



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 302 E Bourn St Rockwall, TX 75087

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SS7 CURRENT USE SS7

PROPOSED ZONING Vacant Lot PROPOSED USE Residential

ACREAGE .121 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Ricardo Alonso

APPLICANT Marisol ortiz

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS 2435 N central expressway

ADDRESS 2435 N central expressway
suite #1270

CITY, STATE & ZIP Richardson, TX, 75080

CITY, STATE & ZIP Richardson TX, 75080

PHONE 214-307-4120

PHONE 469-881-2416

E-MAIL ricardo.alonso@confiahomes.com

E-MAIL marisol.ortiz@confiahomes.com

NOTARY VERIFICATION [REQUIRED]

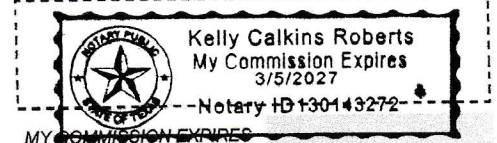
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RICARDO ALONSO CARRILLO [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____ 20____ BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF Apr. 2024.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2024-018: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 302 E. Bourn Avenue

MF-14

EBOURN ST

SF-7

SAM HOUSTON ST

DAVE CROCKETT ST

EMMA-JANE ST

PD-52

C

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

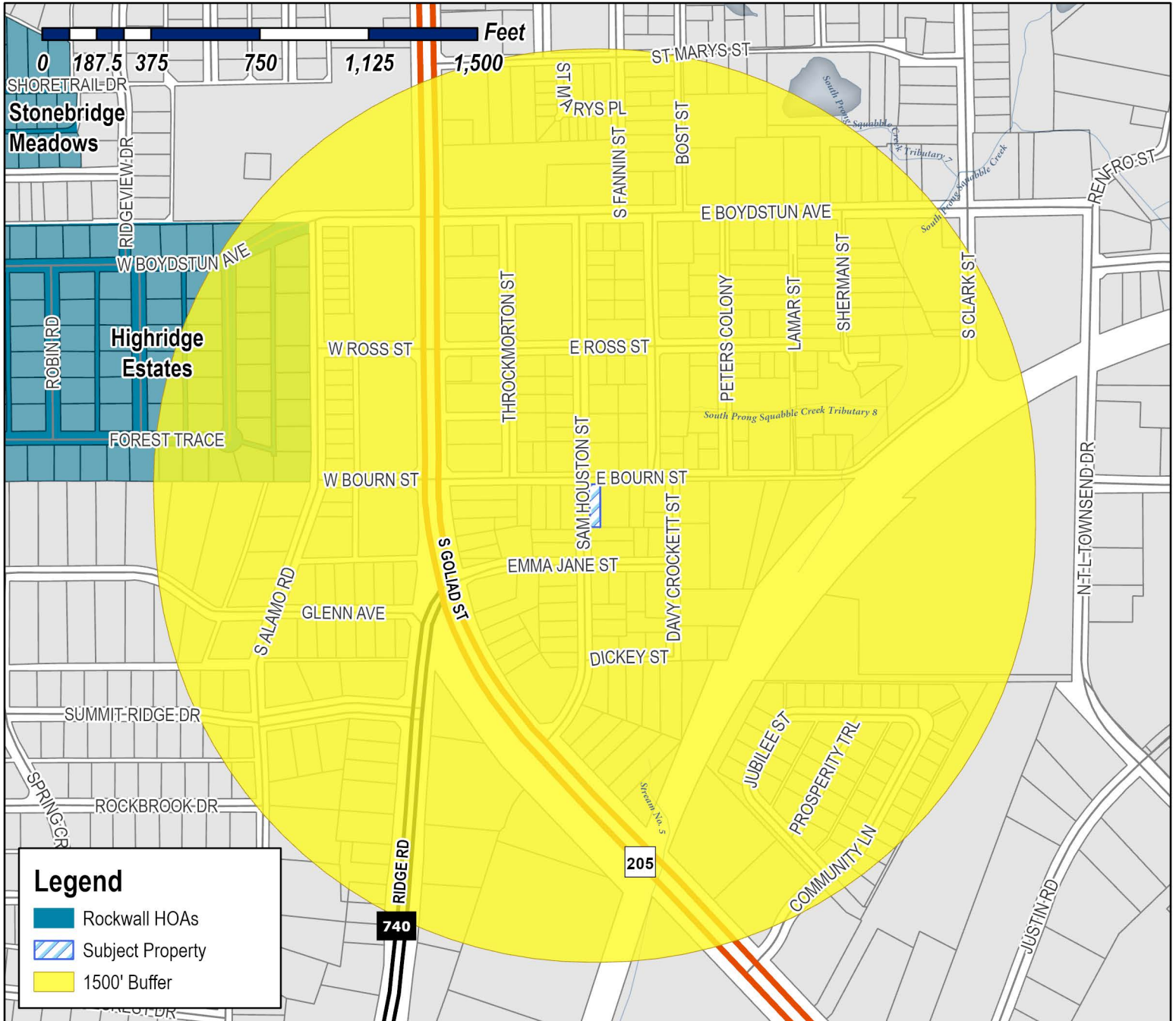




City of Rockwall

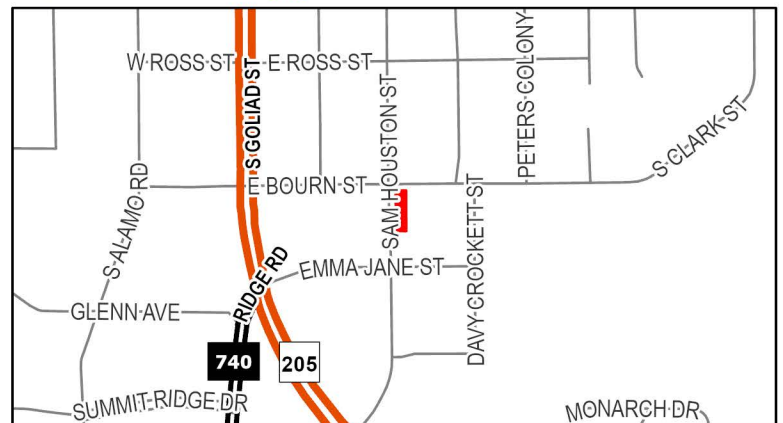
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Case Number: Z2024-018
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 302 E. Bourn Street

