

### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

	PLANNING & ZONING CASE NO.					
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HASIGNED BELOW.						
	DIRECTOR OF PLANNING:					
ı	CITY ENGINEER:					

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:									
PLATTING APPLICATION FEES:  MASTER PLAT (\$100.00 + \$15.00 ACRE) 1 PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1 FINAL PLAT (\$300.00 + \$20.00 ACRE) 1 REPLAT (\$300.00 + \$20.00 ACRE) 1 AMENDING OR MINOR PLAT (\$150.00) PLAT REINSTATEMENT REQUEST (\$100.00) SITE PLAN APPLICATION FEES: SITE PLAN (\$250.00 + \$20.00 ACRE) 1 AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)			☐ ZONING CH/ ☐ SPECIFIC US ☐ PD DEVELO  OTHER APPLIC ☐ TREE REMO ☐ VARIANCE F  NOTES: 1 IN DETERMINING T PER ACRE AMOUNT. 2 A \$1,000.00 FEE	ZONING APPLICATION FEES:  ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1  SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1  OTHER APPLICATION FEES:  TREE REMOVAL (\$75.00)  VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2  NOTES:  IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. 2 A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING					
PROPERTY INFORMATION [PLEASE PRINT]									
ADDRESS	For the second second	NER ROAD							
SUBDIVISION	J. H. BAid	24		LOT	BLOCK				
GENERAL LOCATION	ZOUNER	3 SH 276							
ZONING, SITE PL	AN AND PLATTII	NG INFORMATION [PLEA	ASE PRINT]						
CURRENT ZONING	No. 10-11-		CURRENT USE						
PROPOSED ZONING	SFE 1.5	LI	PROPOSED USE						
ACREAGE	9.44	LOTS [CURREN	<b>І</b> Т]	LOTS [PROPOSED]	THE WELL SHE				
SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.									
				TACT/ORIGINAL SIGNATURES ARE	REQUIRED]				
OWNER CONTACT BERSON	ANTONIO		APPLICANT						
CONTACT PERSON ADDRESS	ANTONIO	ier rad	CONTACT PERSON ADDRESS						
ADDITEGO	172 Zacti	CE KOAD	ADDITECT						
CITY, STATE & ZIP	ROYSE CITY	TX 75189	CITY, STATE & ZIP						
	214- 926 -		PHONE						
E-MAIL			E-MAIL						
NOTARY VERIFICATION [REQUIRED]  BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ATTORISE GOWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:									
SAPATION CONTAINED	, TO COVER 7 , 20 <b>2.√</b> BY D WITHIN THIS APPLICATION	THE COST OF THIS APPLICATION, I SIGNING THIS APPLICATION, I AGI ON TO THE PUBLIC. THE CITY	HAS BEEN PAID TO THE CITY REE THAT THE CITY OF RO IS ALSO AUTHORIZED AND	FED HEREIN IS TRUE AND CORRECT; A OF ROCKWALL ON THIS THE CKWALL (I.E. "CITY") IS AUTHORIZED DERMITTED TO REPRODUCE ANY TO A REQUEST FOR PUBLIC INFORM.	DAY OF AND PERMITTED TO PROVIDE COPYRIGHTED INFORMATION				
GIVEN UNDER MY HAND A	AND SEAL OF OFFICE ON	THIS THE 18 DAY OF	psil 20 2	4	VICKY MORTON				
	OWNER'S SIGNATUR	PE PE		* Not	ary Public, State of Texas				
NOTARY PUBLIC IN AND I	OR THE STATE OF TEXA	S Vicky 7	Moston	MY COMES GAZXPIRES	Notary ID 12677821-8 Commission Exp. 03-08-2027				





# City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

(P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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GUMBO DR

