



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 302 Evans RD

SUBDIVISION \_\_\_\_\_ LOT 1102 BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING \_\_\_\_\_

CURRENT USE \_\_\_\_\_

PROPOSED ZONING \_\_\_\_\_

PROPOSED USE \_\_\_\_\_

ACREAGE \_\_\_\_\_

LOTS [CURRENT] \_\_\_\_\_

LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

CONTACT PERSON Saul Perez

CONTACT PERSON \_\_\_\_\_

ADDRESS 2716 Greenhill Dr.

ADDRESS \_\_\_\_\_

CITY, STATE & ZIP Mesquite, TX 75150

CITY, STATE & ZIP \_\_\_\_\_

PHONE 214-282-1159

PHONE \_\_\_\_\_

E-MAIL saulperez46@gmail.com

E-MAIL \_\_\_\_\_

### NOTARY VERIFICATION [REQUIRED]

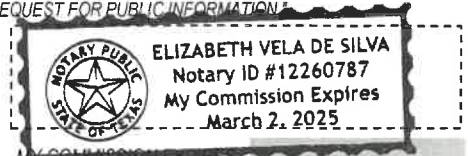
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Saul Perez Vazquez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 400.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 9th DAY OF April, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 9 DAY OF April, 2024

OWNER'S SIGNATURE \_\_\_\_\_

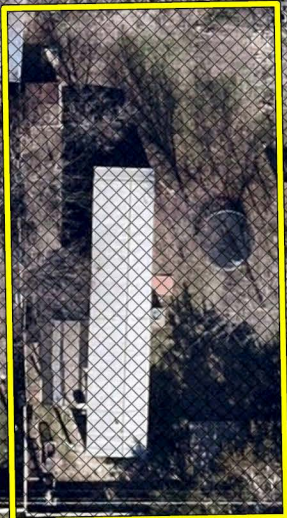
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS \_\_\_\_\_