Date Saved: 4/18/2024
 For Questions on this Case Call (972) 771-7745

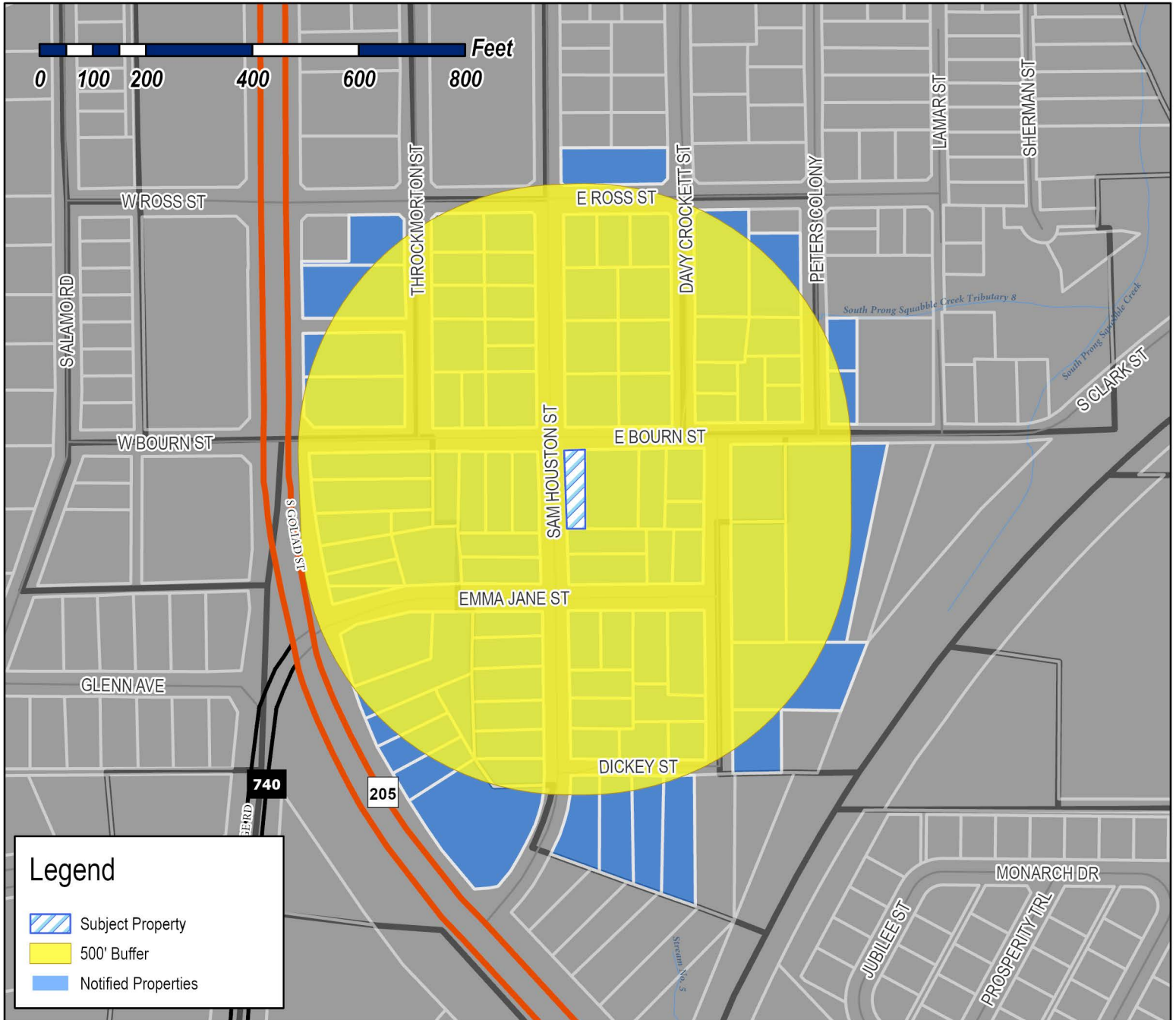




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For Questions on this Case Call: (972) 771-7745



EDWARDS JASON
10 DANCING WATERS
ROCKWALL, TX 75032

RESIDENT
1001 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1003 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1005 SAM HOUSTON
ROCKWALL, TX 75087

REEDER PERRY R AND JIMMIE
1006 DAVY CROCKETT ST
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
1007 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1008 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
1008 SAM HOUSTON
ROCKWALL, TX 75087

LIVAY LLC
1009 HOT SPRINGS DR
ALLEN, TX 75013

RESIDENT
1009 S GOLIAD
ROCKWALL, TX 75087

CASTILLO PEDRO
1009 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
1010 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1011 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1011 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
1012 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1013 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
102 E ROSS AVE
ROCKWALL, TX 75087

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

GE QIQING AND
JINGJING ZHANG
105 COYOTE BRUSH
IRVINE, CA 92618

ERVIN PROPERTIES LLC
1155 W WALL STREET SUITE 101
GRAPEVINE, TX 76051

ANDERSON ALLEN
1208 S LAKESHORE DR
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

SFR JV-1 2021-1 BORROWER LLC
C/O. TRICON AMERICAN HOMES LLC
15771 RED HILL AVE
TUSTN, CA 92780

BATRES MARIA DELL REFUGIO
202 BOURN STREET
ROCKWALL, TX 75087

LRG GROUP LLC
202 E RUSK ST
ROCKWALL, TX 75087

MOTON R T
203 E BOURN ST
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
206-207 EMMA JANE ST
ROCKWALL, TX 75087

RESIDENT
207 BOURN AVE
ROCKWALL, TX 75087

RESIDENT
208 EMMA JANE ST
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

NEW CALDONIA BAPTIST CHURCH
301 E BOURNE AVE
ROCKWALL, TX 75087

RESIDENT
302 EMMA JANE
ROCKWALL, TX 75087

CONFIA HOMES LLC
302 BOURN
ROCKWALL, TX 75087

VILLALOBOS JOSE MARVIN & JACKELIN IZELA
302 E ROSS
ROCKWALL, TX 75087

RESIDENT
304 EMMA JANE
ROCKWALL, TX 75087

HERNANDEZ SAMUEL AND VANESSA TYSON-
HERNANDEZ
304 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
304 E ROSS AVE
ROCKWALL, TX 75087

