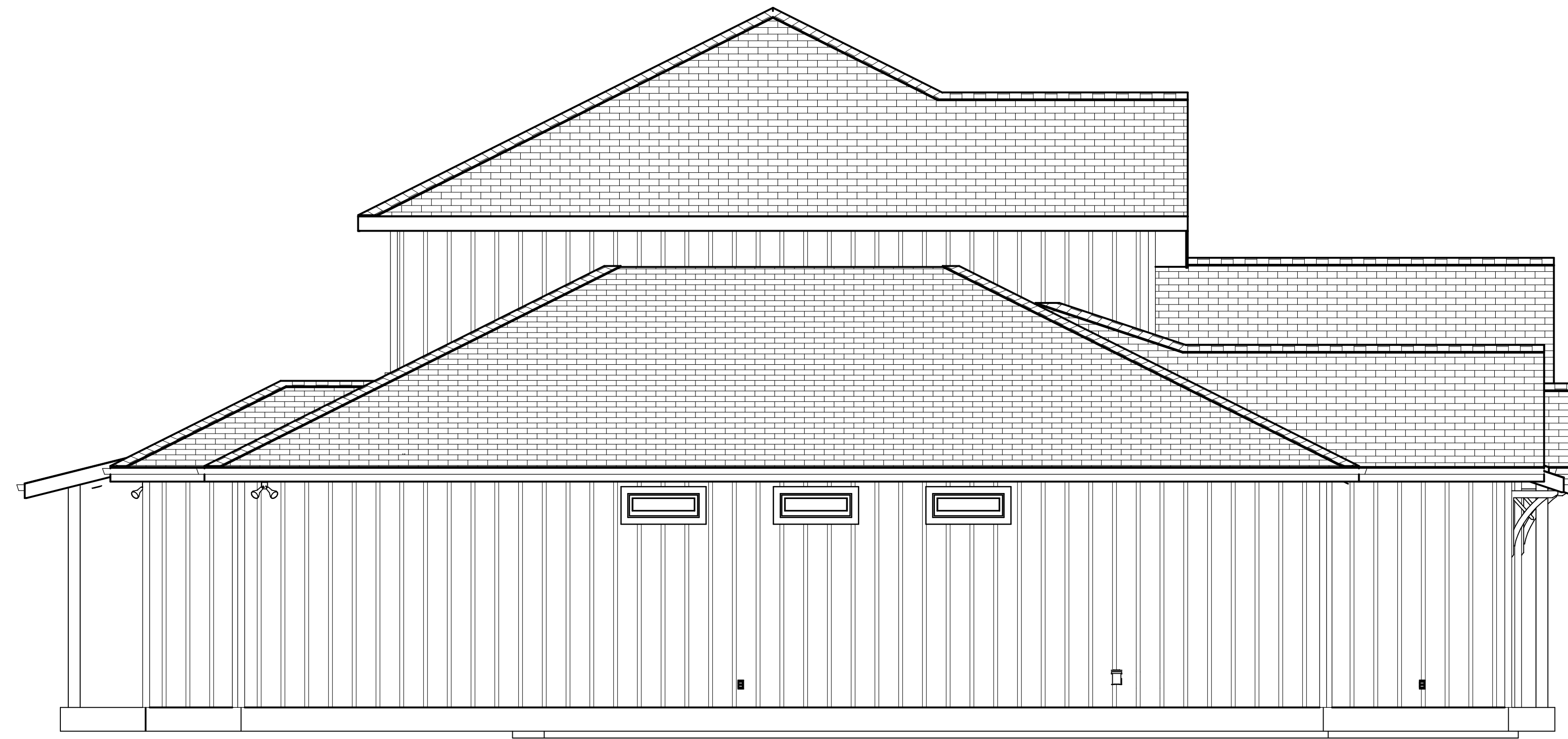
Exterior Elevation Front



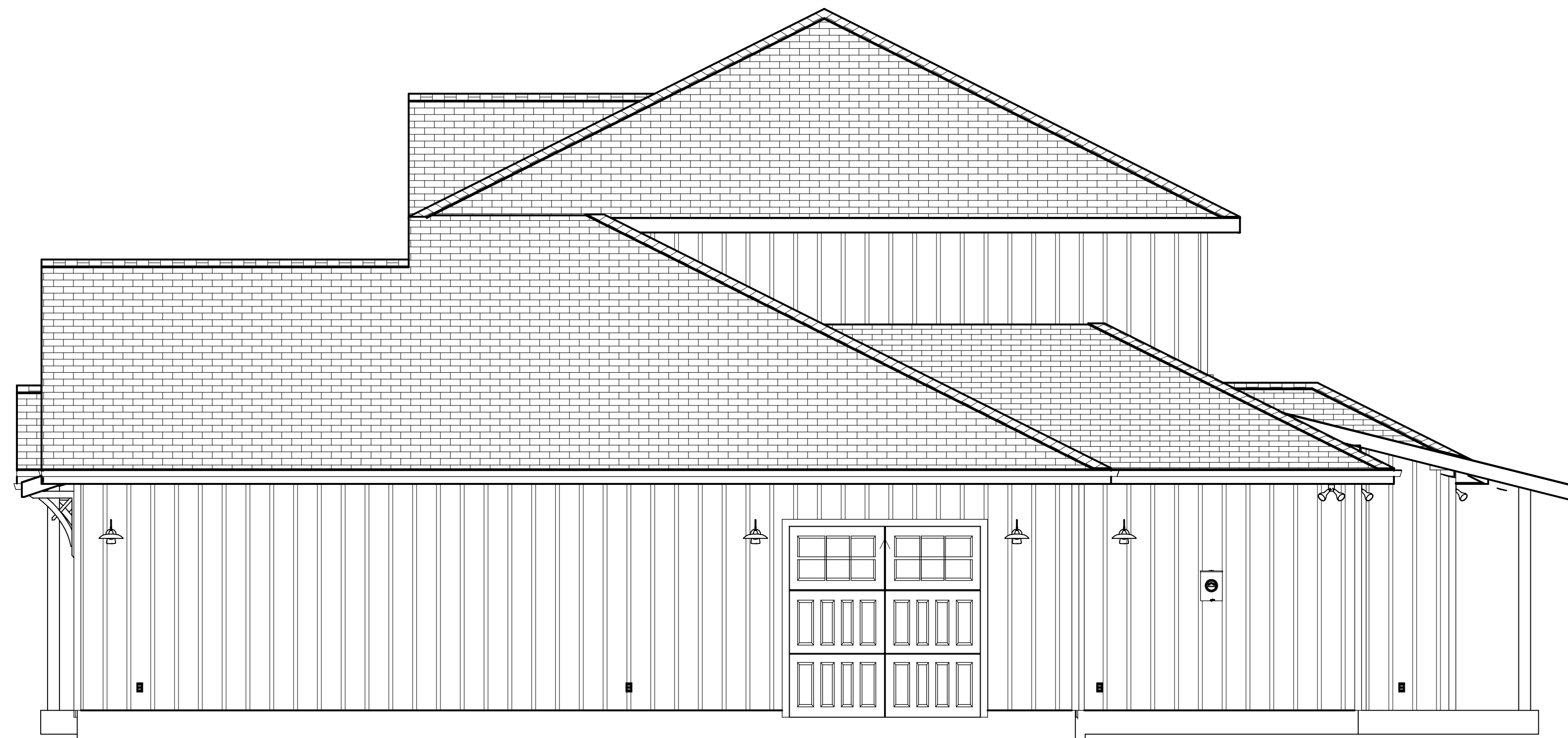
Exterior Elevation Back

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Exterior Elevation Left



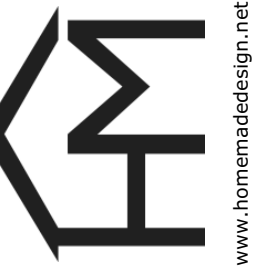
Exterior Elevation Right

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
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EXTERIOR NOTES:

SEE PAGE 4



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Exterior Elevations

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 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

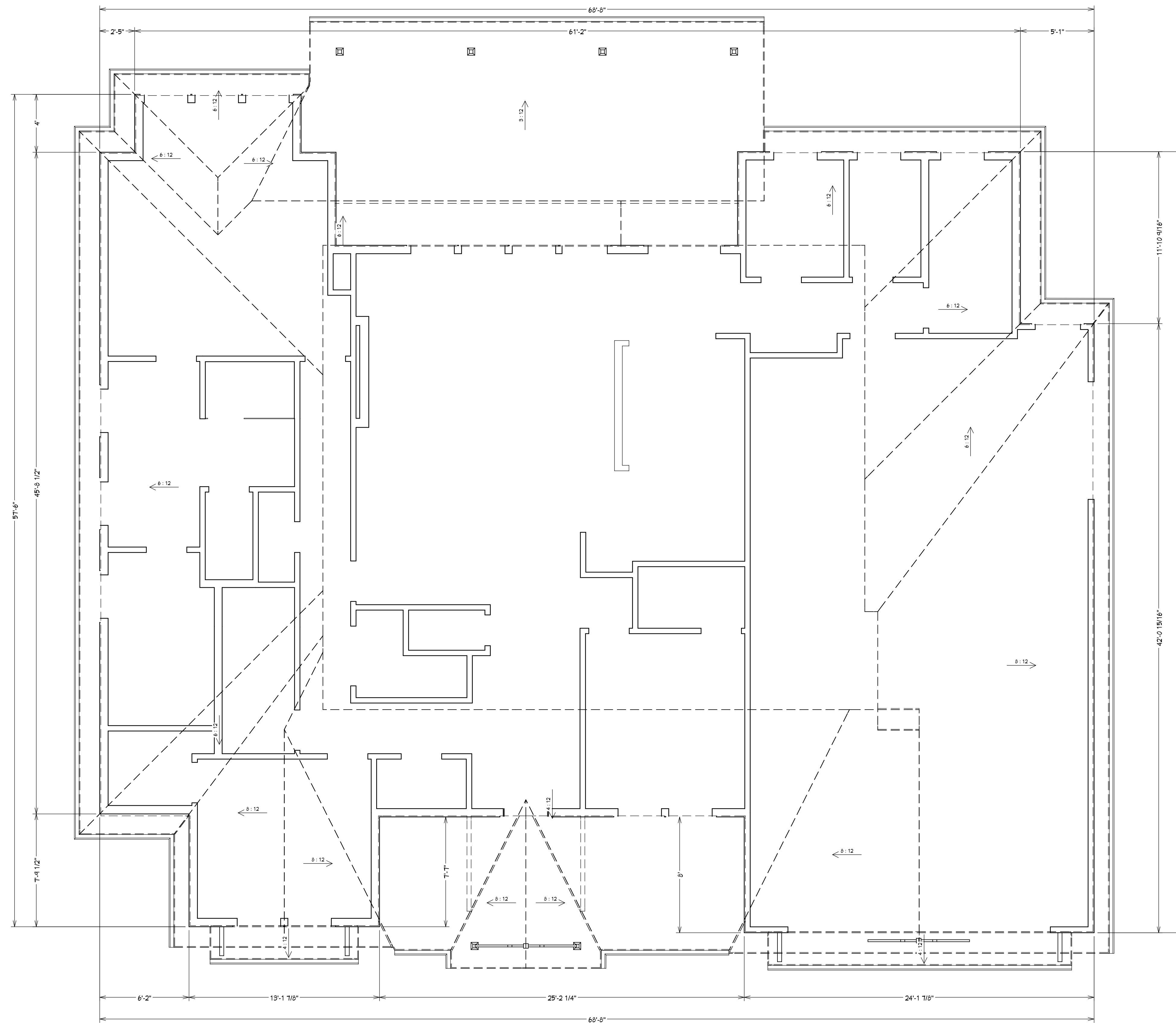
SCALE:

1/4" = 1'

SHEET:

5

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Level 1

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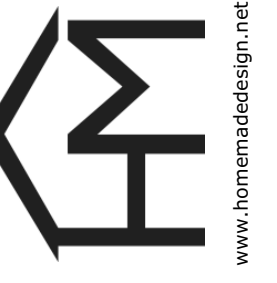
GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
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ROOF NOTES:

1. There are multiple pitches on the roof. See labels on each roof plane.
2. Roof surfaces to be composition asphalt shingle unless specified otherwise in elevations.
3. Roof surface area: ~5037 sq. ft.

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DRAWN FOR:
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 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Roof Detail

DRAWINGS PROVIDED BY:
 homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331.6093

DATE:

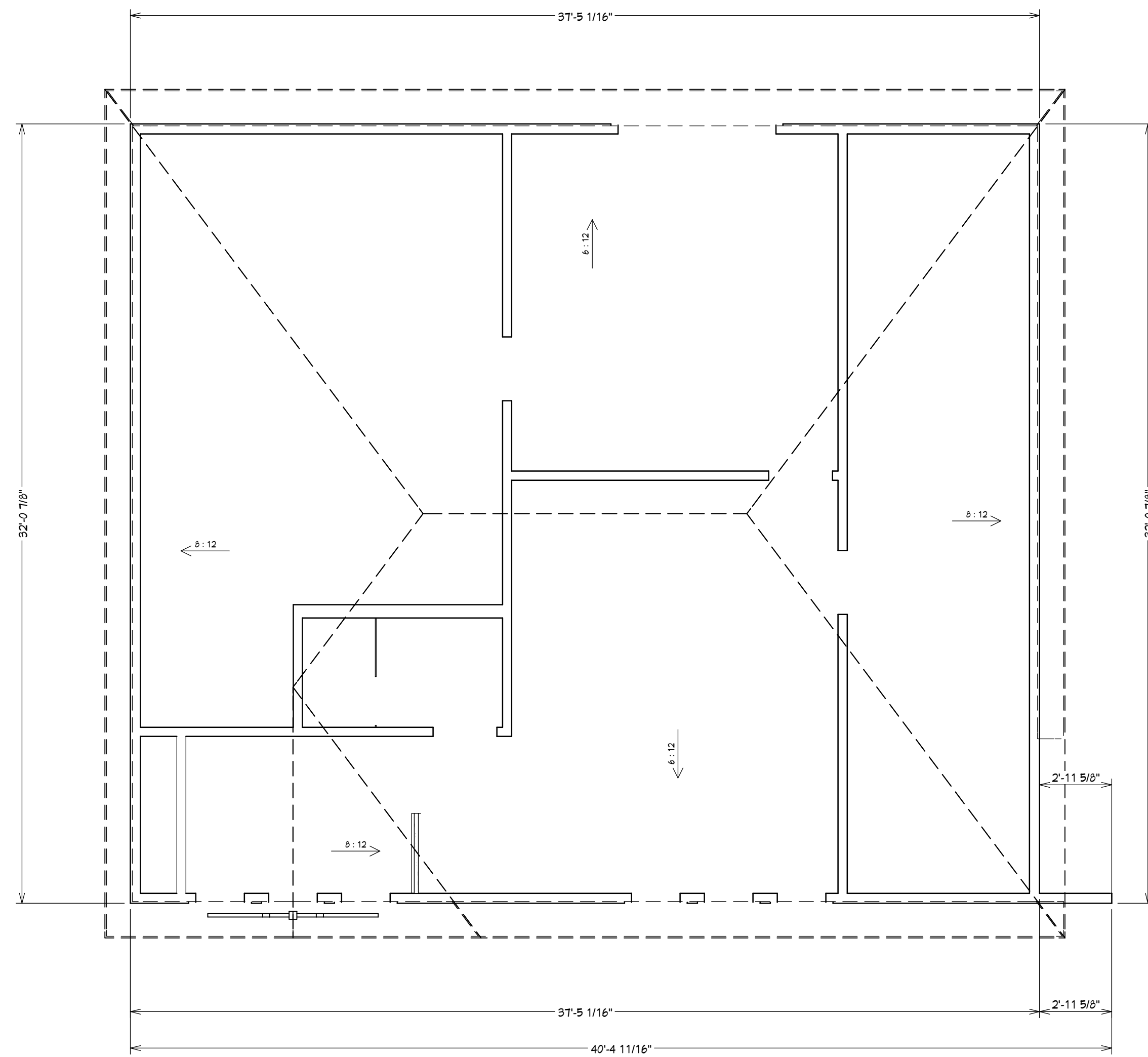
5/14/2024

SCALE:

1/4" = 1'

SHEET:

7



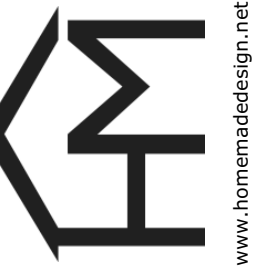
Level 2

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ROOF NOTES:

SEE PAGE 7



NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Roof Detail

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

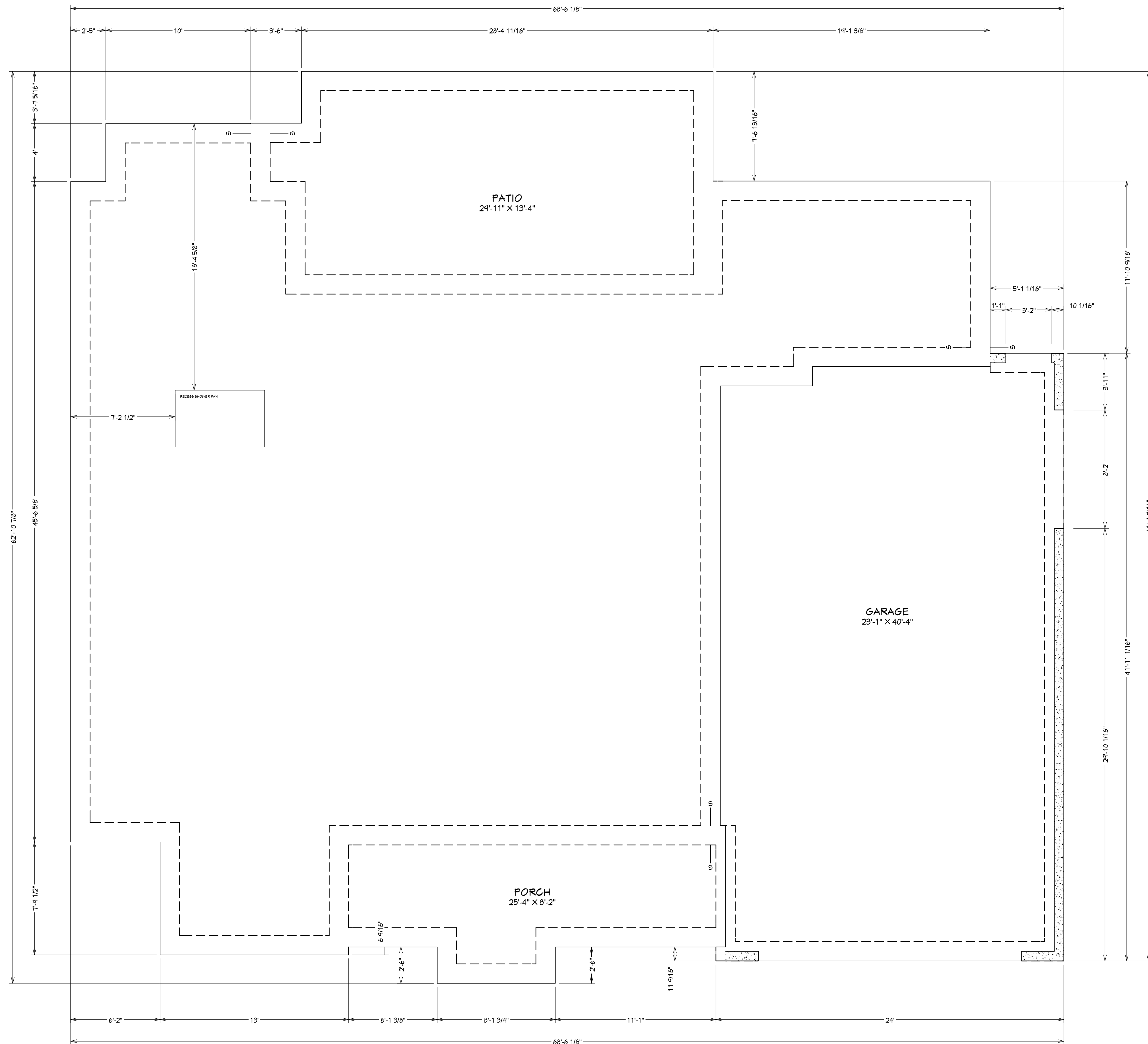
1/4" = 1'