Z2024-021: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 302 Evans Road

PD-101



EVANS RD

PD-75

WONNER DR

Case Location Map =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

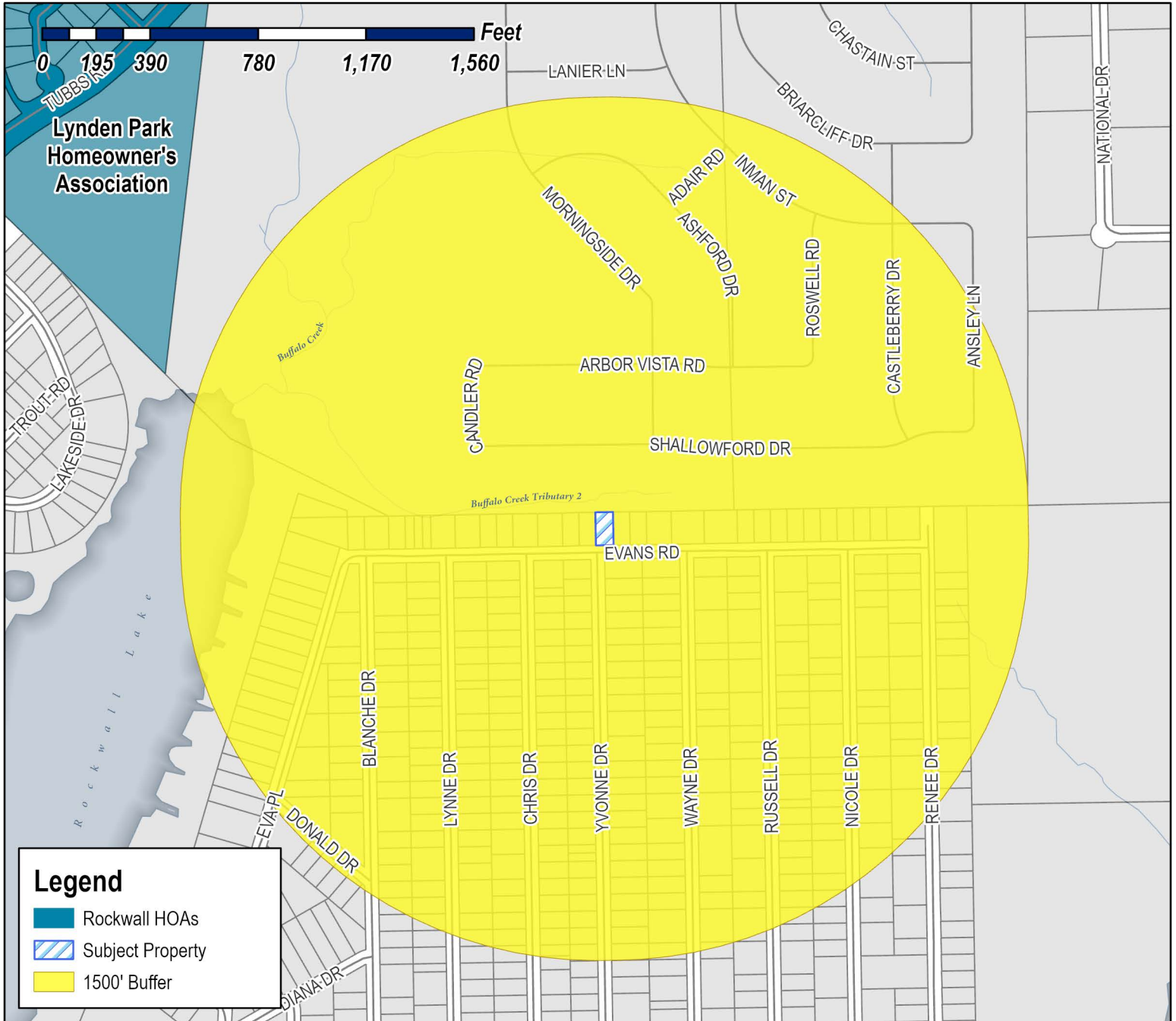




# City of Rockwall

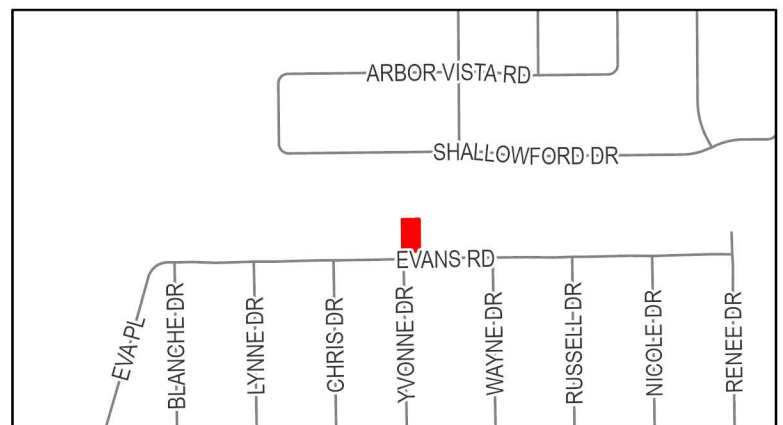
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**Case Number:** Z2024-021  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 75 (PD-75)  
**Case Address:** 302 Evans Road

**Date Saved:** 4/19/2024  
 For Questions on this Case Call (972) 771-7745

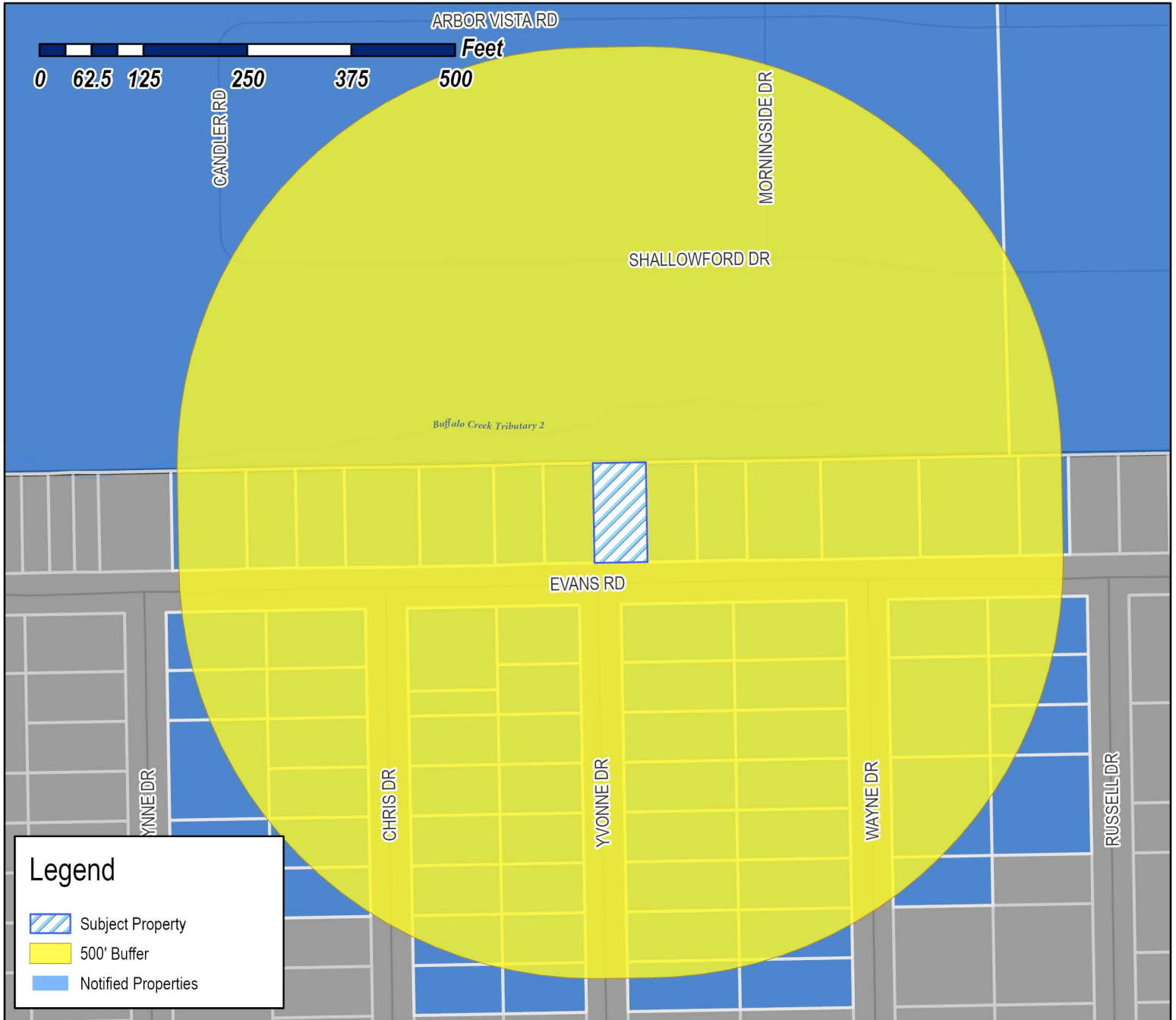




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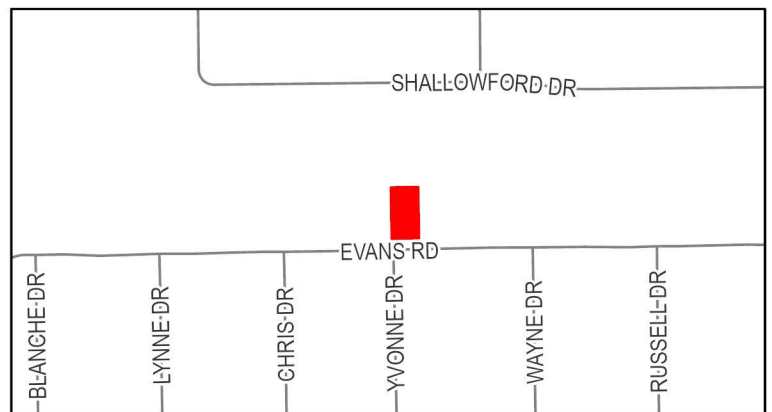
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SILVA BERTHA  
1041 E FM 552  
ROCKWALL, TX 75087

