



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 172 ZOLLNER ROAD

SUBDIVISION J. H. BAILEY

LOT

BLOCK

GENERAL LOCATION ZOLLNER ? SH 276

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG

CURRENT USE

PROPOSED ZONING SFE 1.5 ? LI

PROPOSED USE

ACREAGE 9.44

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER ANTONIO BORJAS

APPLICANT

CONTACT PERSON ANTONIO BORJAS

CONTACT PERSON

ADDRESS 172 ZOLLNER ROAD

ADDRESS

CITY, STATE & ZIP ROUSE CITY, TX 75189

CITY, STATE & ZIP

PHONE 214-926-7934

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

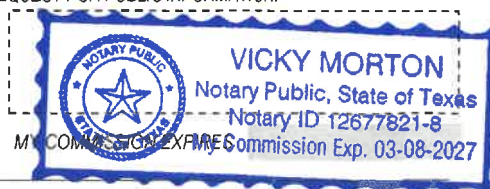
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Antonio Borjas [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF April, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF April, 2024

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2024-020: Zoning Change from Agricultural (AG) District to Single-Family Estate 1.5 (SFE-1.5) District and Light Industrial (LI) District

AG

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

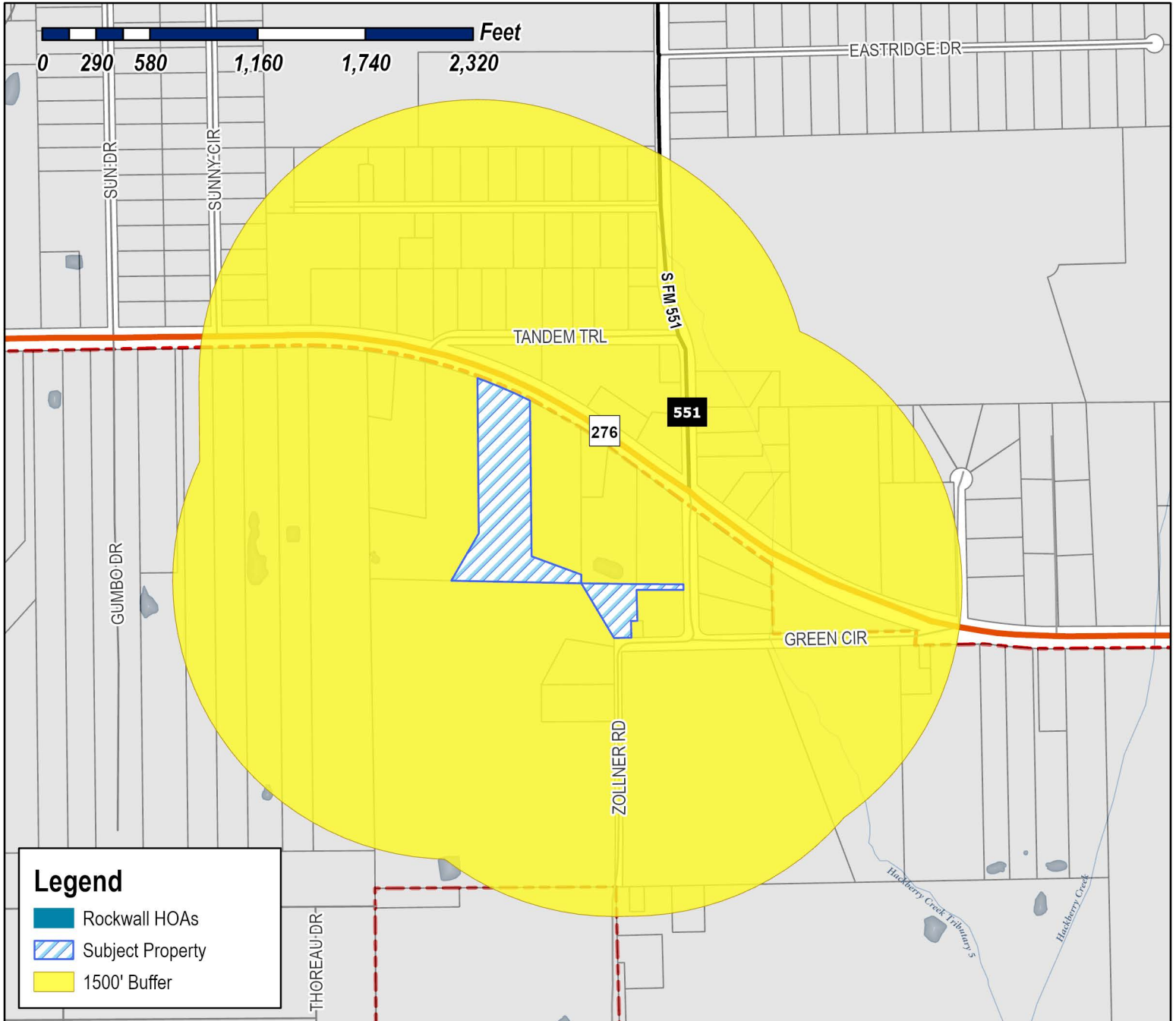




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Case Number: Z2024-020
Case Name: Zoning Change from AG to SFE-1.5 & LI
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 172 Zollner Road



Date Saved: 4/18/2024

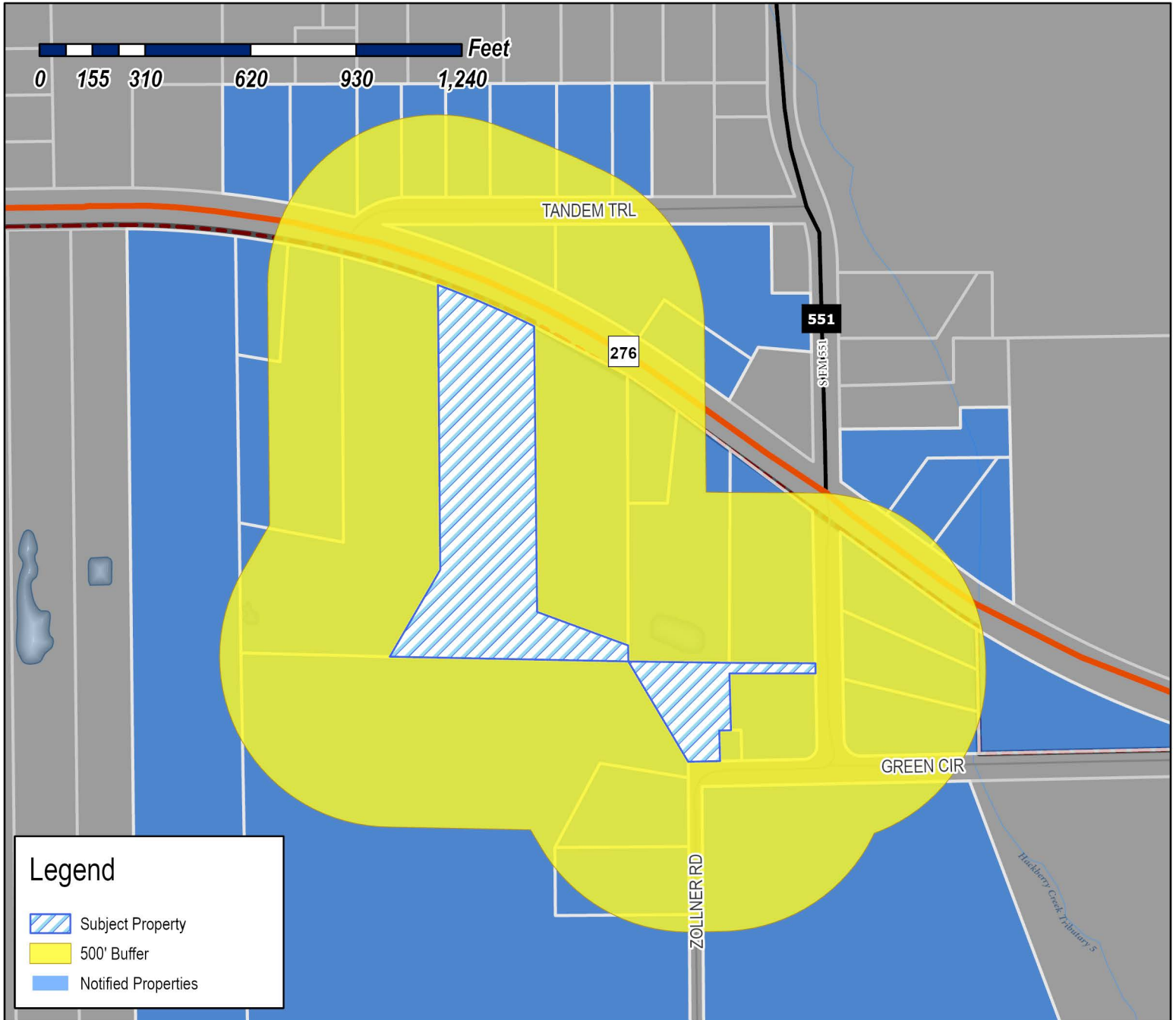
For Questions on this Case Call (972) 771-7745