SHEET:

8

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All construction must meet or exceed locally adopted building codes.



All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
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FOUNDATION NOTES:

1. Foundation layout is for reference only. Foundation to be designed by engineer.

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 | 469-623-2192

Foundation Detail

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

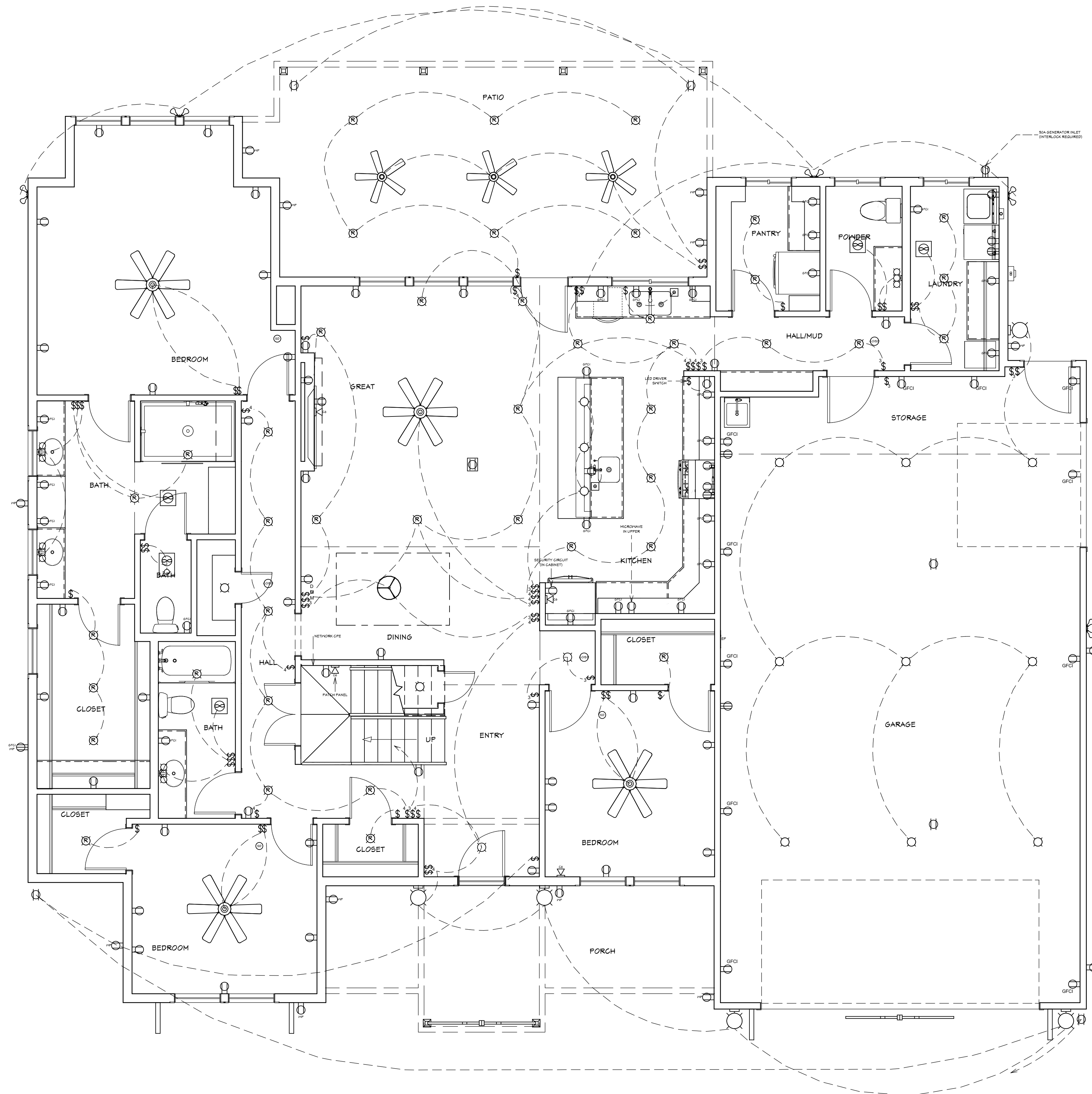
5/14/2024

SCALE:

1/4" = 1'

SHEET:

9



Level 1

All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

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2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

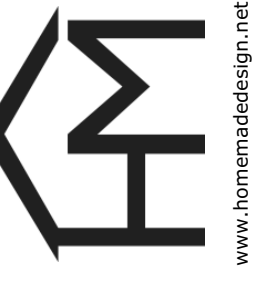
ELECTRICAL NOTES:

1. Verify all electrical locations and fixtures with owner.
2. Arrows indicate connections between floors.
3. All exterior plugs and light fixtures to be water proof on a GFCI circuit.
4. All kitchen, laundry, and garage plugs to be on GFCI circuit.
5. Provide a separate circuit for microwave oven.
6. Provide a separate circuit for Network GPE and security system.
7. All recessed lights in exterior ceilings to be insulation cover rated.
8. Electrical outlet plate gaskets shall be installed on receptacle, switch, and any other boxes in exterior walls.
9. All exhaust to vent to outside air. All exhaust ducts to have dampers. Humidity-sensing fans recommended for bathroom and laundry room.
10. Verify location of make-up air and damper.
11. All ceiling fans and lights to be on standard switches. Ceiling fan locations should use three-conductor Romex.
12. Verify installation of whole-house surge protection system at EP with owner (recommended for variable-speed heat pump).
13. Garage lighting is lamp bases.
14. Exterior architectural and security exterior lighting controlled by interior switches. Verify location of soffit plugs.
15. Final panel location and meter base determined by electrician.
16. All electrical to meet all locally adopted building codes for height, spacing, tamper resistance, etc.

Electrical Service size- 200Amp

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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2	Floor Plan Dimensioned
3	Floor Plan Dimensioned
4	Exterior Elevations
5	Exterior Elevations
6	Wall Section Details
7	Roof Detail
8	Roof Detail
9	Foundation Detail
10	Electrical Plan
11	Electrical Plan
12	Plot Plan



REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kauffman
 Rockwall, TX 75227
 | 469-623-2192