RESIDENT
306 BOURN AVE
ROCKWALL, TX 75087

ESTATE OF ARCHIE & JUANITA JONES
308 E BOURN ST
ROCKWALL, TX 75087

ELLERD TERESA
308 EMMA JANE ST
ROCKWALL, TX 75087

CUMMINGS JOHN AND LORI
308 STONEBRIDGE DR
ROCKWALL, TX 75087

BONNER JACK L AND VALERIE N
309 EMMA JANE ST
ROCKWALL, TX 75087

RESIDENT
310 EMMA JANE
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

RESIDENT
403 E BOURN ST
ROCKWALL, TX 75087

JONES LENA EST
C/O CHARLES R HUMPHREY
405 ER ELLIS
ROCKWALL, TX 75087

WALTER MARY
408 E BOURN ST
ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA
414 E. COACHLIGHT TRAIL
ROCKWALL, TX 75087

ANGULAR PIEDRA A/G
418 E BOURN ST
ROCKWALL, TX 75087

LIU HOWARD HEYUN
4577 JAGUAR DR
PLANO, TX 75024

HECKARD ALLEN
4906 FREEMAN DR
ROWLETT, TX 75088

TEXAN MUTUAL LLC
5000 RIVERSIDE DR STE 100W BLDG 5
IRVING, TX 75039

MARTIN HELEN
501 E BOURN ST
ROCKWALL, TX 75087

MATHIS DEBRA L
504 DICKEY ST
ROCKWALL, TX 75087

RUSZKOWSKI SKYLER E
506 DICKEY STREET
ROCKWALL, TX 75087

RODRIGUEZ MARIA
507 DICKEY ST
ROCKWALL, TX 75087

BROWN GEORGIA
508 DICKEY ST
ROCKWALL, TX 75087

STAR 2022 SFR3 BORROWER LP
591 WEST PUTNAM AVE
GREENWICH, CT 6830

BRANNON ERMA LEE EST AND
MARVIN RAY BRANNON ETAL
6819 CLIFFWOOD DR
DALLAS, TX 75237

ESTATE OF RHODA MAE HEARD
710 DAVY CROCKETT ST
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

BENNETT A L EST
C/O OLIVER LINVELL
712 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

RESIDENT
800 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
801 DAVY CROCKETT
ROCKWALL, TX 75087

LAFAYETTE ESTELLE
801 THROCKMORTON ST
ROCKWALL, TX 75087

JACKSON CALVIN
802 SAM HOUSTON ST
ROCKWALL, TX 75087

DANIELS ANNIE L
803 THROCKMORTON ST
ROCKWALL, TX 75087

DIXON ALMA
804 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
805 SAM HOUSTON
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

ESTATE OF FRANKIE MAE ALLEN
805 THROCKMORTON
ROCKWALL, TX 75087

RESIDENT
806 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
807 THROCKMORTON
ROCKWALL, TX 75087

RESIDENT
808 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
809 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
809 SAM HOUSTON
ROCKWALL, TX 75087

JOHNSON MELDRIA
809 DAVY CROCKETT
ROCKWALL, TX 75087

STRANGE FREDERICK & PATRICIA
810 DAVY CROCKETT ST
ROCKWALL, TX 75087

BARRON BLAKELEIGH
811 DAVY CROCKETT ST
ROCKWALL, TX 75087

RESIDENT
811 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
812 PETERS COLONY
ROCKWALL, TX 75087

HALL WILLA O
815 DAVY CROCKETT ST
ROCKWALL, TX 75087

HERNANDEZ ALMA VELIA
815 THROCKMORTON ST
ROCKWALL, TX 75087

DENTON GLENDA K & LANCE
900 DAVY CROCKETT
ROCKWALL, TX 75087

JPH ROCKWALL LLC
901 DAVY CROCKETT STREET
ROCKWALL, TX 75087

RESIDENT
901 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
902 DAVY CROCKETT
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

RESIDENT
903 DAVY CROCKETT
ROCKWALL, TX 75087

G O A T GENERAL CONTRACTING LLC
903 DAVY CROCKETT ST
ROCKWALL, TX 75087

RESIDENT
903 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
905 S GOLIAD
ROCKWALL, TX 75087

DIXON MARSHALL WADE
905 SAM HOUSTON
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
907 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
907 S GOLIAD
ROCKWALL, TX 75087

CAIN REVOCABLE FAMILY TRUST AND
CREDIT SHELTER TRUST AND SURVIVORS TRUST
DEWAYNE CAIN TRUSTEE 305 STONEBRIDGE DR
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC
P. O. BOX 853
WYLIE, TX 75098

DATIBRAN HOLDINGS LLC
PO BOX 1137
ROCKWALL, TX 75087

JCK CONCRETE INC
PO BOX 311
FATE, TX 75132

PROGRESS RESIDENTIAL BORROWER 16 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

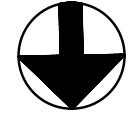
NEW CALDONIA BAPTIST CHURCH
PO BOX 481
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