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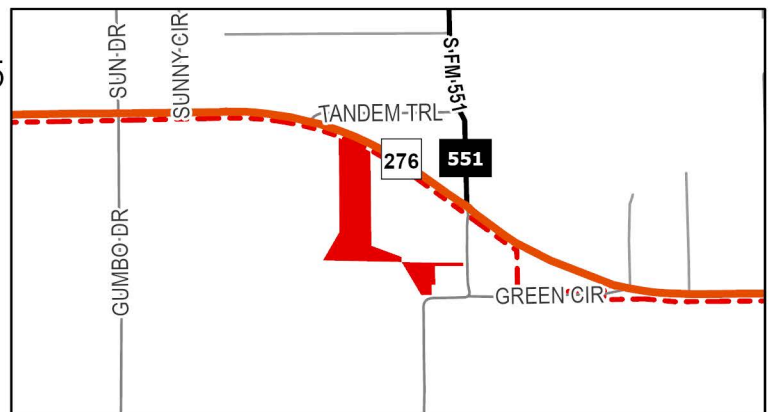
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GONZALEZ OSCAR
1010 LAKESHORE BLVD
OAK POINT, TX 75068

RESIDENT
105 ZOLLNER RD
ROYSE CITY, TX 75189

RAMIREZ MARTIN & TERESA
11582 HWY 205
LAVON, TX 75166

DHILLON GURMIT AND RANJEET K
1512 RIDGETOP CT
ROCKWALL, TX 75032

RESIDENT
161 GREEN CIR
ROYSE CITY, TX 75189

BORJAS ANTONIO
172 ZOLLNER RD
ROYSE CITY, TX 75189

RESIDENT
186 ZOLLNER RD
ROYSE CITY, TX 75189

RESIDENT
201 GREEN CIR
ROYSE CITY, TX 75189

MCAULEY CHRISTOPHER ROSS
254 ZOLLNER
ROYSE CITY, TX 75189

FULLER DONALD J
261 GREEN CIR
ROYSE CITY, TX 75189

RESIDENT
264 GREEN CIR
ROYSE CITY, TX 75189

BRANTON NORA JANE
345 EL RIO DR
MESQUITE, TX 75150

METRO REALEEDGE LLC
3620 WHITE BIRCH WAY
EULESS, TX 76040

MCAULEY MICHAEL D & JUDY
444 ZOLLNER RD
ROYSE CITY, TX 75189

MCAULEY JUDY LYNN
444 ZOLLNER ROAD
ROYSE CITY, TX 75189

SZOBOSZLAY TOM
4827 STATE HIGHWAY 276
ROCKWALL, TX 75189

RESIDENT
4891 HWY276
ROYSE CITY, TX 75189

EDGEMON TONY L AND REGINA A
4947 STATE HIGHWAY 276
ROYSE CITY, TX 75189

THOMPSON BRADLEY
5095 STATE HWY 276
ROYSE CITY, TX 75189

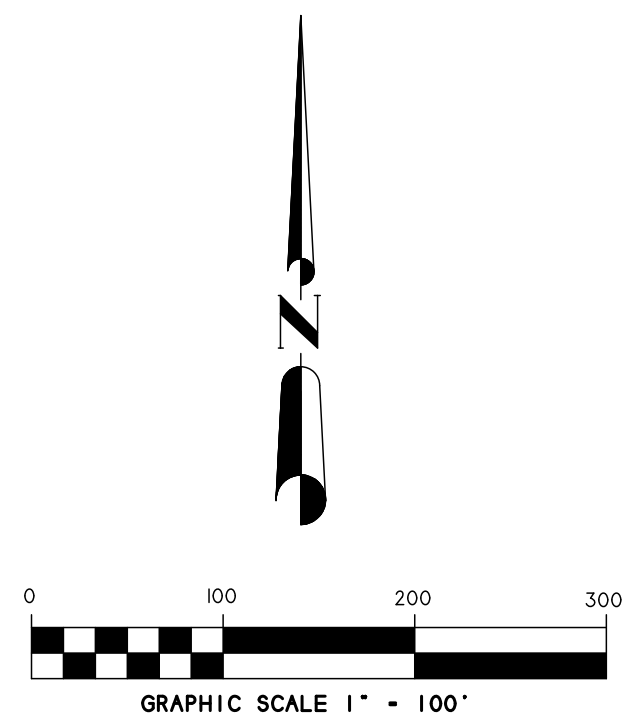
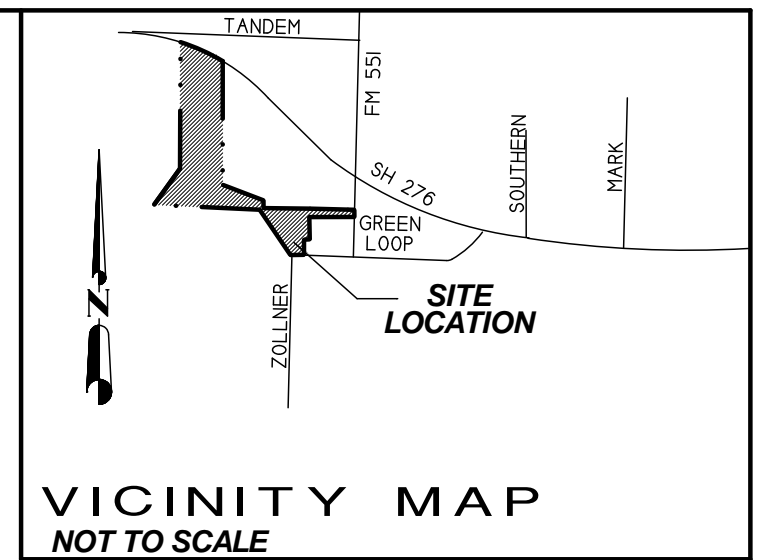
MEDINA LIGNA SARDON AND MARVIN JOSUE
MEDINA ANARIBA
5143 STATE HIGHWAY 276
ROYSE CITY, TX 75189