Electrical Plan

Drawings Provided By:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

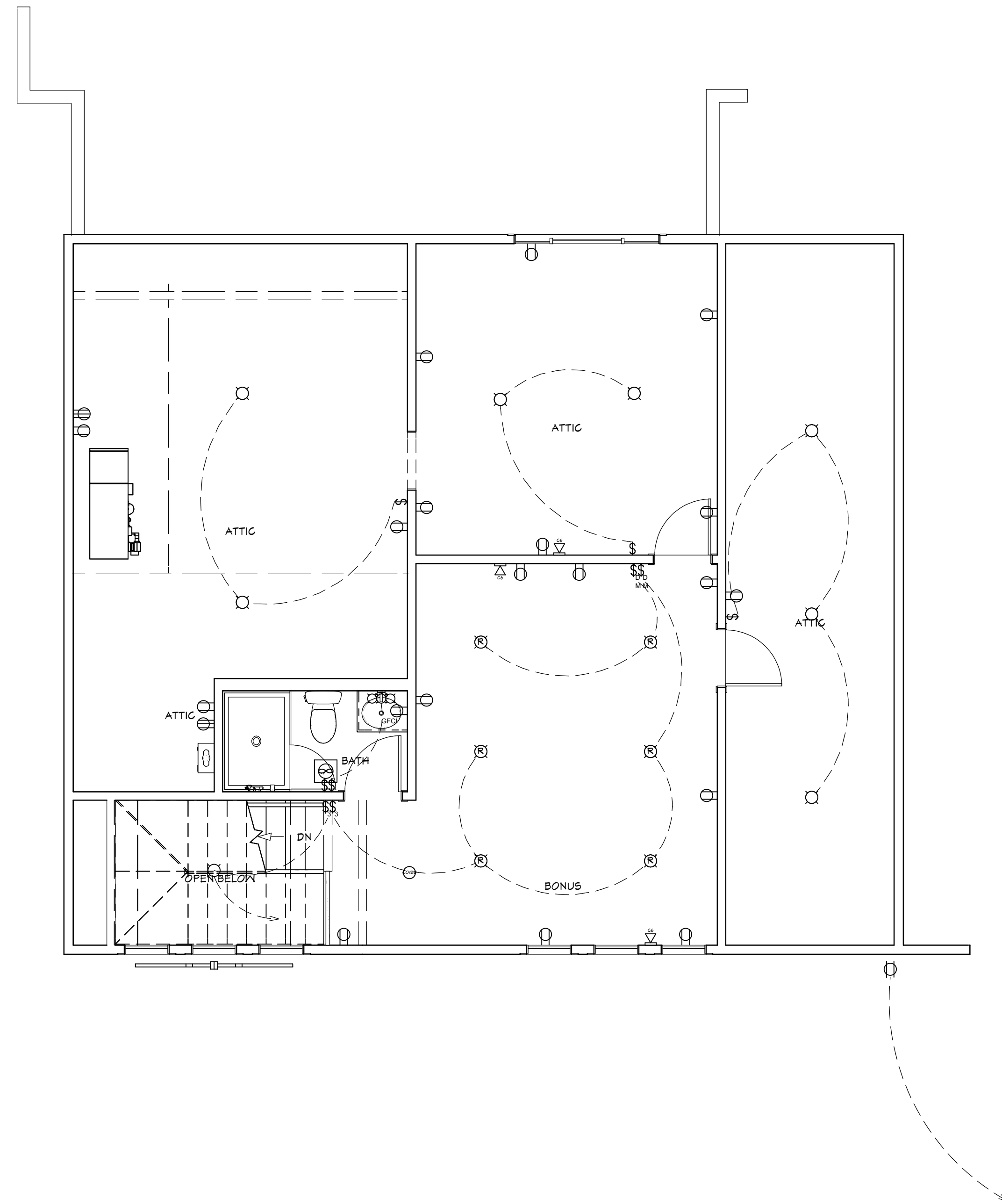
5/14/2024

SCALE:

1/4" = 1'

SHEET:

10



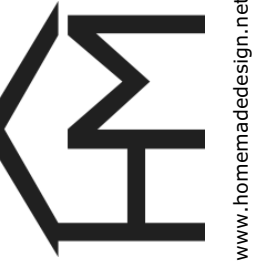
Level 2

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ELECTRICAL NOTES:

SEE PAGE 10



NUMBER	DATE	REVISION BY	DESCRIPTION

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homeMADE Design
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1/4" = 1'

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All construction must meet or exceed locally adopted building codes.