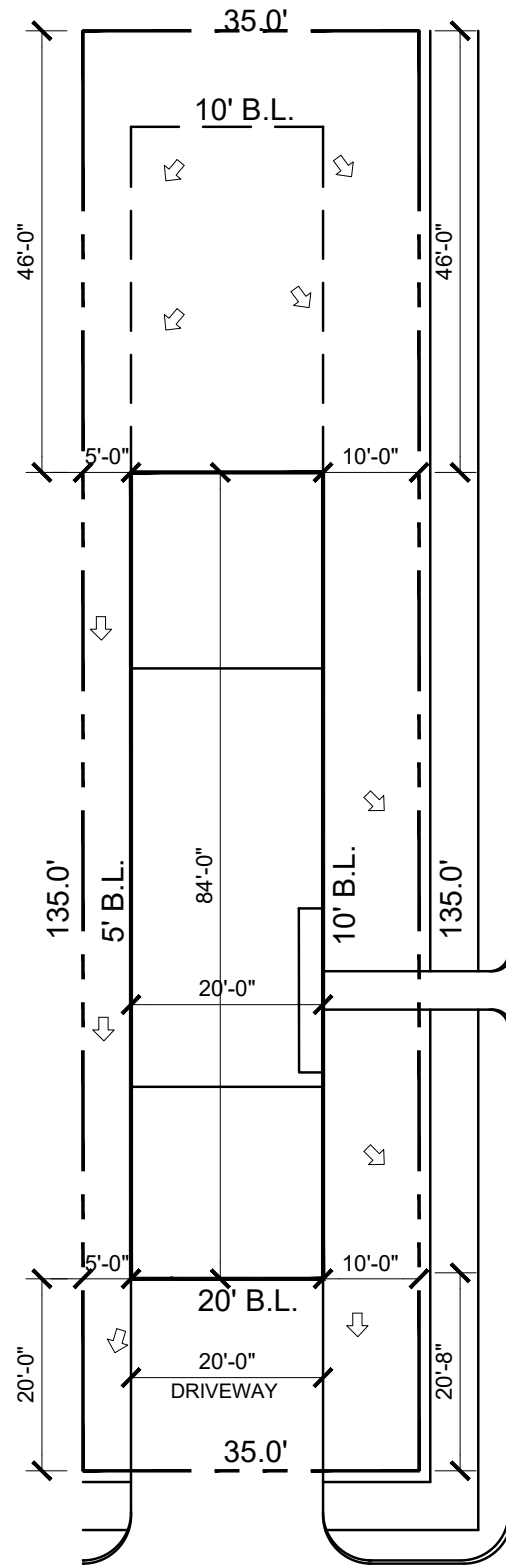
CONFIA HOMES

PLOT PLAN

SUBDIVISION	CANUP	BUYER	Spec.
LOT - 49	BLK -		
ADDRESS	302 BOURN ST		
DATE	02/12/24	DRAWN BY:	AW
PLAN NUMBER	2507	1375	SQ. FT. FLATWORK



NORTH
SCALE: 1"=20'