DEAN ANN W  
106 STANDING OAK DR  
GEORGETOWN, TX 78633

QUALICO DEVELOPMENTS (US), INC  
14400 THE LAKES BLVD BUILDING C, SUITE 200  
AUSTIN, TX 78660

HERREROS BERTOLDO  
180 EVANS RD  
ROCKWALL, TX 75032

UC LUIS JOSE &  
GELLY DEL ROSARIO XOOL  
186 NICOLE DR  
ROCKWALL, TX 75032

UC LUIS JOSE &  
GELLY DEL ROSARIO XOOL  
186 NICOLE DR  
ROCKWALL, TX 75032

HERREROS BERTOLDO  
196 EVANS RD  
ROCKWALL, TX 75032

ORELLANA JUAN C & MARICELA  
220 CRAWFORD LN  
ROYSE CITY, TX 75189

RODRIGUEZ ROMAN  
220 EVANS RD  
ROCKWALL, TX 75032

YANES MARIA TERESA  
230 CHRIS DR  
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA  
234 EVANS RD  
ROCKWALL, TX 75032

MEJIA RAMIRO  
244 EVANS RD  
ROCKWALL, TX 75032

RESIDENT  
266 EVANS RD  
ROCKWALL, TX 75032

SAULS AND BROS COMPANY LLC  
2716 GREENHILL DRIVE  
MESQUITE, TX 75150

PEREZ MARCOS AND MARIA ELVA GACHUZO  
VELAZQUEZ  
290 EVANS  
ROCKWALL, TX 75032

RESIDENT  
302 EVANS RD  
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH  
3078 S FM 551  
ROYSE CITY, TX 75189

BALDERAS GREGORY  
310 EVANS RD  
ROCKWALL, TX 75032

ACOSTA FABIAN AND GLADYS CELENE  
QUINONEZ  
322 EVANS RD  
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I  
3248 BLACKLAND RD  
ROYSE CITY, TX 75189

RAMIRES RAUL  
358 EVANS RD  
ROCKWALL, TX 75032

LUMPKINS JOHN E & STEPHANIE L  
376 EVANS RD  
ROCKWALL, TX 75032

GONZALEZ NORMA PATRICIA SOLIS  
388 EVANS RD  
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO  
397 CHRIS DR  
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA  
400 EVANS RD  
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES  
441 LYNNE DRIVE  
ROCKWALL, TX 75032

RESIDENT  
457 CHRIS DR  
ROCKWALL, TX 75032

MARTINEZ MARIO CRUZ  
461 YVONNE DR  
ROCKWALL, TX 75032

CRUZ MARIO  
461 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
462 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
465 CHRIS DR  
ROCKWALL, TX 75032

RESIDENT  
466 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
470 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
471 YVONNE DR  
ROCKWALL, TX 75032

MORENO ORALIA SOLIS  
474 BASS ROAD  
ROCKWALL, TX 75032

MORENO LUIS NOE  
474 BASS ROAD  
ROCKWALL, TX 75032

NEVAREZ LUIS E & ALMA  
479 CHRIS DR  
ROCKWALL, TX 75032

ALONSO ELEASAR &  
BENITO GAMEZ  
482 WAYNE DR  
ROCKWALL, TX 75032

GUEVARA MARIA  
482 YVONNE DRIVE  
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS  
MARTINEZ-AGUILAR  
485 YVONNE DR  
ROCKWALL, TX 75032

SMITH HELEN A  
486 CHRIS DR  
ROCKWALL, TX 75032

PAYNE MILDRED IRENE  
487 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
488 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
491 YVONNE DR  
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA  
491 CHRIS DR  
ROCKWALL, TX 75032

DIAZ JOSE LUIS  
494 LYNNE DR  
ROCKWALL, TX 75032

DIAZ JOSE LUIS  
494 LYNNE DR  
ROCKWALL, TX 75032

RESIDENT  
496 CHRIS DR  
ROCKWALL, TX 75032

PARRISH KENNETH LEE JR AND  
JUDITH GAIL WOOD  
499 WAYNE DR  
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI  
500 YVONNE DR  
ROCKWALL, TX 75032

VELASQUEZ LORENA  
501 CHRIS DRIVE  
ROCKWALL, TX 75033

DIAZ MARIA L FLORES  
503 LYNNE DR  
ROCKWALL, TX 75032

RESIDENT  
506 CHRIS DR  
ROCKWALL, TX 75032

MARTINEZ PEDRO & MARIA CELIA  
506 RUSSELL DR  
ROCKWALL, TX 75032

HERNANDEZ BENJAMIN  
509 YVONNE DR  
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA  
5112 WOLVERTON CT  
GARLAND, TX 75043

RESIDENT  
513 CHRIS DR  
ROCKWALL, TX 75032

LEON VANESSA RANGEL  
514 YVONNE DR  
ROCKWALL, TX 75032

SANCHEZ GERARDO RAFAEL AND LILIA  
GALLEGOS  
516 CHRIS DR  
ROCKWALL, TX 75032

MARTINEZ DAVID  
516 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
517 LYNNE DR  
ROCKWALL, TX 75032