RALPH-DR

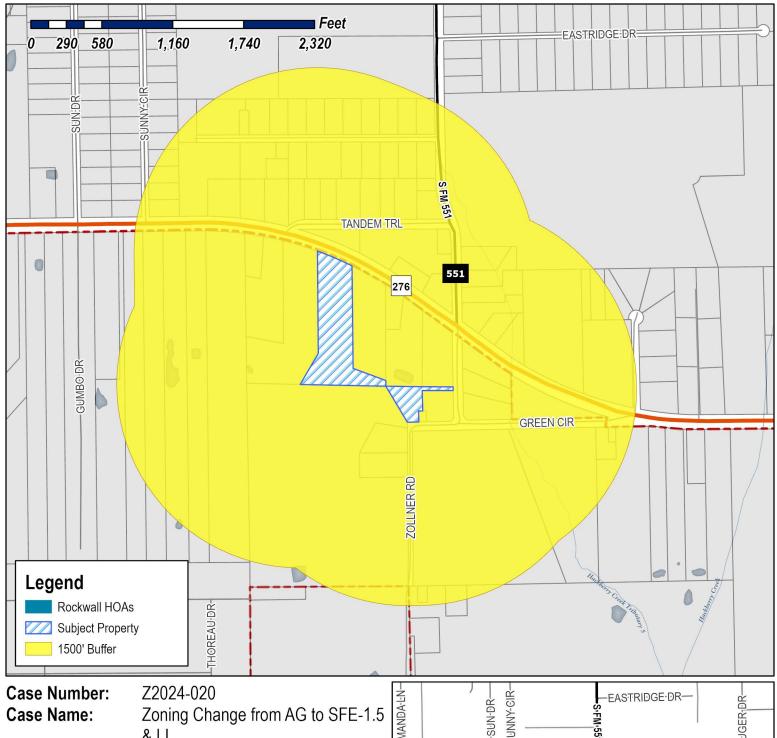
-WALDO DR

DOWELL-RD



REMINGTON D

GREEN CIR



Date Saved: 4/18/2024

Case Name:

Case Type:

Case Address:

Zoning:

For Questions on this Case Call (972) 771-7745

& LI

Zoning

Zoning Change from AG to SFE-1.5

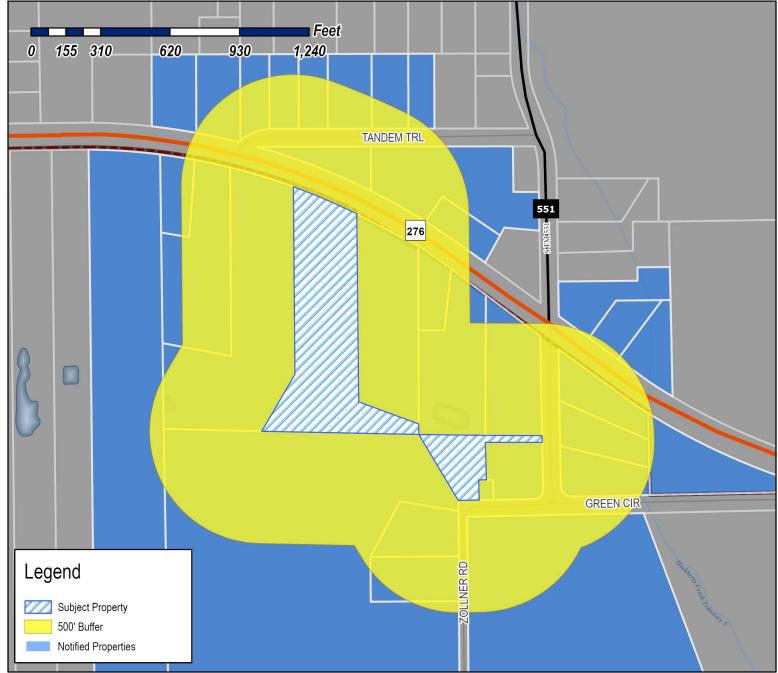
Agricultural (AG) District

172 Zollner Road



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**Case Number:** Z2024-020

**Case Name:** Zoning Change from AG To SFE-1.5

& LI

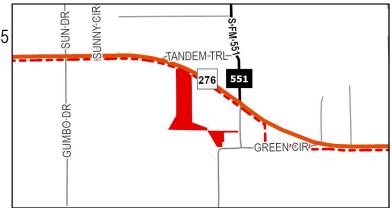
Case Type: Zoning

**Zoning:** Agricultural (AG) District

Case Address: 172 Zollner Road

Date Saved: 4/18/2024

For Questions on this Case Call: (972) 771-7745



GONZALEZ OSCAR 1010 LAKESHORE BLVD OAK POINT, TX 75068 RESIDENT 105 ZOLLNER RD ROYSE CITY, TX 75189 RAMIREZ MARTIN & TERESA 11582 HWY 205 LAVON, TX 75166

DHILLON GURMIT AND RANJEET K 1512 RIDGETOP CT ROCKWALL, TX 75032 RESIDENT 161 GREEN CIR ROYSE CITY, TX 75189 BORJAS ANTONIO 172 ZOLLNER RD ROYSE CITY, TX 75189

RESIDENT 186 ZOLLINER RD ROYSE CITY, TX 75189 RESIDENT 201 GREEN CIR ROYSE CITY, TX 75189

MCAULEY CHRISTOPHER ROSS 254 ZOLLNER ROYSE CITY, TX 75189

FULLER DONALD J 261 GREEN CIR ROYSE CITY, TX 75189 RESIDENT 264 GREEN CR ROYSE CITY, TX 75189 BRANTON NORA JANE 345 EL RIO DR MESQUITE, TX 75150

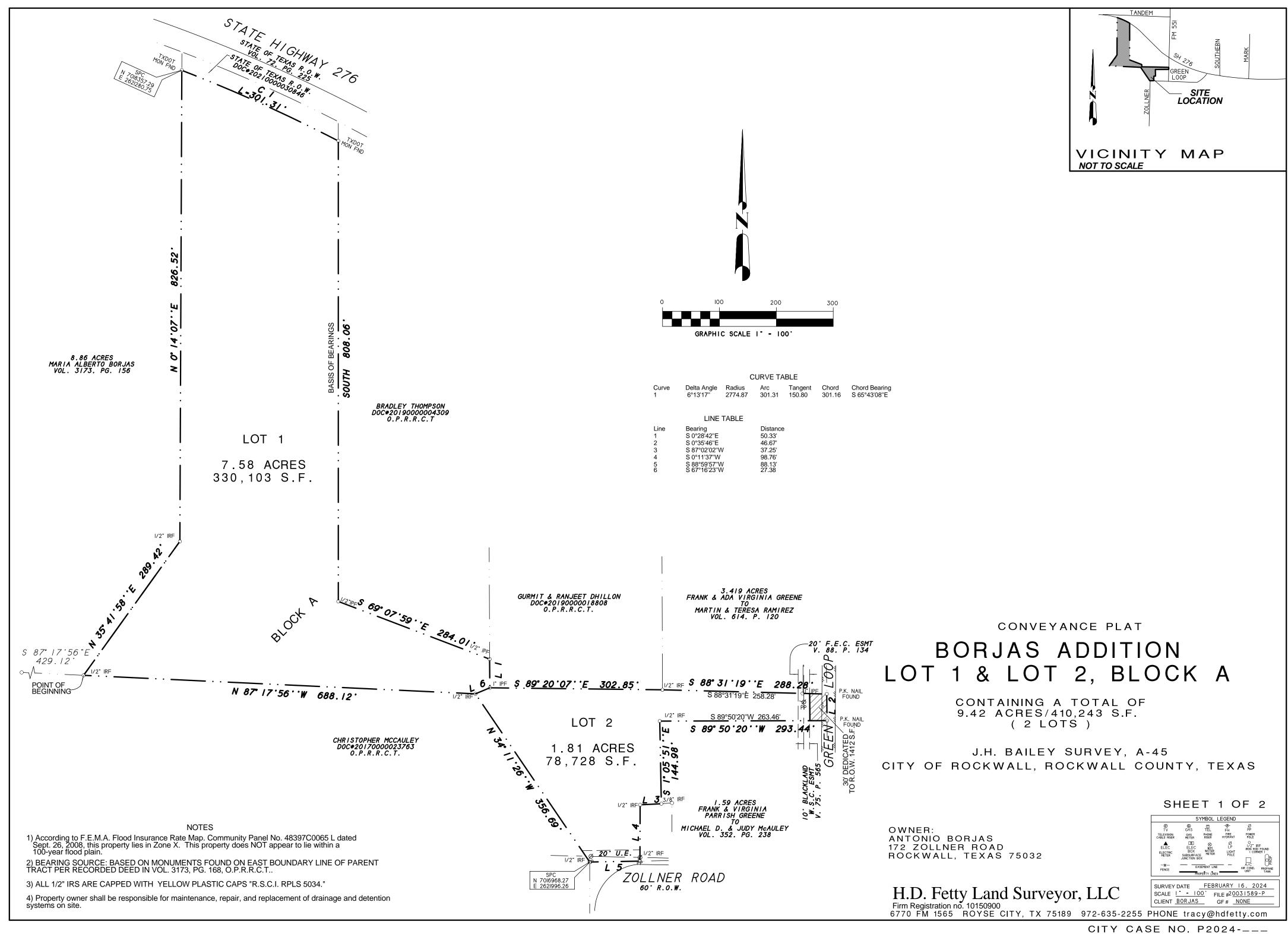
METRO REALEDGE LLC 3620 WHITE BIRCH WAY EULESS, TX 76040 MCAULEY MICHAEL D & JUDY 444 ZOLLNER RD ROYSE CITY, TX 75189 MCAULEY JUDY LYNN 444 ZOLLNER ROAD ROYSE CITY, TX 75189