302 BOURN AVE

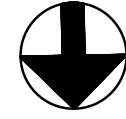
HOUSTON ST

Type " B " Drainage

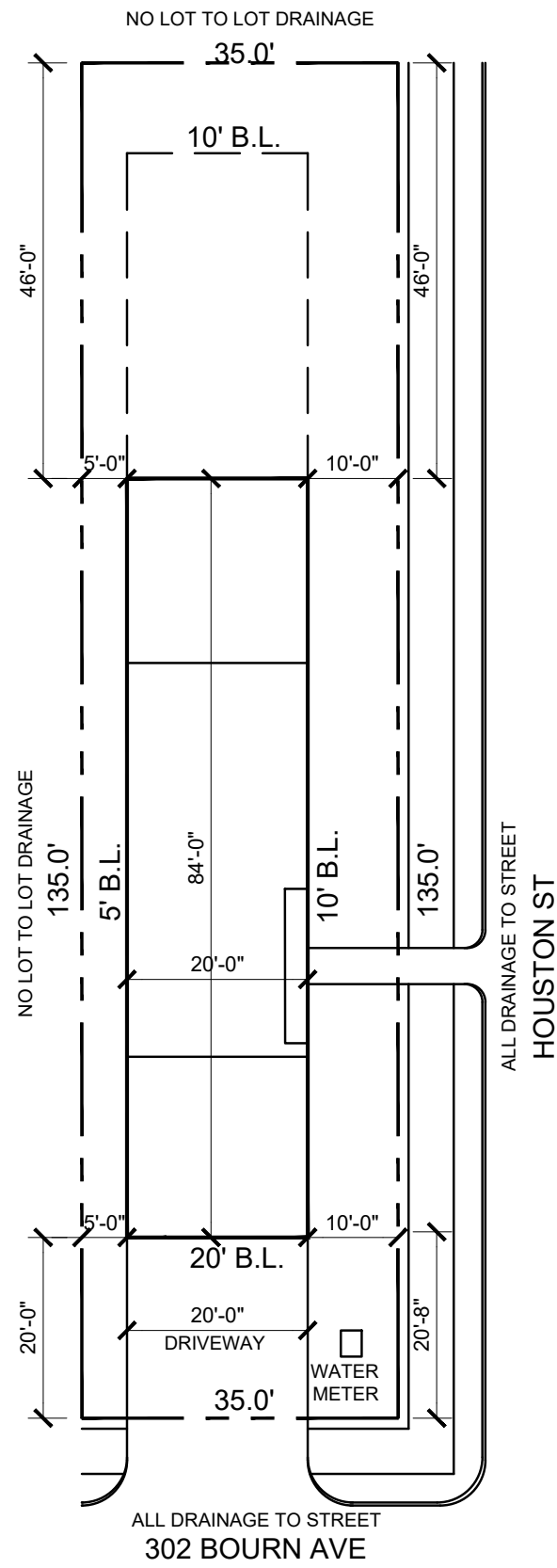
CONFIA HOMES

PLOT PLAN

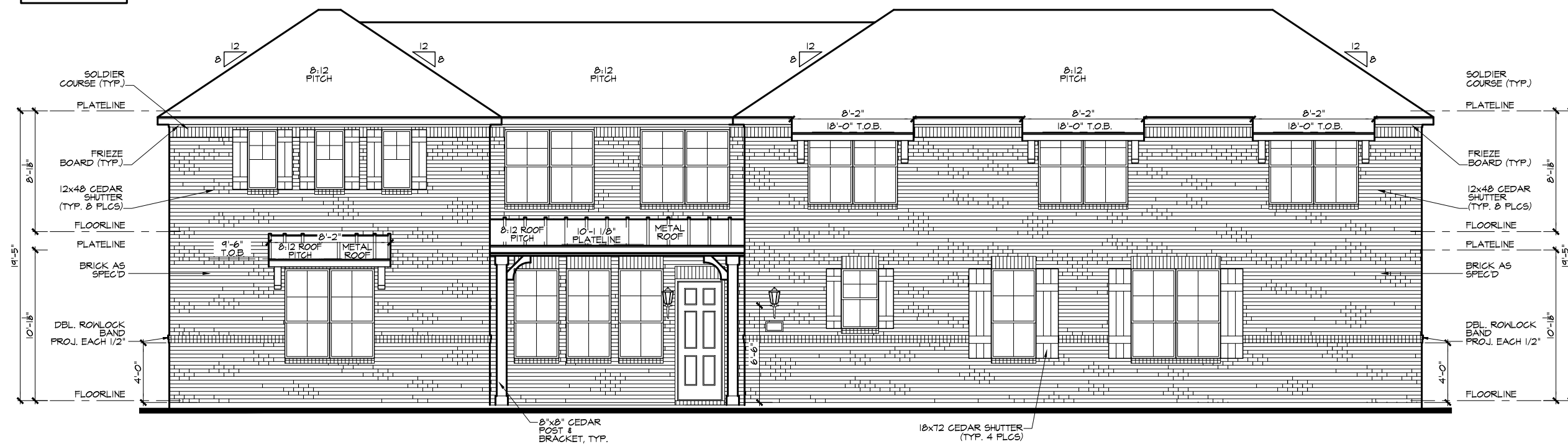
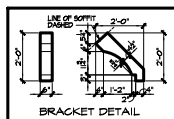
SUBDIVISION	CANUP	BUYER	Spec.
LOT - 49	BLK -		
ADDRESS	302 BOURN ST		
DATE	02/12/24	DRAWN BY:	AW
PLAN NUMBER	2507	1375	SQ. FT. FLATWORK



NORTH
SCALE: 1"=20'



Type " B " Drainage



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

PLAN NO. 2876

CONFIA HOMES
305 BOURN ST

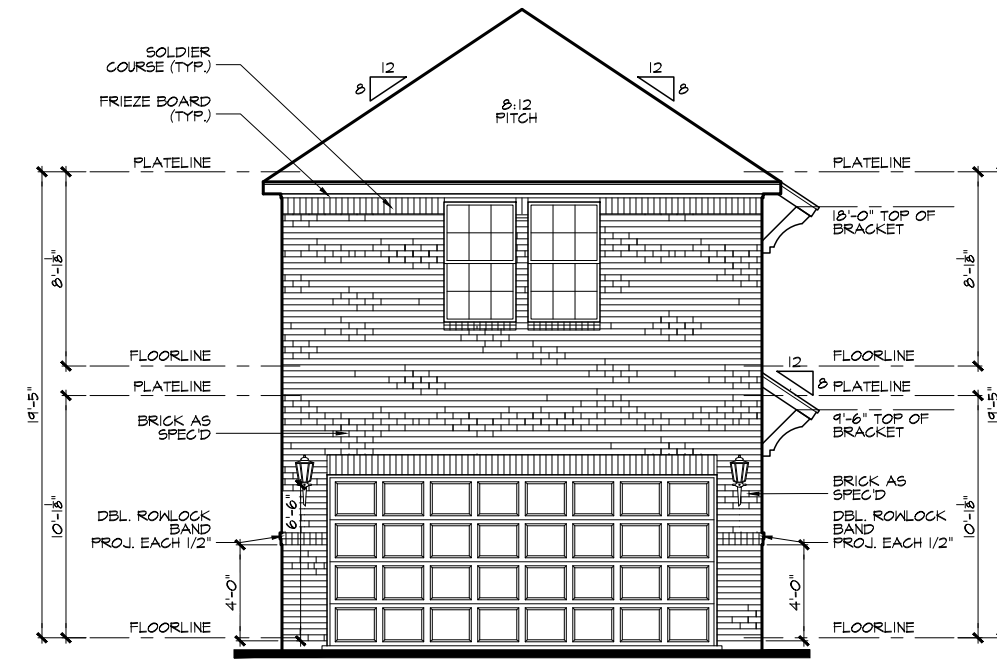
REVISIONS:
PRR #

Drawn By:
AW

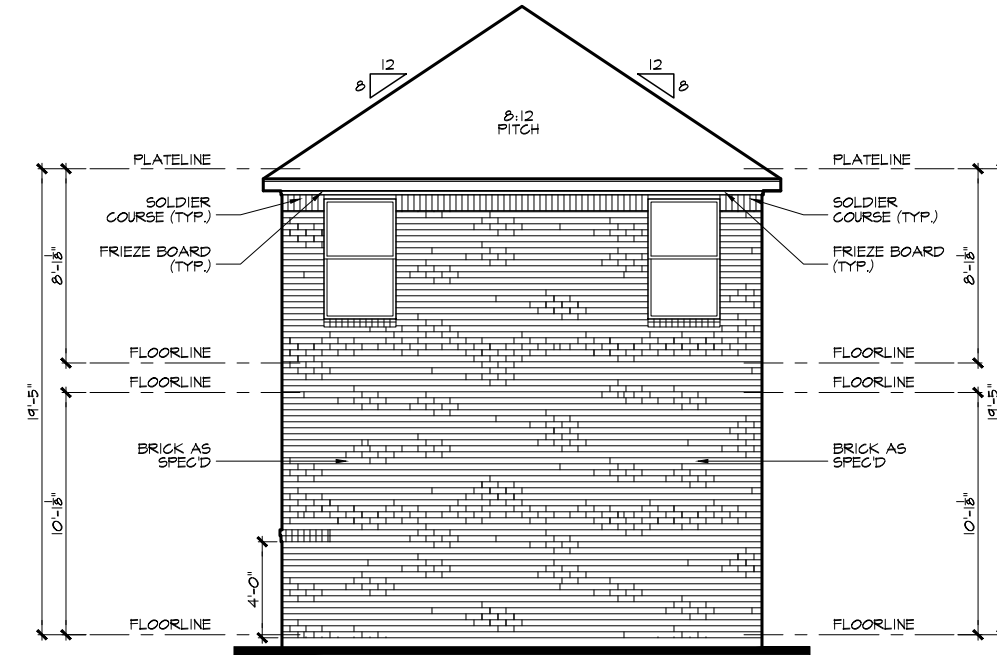
Plan Number
2876

AI
2 of 11

NOTE: ALL SIDE AND REAR WINDOWS ARE TO BE CLEAR OR DIVIDED LITE PER COMMUNITY SPECS.