RESIDENT  
518 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
521 YVONNE DR  
ROCKWALL, TX 75032

GANUS HUGH  
524 SESAME DR  
MESQUITE, TX 75149

VASQUEZ JAVIER AND LILIANA  
524 YVONNE DR  
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ  
525 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
528 CHRIS DR  
ROCKWALL, TX 75032

DIAZ MANUEL & ROSARIO  
528 WAYNE DR  
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY  
530 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
531 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
534 YVONNE DR  
ROCKWALL, TX 75032

RETANA JUAN &  
YENY RUBIO  
535 CHRIS DR  
ROCKWALL, TX 75032

STRICKLAND TARA  
536 WAYNE DR  
ROCKWALL, TX 75032

RODRIGUEZ ROMAN  
540 CHRIS DR  
ROCKWALL, TX 75032

RESIDENT  
541 LYNNE DR  
ROCKWALL, TX 75032

DELGADO JUAN E & MARIA L  
541 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
544 YVONNE DR  
ROCKWALL, TX 75032

ANDREWS TRESIA AND KENNETH  
547 WAYNE DR  
ROCKWALL, TX 75032

ARRIAGA GREGORIA  
548 WAYNE ST  
ROCKWALL, TX 75032

ALVIZO ALMA L RETANA  
551 LYNNE DR  
ROCKWALL, TX 75032

ALVAREZ MARIA G GALLEGOS  
552 RUSSELL DR  
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA  
848 SMITH ACRES DR  
ROYSE CITY, TX 75189

SAFRA PROPERTIES INC  
PO BOX 69  
ROCKWALL, TX 75087



# 302 Evans Road

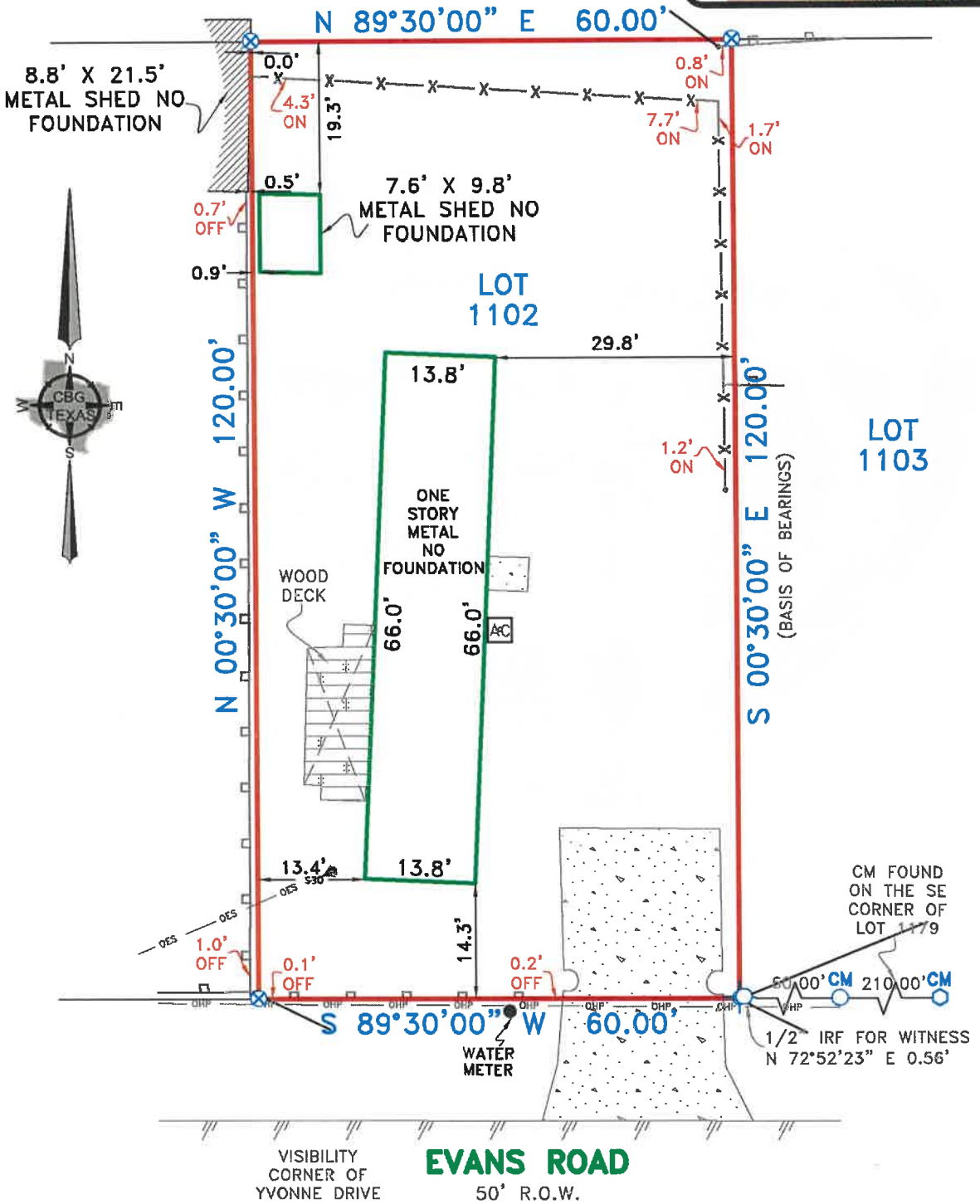
Lot 1102, Rockwall Lake Properties Development, No. 2 In Rockwall County, Texas, according to the map thereof, as Recorded in Slide A, Page 79 of the Map Records of Rockwall County, Texas.