BORJAS MARIO ALBERTO
647 TUBBS ROAD
ROCKWALL, TX 75032

CALVILLO MICHELLE ANN
8119 SAMUELS ROAD
TERRELL, TX 75160

WHITE TIMOTHY E
9104 PRIVATE ROAD 2325
TERRELL, TX 75160

JONES LARRY JAY
P.O. BOX 92
WESTON, CO 81091

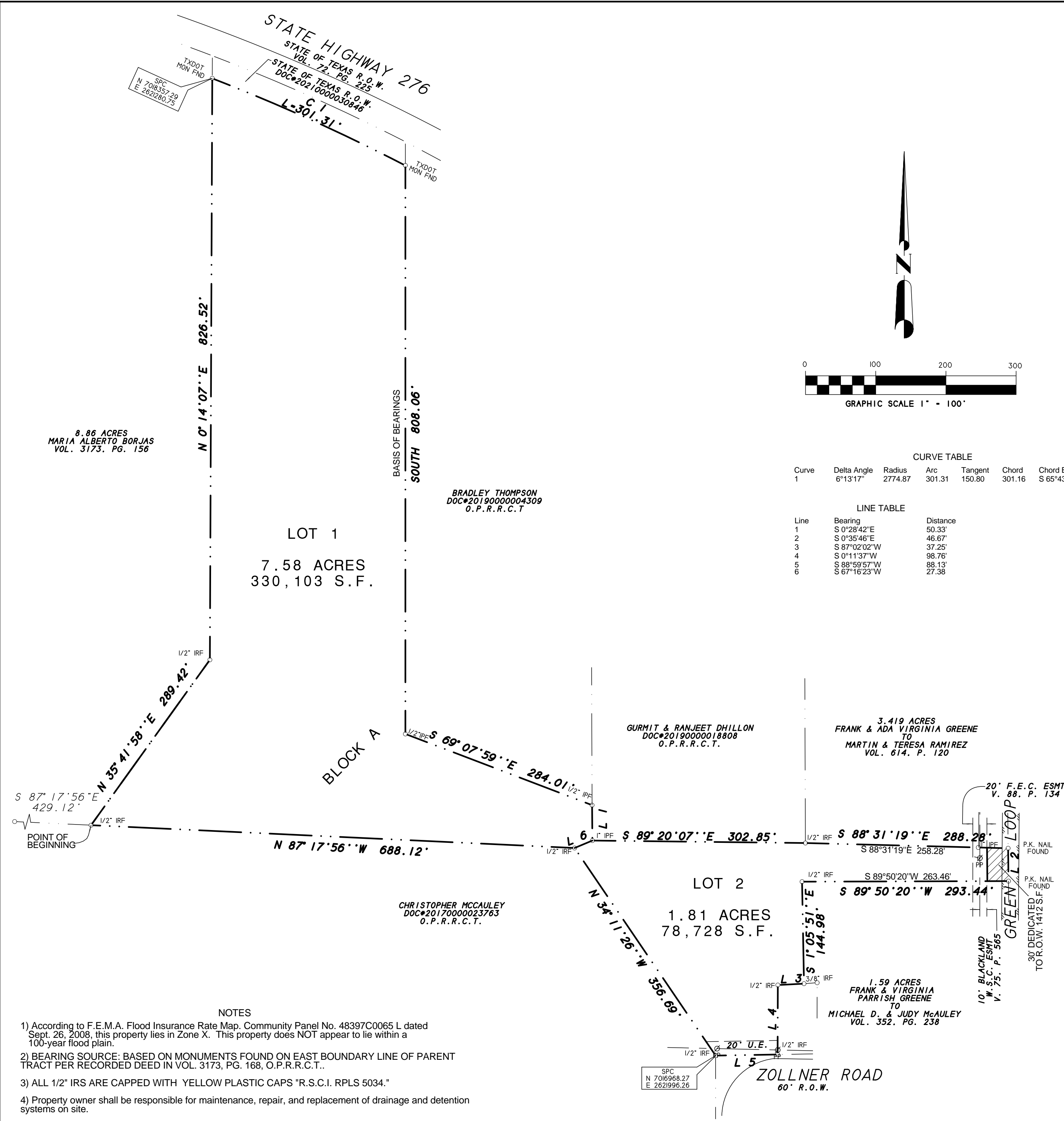


CURVE TABLE

Curve	Delta Angle	Radius	Arc	Tangent	Chord	Chord Bearing
1	6°13'17"	2774.87	301.31	150.80	301.16	S 65°43'08"E

LINE TABLE

Line	Bearing	Distance
1	S 0°28'42"E	50.33'
2	S 0°35'46"E	46.67'
3	S 87°02'02"W	37.25'
4	S 0°11'37"W	98.76'
5	S 88°59'57"W	88.13'
6	S 67°16'23"W	27.38'



CONVEYANCE PLAT
BORJAS ADDITION
LOT 1 & LOT 2, BLOCK A
 CONTAINING A TOTAL OF
 9.42 ACRES/410,243 S.F.
 (2 LOTS)
 J.H. BAILEY SURVEY, A-45
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

- NOTES**
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0065 L dated Sept. 26, 2008, this property lies in Zone X. This property does NOT appear to lie within a 100-year flood plain.