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

PLAN NO. 2876

CONFIA HOMES
305 BOURN ST

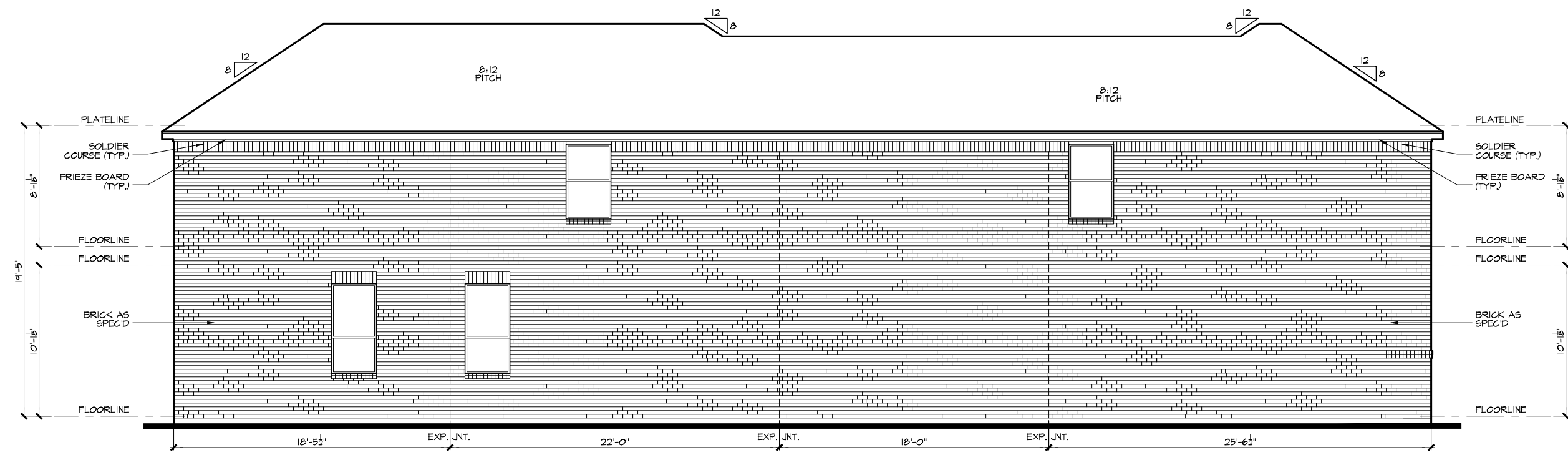
REVISIONS:
PRR #

Drawn By:
AW

Plan Number
2876

A2
3 of 11

NOTE: ALL SIDE AND REAR WINDOWS ARE TO BE CLEAR OR DIVIDED LITE PER COMMUNITY SPECS.



REAR ELEVATION
SCALE: 1/8" = 1'-0"

PLAN NO. 2876

CONFIA HOMES
305 BOURN ST

REVISIONS:
PRR #

Drawn By:
AW

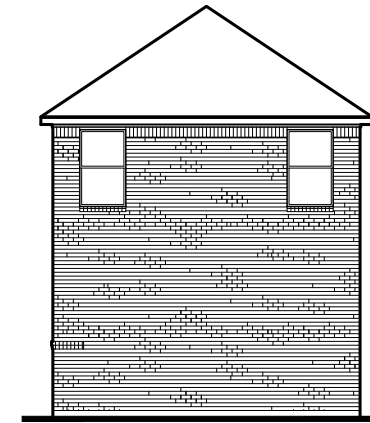
Plan Number
2876

A3
4 of 11



FRONT ELEVATION

SCALE: NTS

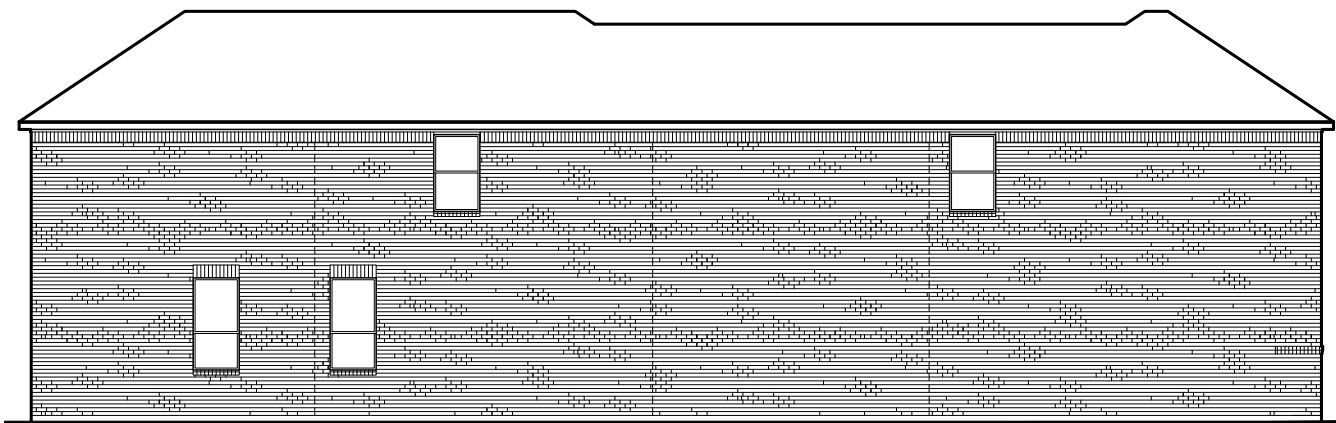


RIGHT ELEVATION

SCALE: NTS

BRICK CALCULATIONS				
2876				
		BRICK AREA	SIDING AREA	BRICK %
FRONT	1st FLR.	678 S.F.	0 S.F.	100%
FRONT	2nd FLR.	463 S.F.	0 S.F.	100%
REAR	1st FLR.	822 S.F.	0 S.F.	100%
REAR	2nd FLR.	661 S.F.	0 S.F.	100%
LEFT	1st FLR.	92 S.F.	0 S.F.	100%
LEFT	2nd FLR.	134 S.F.	0 S.F.	100%
RIGHT	1st FLR.	205 S.F.	0 S.F.	100%
RIGHT	2nd FLR.	133 S.F.	0 S.F.	100%
TOTAL	1st FLOOR	1797 S.F.	0 S.F.	100%
TOTAL	2nd FLOOR	1391 S.F.	0 S.F.	100%
GRAND TOTAL AREA		3188 S.F.	0 S.F.	100%