ANN W. DEAN  
C.C.F.#. 2023000009137



## LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 3/8" ROD FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ◆ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- TELE TELEPHONE PEDESTAL
- BL BUILDING LINE
- AE AERIAL EASEMENT
- SSE SANITARY SEWER EASEMENT
- GM GAS METER
- WM WATER METER
- LP LIGHT POLE
- UE UTILITY EASEMENT
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- II— IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- /// PIPE FENCE
- ▲ EDGE OF ASPHALT
- ▲ EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE
- WOOD DECK



## EXCEPTIONS:

NOTE: This survey is made in conjunction with the information provided by the client. CBG Surveying Texas, LLC has not researched the land title records for the existence of easements, restrictive covenants or other encumbrances.

## NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by T.H.R. 3 Studio LLC. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: CSD

Scale: 1" = 20'

Date: 02/9/24

GF No.: NA

Job No. 2401790

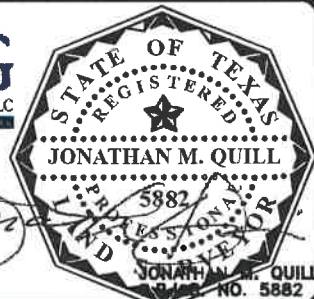
Accepted by: \_\_\_\_\_  
Purchaser

Date: \_\_\_\_\_

\_\_\_\_\_  
Purchaser

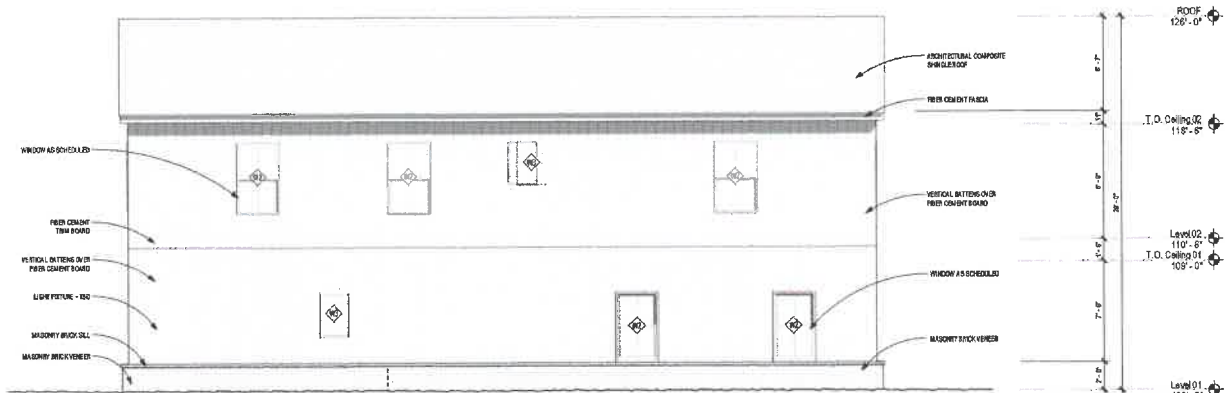


1413 E. IH-30, Ste. 7  
Garland, TX 75043  
P 214.349.9485  
F 214.349.2216  
Firm No. 10168800  
www.obgtllc.com

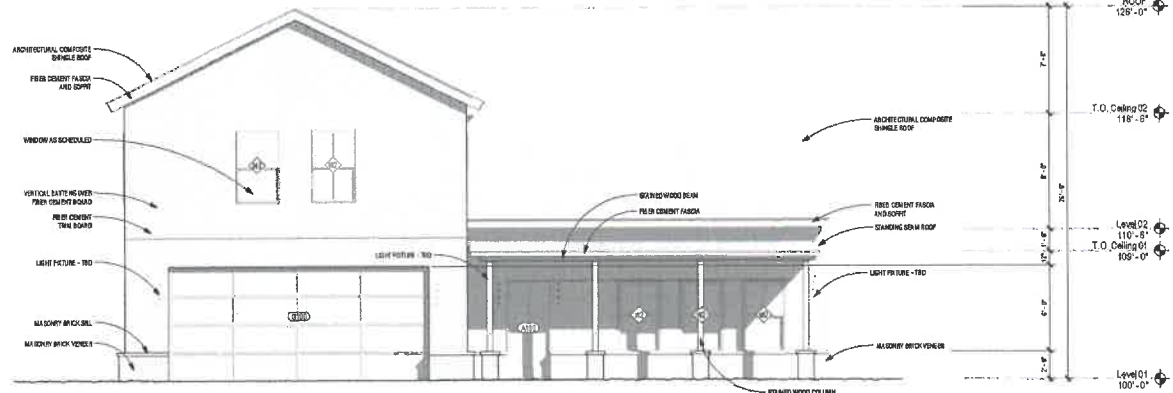




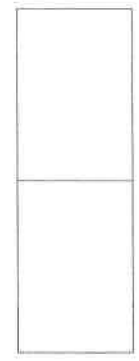




**02 | WEST ELEVATION**  
DATE 04-14-24



**01 | SOUTH ELEVATION**  
DATE 04-14-24



**EXTERIOR ELEVATION GENERAL NOTES**

1. FINISH ELEVATIONS ARE TO TOP OF CONCRETE FLOOR FINISH.
2. CONCRETE NOTES APPLY TO ALL MASONRY UNLESS NOTED OTHERWISE.
3. THE MATERIAL SYMBOLS ON THE ELEVATIONS ARE TO SHOW THE MATERIAL LIMITS, THEY ARE NOT USED TO SHOW SCALE.