SZOBOSZLAY TOM 4827 STATE HIGHWAY 276 ROCKWALL, TX 75189 RESIDENT 4891 HWY276 ROYSE CITY, TX 75189 EDGEMON TONY L AND REGINA A 4947 STATE HIGHWAY 276 ROYSE CITY, TX 75189

THOMPSON BRADLEY 5095 STATE HWY 276 ROYSE CITY, TX 75189 MEDINA LIGNA SARDON AND MARVIN JOSUE MEDINA ANARIBA 5143 STATE HIGHWAY 276 ROYSE CITY, TX 75189

BORJAS MARIO ALBERTO 647 TUBBS ROAD ROCKWALL, TX 75032

CALVILLO MICHELLE ANN 8119 SAMUELS ROAD TERRELL, TX 75160 WHITE TIMOTHY E 9104 PRIVATE ROAD 2325 TERRELL, TX 75160 JONES LARRY JAY P.O. BOX 92 WESTON, CO 81091



OWNER'S CERTIFICATE (Public Dedication)

COUNTY OF ROCKWALL

WHEREAS, ANTONIO BORJAS, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the JOHN H. BAILEY SURVEY, ABSTRACT NO. 45, City of Rockwall, Rockwall County, Texas, and being a part of that 28.79 acres Tract 2 as described in a Warranty deed from Robert Smith and Lawrence Jones and wife, Sue Jones, dated July 29, 1970 and being recorded in Volume 92, Page 29 of the Real Property Records of Rockwall County, Texas, and being a part of that tract of land as described in a Warranty deed to Antonio Borjas, as recorded in Volume 3173, Page 168 of he Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner in the South boundary line of said 28.79 acres tract, said point being S. 87 deg.17 min. 56 sec. E., 429.12 feet from a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner at the base of a fence corner post at the Southwest corner of said 28.79 acres tract of land;

THENCE N. 35 deg. 41 min. 58 sec. E., a distance of 289.42 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner;

THENCE N. 00 deg. 14 min. 07 sec. E. a distance of 826.52 feet to a TXDOT monument found for corner in the South right-of-way line of State Highway 276;