*WALL AREAS EXCLUDE DOORS & WINDOWS



REAR ELEVATION

SCALE: NTS



LEFT ELEVATION

SCALE: NTS

PLAN NO. 2876

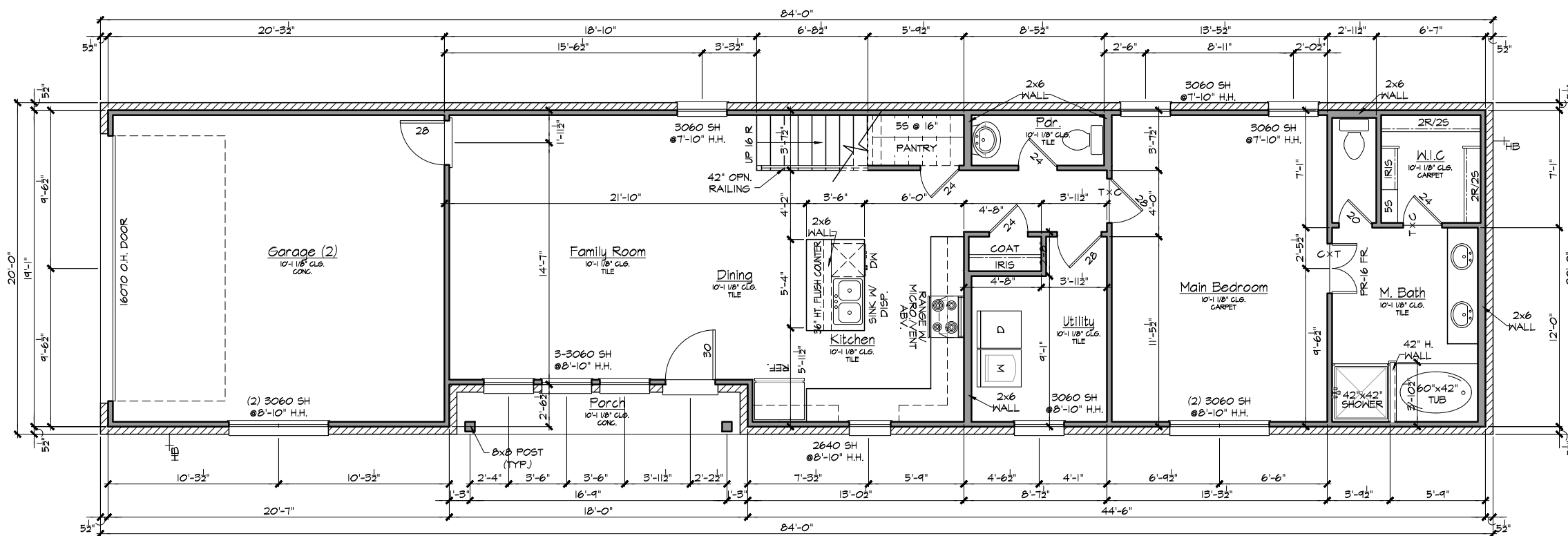
CONFIA HOMES
305 BOURN ST

REVISIONS:
PRR #

Drawn By:
AW

Plan Number:
2876

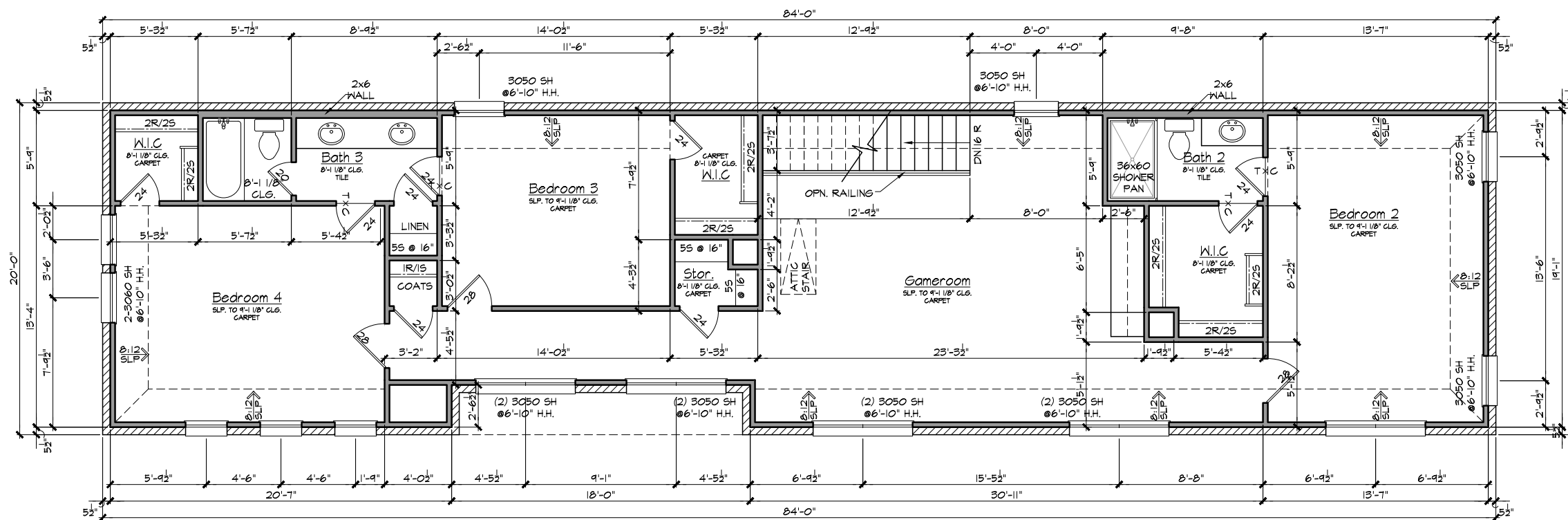
BCI
11 of 11



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

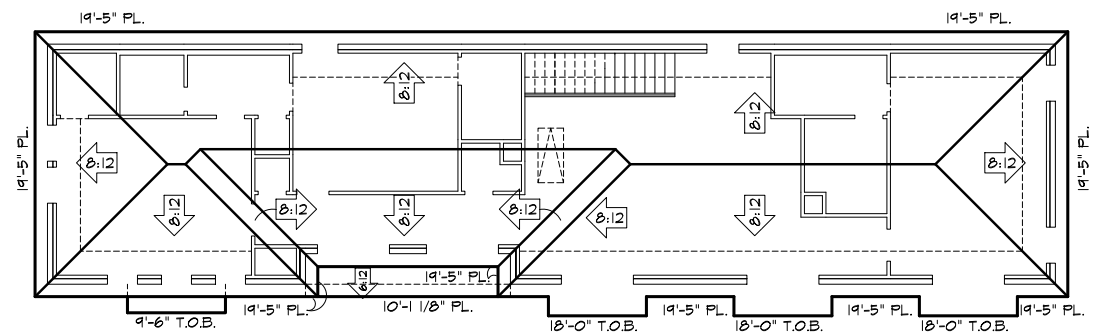
GENERAL NOTES:
 1. ALL WORK SHALL BE IN STRICT CONFORMANCE TO ALL APPLICABLE CODES, REGULATIONS AND LAWS.
 2. ALL WALLS SHALL BE 3 1/2". UNLESS NOTED OTHERWISE.
 3. ALL PLUMBING WALLS TO BE 5 1/2".

AREA CALCULATIONS	
ELEVATION "A"	
FIRST FLOOR	1220 S.F.
SECOND FLOOR	1569 S.F.
TOTAL AREA	2789 S.F.
GARAGE	417 S.F.
COVERED PORCH	43 S.F.
OUTDOOR LIVING	0 S.F.
TOTAL UNDER ROOF	3249 S.F.
OVERALL WIDTH	20'-0"
OVERALL DEPTH	84'-0"



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

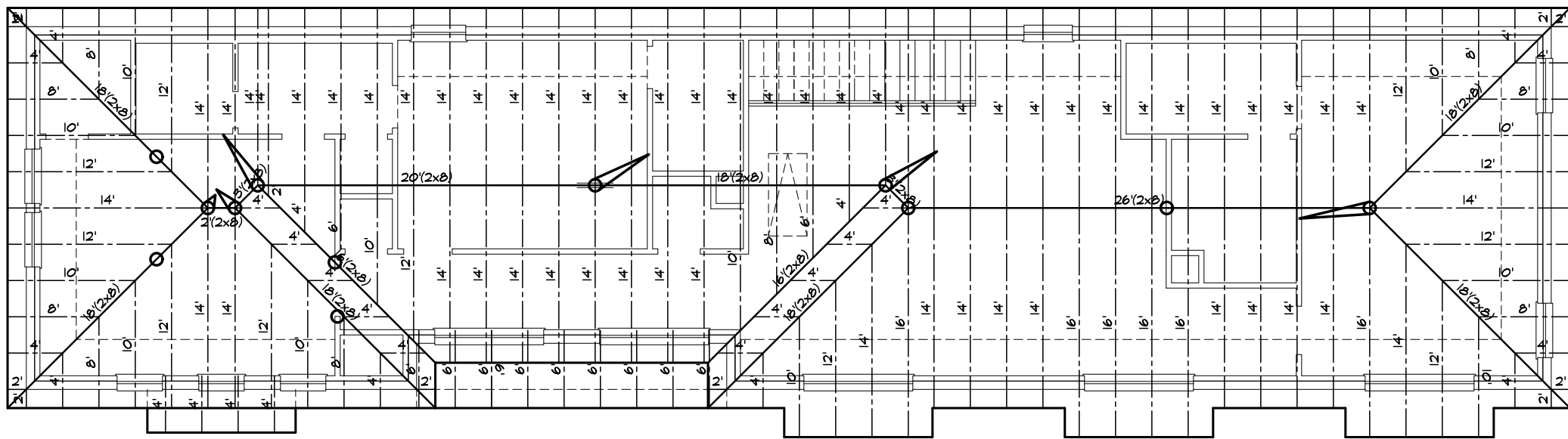


ROOF PLAN

SCALE: 1/16" = 1'-0"

- ROOF NOTES:**
1. ROOF PITCH 8:12. UNLESS NOTED OTHERWISE.
 2. ARROWS INDICATE DRAINAGE.

ATTIC VENT CALCULATIONS	
2876	
TOTAL ROOF AREA (INCLD. OVERHANG)	1948 S.F.
TOTAL MINIMUM VENTED FREE AREA REQ'D=(ROOF AREA / 300)	6.49 S.F.