**EXTERIOR ELEVATION LEGEND**

- EXISTING MODULAR BRICK VENEER - FINISH, BARRING BARS BASES OF DEBRIS, EXISTING REUSED BRICK. COLOR TBD
- VERTICAL BATTING OVER FIBER CEMENT BOARD - FINISH BARS OF DEBRIS, FINISH FIBER VENEER, USING SELECT CEDAR/MIL. COLOR TBD
- HORIZONTAL BARS - FINISH BARS OF DEBRIS, FINISH ARTISAN SIDING - ARTISAN V-GROOVE. COLOR TBD

- EXTERIOR WALL SECTION LINES
- EXTERIOR WINDOW TAG, REF. A2-02 SERIES
- MASONRY STAIRCASE POINT

**EXTERIOR ELEVATION NOTES**

DOCUMENTS ARE COMPLETE AND MAY BE USED FOR REGULATORY APPROVAL OR PERMITTING. CONTRACTOR IS RESPONSIBLE FOR FOUNDATION AND STRUCTURAL DRAWINGS REQUIRED FOR CONSTRUCTION.

THRS/STUDIO NO. 24-004

**A2.01**  
EXTERIOR ELEVATIONS

ISSUE FOR PERMIT  
DATE 04/25/24

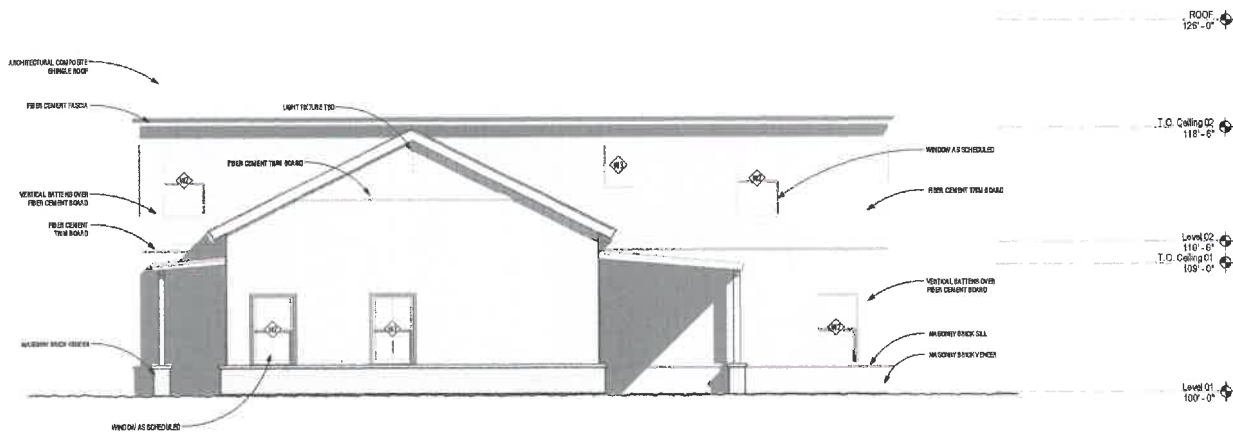


4816 MEXICO CT  
DALLAS, TEXAS 75236  
WWW.THRSTUDIO.COM

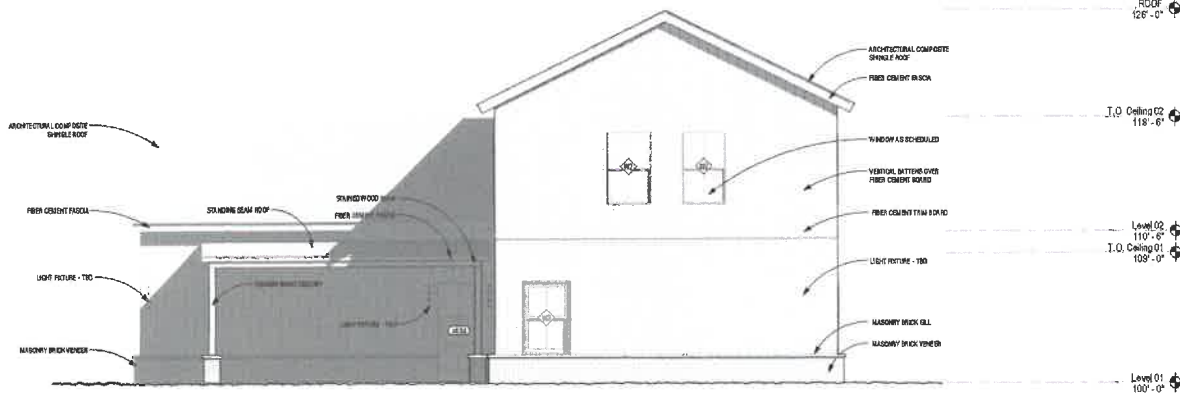
COPYRIGHT © 2024 THRS/STUDIO LLC

**EVANS PEREZ NEW RESIDENCE**  
SAUL PEREZ  
302 EVANS ROAD  
ROCKWALL, TEXAS 75082

CONTRACT NO. 24-004  
 ARCHITECT: SAUL PEREZ ARCHITECTURE  
 4816 MEXICO CT, DALLAS, TX 75236  
 TEL: 214-400-1111  
 WWW.SAULPEREZARCHITECTURE.COM



**02 | EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**01 | NORTH ELEVATION**  
 SCALE: 1/4" = 1'-0"



4816 MEXICO CT  
 DALLAS, TEXAS 75236  
 WWW.THRSTUDIO.COM

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**EVANS PEREZ NEW RESIDENCE**  
 SAUL PEREZ  
 302 EVANS ROAD  
 ROCKWALL, TEXAS 75082

**EXTERIOR ELEVATION GENERAL NOTES**

1. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB UNLESS OTHERWISE NOTED.
2. REPAIRS OR NOTCH IN MASONRY VENEER TO BE AS TYPICAL, UNLESS NOTED OTHERWISE.
3. THE MATERIAL SYMBOLS ON THE ELEVATIONS ARE TO SHOW THE MATERIAL TYPE. THEY ARE NOT USED TO DRAW SCALE.