THENCE in a Southeasterly direction along a curve to the left having a central angle of 06 deg. 13 min. 17 sec. , a radius of 2744.87 feet, a tangent of 150.80 feet, a chord of S. 65 deg. 43 min. 08 sec. E., 301.16 feet along said right-of-way line, an arc distance of 301.31 feet to a TXDOT monument found for corner in the east line of Borjas tract;

THENCE SOUTH along the Easst line of said Borjas tract, a distance of 808.06 feet to a 1/2" iron pipe found for corner at the Southeast corner of same:

THENCE S. 69 deg. 07 min. 59 sec. E. a distance of 284.01 feet to a 1/2" iron rod pipe found for corner;

THENCE S. 00 deg. 28 min. 42 sec. E. a distance of 50.33 feet to a 1" iron pipe found for corner;

THENCE S. 89 deg. 20 min. 07 sec. E. a distance of 302.85 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner at the Southwest corner of a 3.419 acres tract of land as described in a Deed to Martin and Teresa Ramirez, as recorded in Volume 614, Page 120 of the Real Property Records of Rockwall County. Texas:

THENCE S. 88 deg. 31 min. 19 sec. E. along the South line of said 3.419 acres tract, a distance of 288.28 feet to a P-K Nail for corner in the center of Green Loop;

THENCE S. 00 deg. 35 min. 46 sec. E. along the center of said road, a distance of 46.67 feet to a P-K nail for corner at the Northeast corner of a 1.59 acres tract of land as described in a Deed to Michael D. and Judy McAuley, as recorded in Volume 352, Page 238 of the Real Property Records of Rockwall County, Texas;

THENCE S. 89 deg. 50 min. 20 sec. W. along the North line of said 1.59 acres tract, a distance of 293.44 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner at the Northwest corner of same;

THENCE S. 01 deg. 05 min. 51 sec. E. a distance of 144.98 feet to a 3/8" iron rod found for corner;

THENCE S. 87 deg. 02 min. 02 sec. W. a distance of 37.25 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner;

THENCE S. 00 deg. 11 min. 37 sec. W. a distance of 98.76 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the North line of Zollner Road;

THENCE S. 88 deg. 59 min. 57 sec. W. along the North line of Zollner Road, a distance of 88.13 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner;

THENCE N. 34 deg. 11 min. 26 sec. W. along the South line of said 28.79 acres tract, a distance of 356.69 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner;

THENCE N. 87 deg. 17 min. 56 sec. W. along the South line of said 28.79 acres tract, a distance of 688.12 feet to the POINT OF BEGINNING and containing 410,243 square feet or 9.42 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS

I the undersigned owner of the land shown on this plat, and designated herein as BORJAS ADDITION, LOT 1 & LOT 2, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in BORJAS ADDITION, LOT 1 & LOT 2, BLOCK A, have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Roc kwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

ANTONIO BORJAS

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued,

#### STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared ANTONIO BORJAS known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_day of \_\_\_\_\_\_, \_\_\_\_\_

Notary Public in and for the State of Texas

My Commission Expires:

#### SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Harold D. Fetty, III Registered Professional Land Surveyor No. 5034

Planning and Zoning Commission

City Engineer

HAROLD D. FETTY III

OFESSION

SURVEY

OFESSION

OFESSIO

RECOMMENDED FOR FINAL APPROVAL									

#### APPROVED

I hereby certify that the above and foregoing plat of BORJAS ADDITION, LOT 1 & LOT 2, BLOCK A an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_ day of\_\_\_\_\_\_\_.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Date

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this	day of		,	•
Mayor, City of Rockwall		City Secretary	City of Rockwall	

CONVEYANCE PLAT

## BORJAS ADDITION LOT 1 & LOT 2, BLOCK A

CONTAINING A TOTAL OF 9.42 ACRES/410,243 S.F.
( 2 LOTS )

J.H. BAILEY SURVEY, A-45 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

OWNER: ANTONIO BORJAS 172 ZOLLNER ROAD ROCKWALL, TEXAS 75032

CLIENT BORJAS GF# NONE

H.D. Fetty Land Surveyor, LLC Firm Registration no. 101509-00