 - 2) BEARING SOURCE: BASED ON MONUMENTS FOUND ON EAST BOUNDARY LINE OF PARENT TRACT PER RECORDED DEED IN VOL. 3173, PG. 168, O.P.R.R.C.T..
 - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."
 - 4) Property owner shall be responsible for maintenance, repair, and replacement of drainage and detention systems on site.

SHEET 1 OF 2

SYMBOL LEGEND	
TV	TELEVISION CABLE
GAS	GAS METER
TEL	TEL POSE
PH	PHONE ROSE
FI	FIRE HYDRANT
PP	POWER POLE
ELEC	ELECTRIC METER
BOX	ELECTRIC METER BOX
W	WATER METER
LP	L.P. GAS METER
LF	LIGHT POLE
1/2" IRF	1/2" IRF FOUND
1/4" IRF	1/4" IRF FOUND
1" IRF	1" IRF FOUND
30'	30' DEDICATED S.F. TO R.O.W.
10'	10' BLACKLAND W.S.C. ESMT
20'	20' F.E.C. ESMT
P.K.	P.K. NAIL FOUND
EXP	EXISTENT LINE
PRO	PROPOSED LINE
AN	AN. CORNER
PRE	PREPARE PLAT

SURVEY DATE: FEBRUARY 16, 2024
 SCALE: 1" = 100' FILE #20031589-P
 CLIENT: BORJAS GF # NONE

OWNER:
 ANTONIO BORJAS
 172 ZOLLNER ROAD
 ROCKWALL, TEXAS 75032

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 10150900
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