**EXTERIOR ELEVATION LEGEND**

- EXISTING MODULAR BRICK VENEER - PAINTED, FINISH FLOOR BASIS OF DESIGN EXISTING MODULAR BRICK, COLOR T10
- VERTICAL MITE OVER FIBER CEMENT BOARD - PAINTED BASIS OF DESIGN - PAINTED MITE VERTICAL, COLOR MITE COLOR T10
- HORIZONTAL BOARD - PAINTED BASIS OF DESIGN - PAINTED HORIZONTAL, COLOR T10

- EXTERIOR WALL SECTION TAG
- EXTERIOR WINDOW TAG, REF. AS-40 SERIES
- MASONRY EXTENSION JOINT

**EXTERIOR ELEVATION NOTES**

DOCUMENTS ARE COMPLETE AND MAY BE USED FOR REGULATORY APPROVAL. PERMITTING CONTRACTOR IS RESPONSIBLE FOR FOUNDATION AND STRUCTURAL DRAWINGS REQUIRED FOR CONSTRUCTION.

THR3 | STUDIO NO 24-004

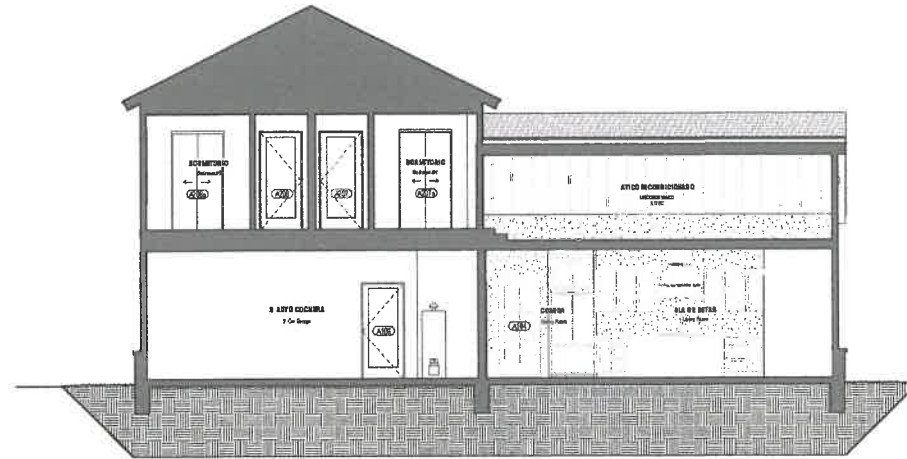
**A2.02**  
 EXTERIOR ELEVATIONS

ISSUE FOR PERMIT  
 04.19.2024



- ROOF 126'-0"
- T.O. Ceiling 02 118'-6"
- Level 02 110'-8"
- T.O. Ceiling 01 108'-0"
- Level 01 100'-0"

**02 | BUILDING SECTION AT KITCHEN AND STAIRS**  
302-101-101



- ROOF 126'-0"
- T.O. Ceiling 02 118'-6"
- Level 02 110'-8"
- T.O. Ceiling 01 108'-0"
- Level 01 100'-0"

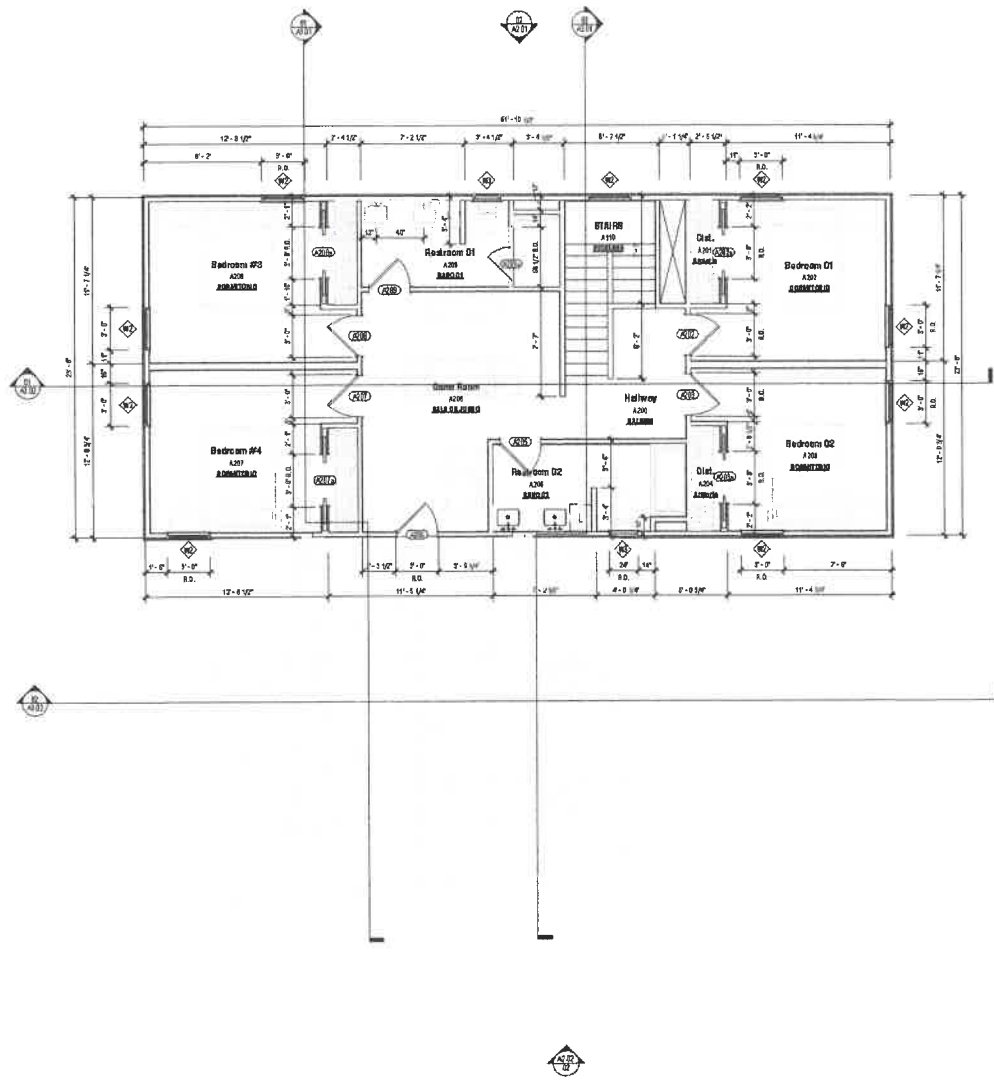
**01 | BUILDING SECTION AT GARAGE AND LIVING ROOM**  
302-101-101

NO.	REVISED	DATE

DOCUMENTS ARE COMPLETE AND MAY BE USED FOR REGULATORY APPROVAL, OR PERMITTING. CONTRACTORS RESPONSIBLE FOR FOUNDATION AND STRUCTURAL DRAWINGS REQUIRED FOR CONSTRUCTION.







**01** | Second Floor Plan Level 02  
NOV 09, 2024

**FLOOR PLAN GENERAL NOTES**

1. THE DIMENSIONS SHALL NOT BE EXCEEDED FOR DIMENSIONAL, DESIGN, OR CONSTRUCTION PURPOSES. IF DIMENSIONS ARE IN QUESTION, OBTAIN WRITTEN CLARIFICATION FROM THE DESIGNER.
2. CONDITIONS SHOWN ON THE PLAN ARE TO THE FACE OF STUD, CENTER LINE OF COLUMNS, AND TO THE FACE OF MASONRY OR CONCRETE WALLS, UNLESS NOTED OTHERWISE.
3. PROVIDE AN OBSERVE ME BENCH AT OPENING BOUNDARY PARTITIONS LOCATED AT ALL EXTERIOR, FINISH, AND OUTDOOR AREAS.
4. FIELD SHALL BE SURE AND COVERED BY MASONRY FOR OWNER PROVIDED FOUNDATION AND FINISHES PRIOR TO ANY INSULATION OR FABRICATION OF WALLS. COORDINATE WITH THE OWNER ON DELIVERY AND INSTALLATION OF ANY EQUIPMENT THAT IS OWNER FURNISHED AND CONTROL COR INSTALLED.

**FLOOR PLAN LEGEND**

- NON-WALL PARTITION
- EXISTING WALL PARTITION TO REMAIN
- WALL PARTITION
- EXTERIOR ELEVATION TAG
- INTERIOR ELEVATION TAG
- EXTERIOR WALL SECTION TAG
- DOOR / OPENING TAG, REF. A10-A1 SERIES
- PARTITION TAG, REF. A10-A1 SERIES
- EXTERIOR WINDOW TAG, REF. A10-A1 SERIES
- INTERIOR WINDOW TAG, REF. A10-A1 SERIES
- AREA OUT OF SCOPE OF WORK
- HOLD OVER, REF. PLUMBING

**FLOOR PLAN NOTES**

DOCUMENTS ARE COMPLETE AND MAY BE USED FOR REGULATORY APPROVAL. PERMITTING CONTRACTOR IS RESPONSIBLE FOR FOUNDATION AND STRUCTURAL DRAWINGS REQUIRED FOR CONSTRUCTION.

THRS|STUDIO NO. 24-004

**A1.02**  
SECOND FLOOR PLAN  
LEVEL 02

ISSUE FOR PERMIT  
06.19.2024



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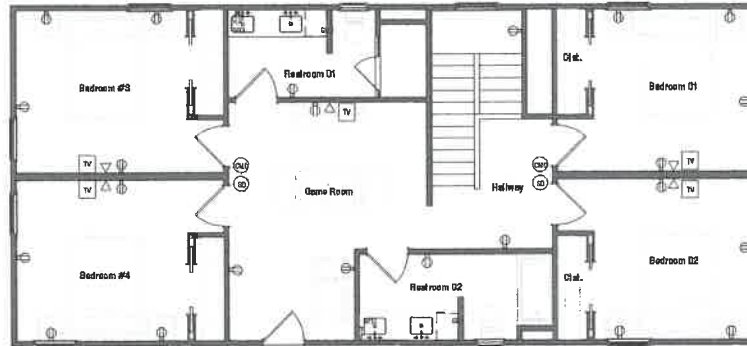
**A1.02**  
SECOND FLOOR PLAN  
LEVEL 02

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**ELECTRICAL PLAN GENERAL NOTES**

1. ALL WORK TO BE IN ACCORDANCE WITH LOCAL ELECTRICAL CODES.
2. VERIFY ALL DIMENSIONS AND CONDITIONS ON OR SITE, BEFORE COMMENCEMENT OF WORK.
3. ELECTRICAL OUTLET LOCATIONS SHOWN ON DRAWINGS ARE APPROXIMATE, SO THE CONTRACTOR SHALL LOCATE THE LOCATION OF OUTLETS WITH DEDICATED PUNCH TO MARK. OUTLETS CENTERED IN ROOMS UNLESS NOTED.
4. WIP OUTLETS TO BE THRU WALLS AND COLOR TBD.

**ELECTRICAL PLAN LEGEND**

	PHONE DATA
	CONVENIENCE OUTLET
	WPC OUTLET
	WEATHERPROOF OUTLET
	FLOOR OUTLET
	APPLIANCE OR HOME OUTLET
	TV OUTLET
	SMoke DETECTOR
	COXIDATION CATHODIC PROTECTION DETECTOR
	THERMOSTAT

**ELECTRICAL PLAN NOTES**

NO. 001



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**A4.02**  
POWER FLOOR PLAN  
LEVEL 02

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