LAMANCO RV135 VENTS REQ'D. (TOTAL FREE AREA S.F. / 2 / 10)	3
TOTAL # OF SOFFIT VENTS REQ'D. (TOTAL FREE AREA S.F. / 2 / 34)	8
TOTAL VENT AREA	6.12 S.F.



ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
1. All roof rafters shall be 2x6's @ 24" o.c. unless noted otherwise.
 2. All ridges and valleys shall be 2x8's unless noted otherwise.
 3. Purlins shall be placed to reduce rafter spans per applicable span charts.
 4. Rafters, ridges, and valleys over 9'-6" spans shall be #2 S.Y. Pine or equal. Spans 9'-6" in length or less may be #3 S.Y. Pine
 5. Furr down 2x6 rafters with 2x2's in all areas of sloped ceilings. Attach with 3 1/2" screws @ 6" o.c.
 6. Beam and purlin loads shall be distributed to walls or double ceiling joists by T columns of 2-2x6's.
 7. Collar ties shall be placed @ 48" o.c. max at ridges.
 8. Struts shall be 2-2x4's at an angle greater than 46 degrees.
 9. All ceiling joists to be 2x6's @ 24" o.c. unless noted otherwise.
 10. Ceiling joists spans for #2 S.Y. Pine or equal and shall not exceed the following:
 2x6 - 11'-0" @ 24" o.c.
 2x8 - 14'-2" @ 24" o.c.
 2x10 - 17'-0" @ 24" o.c., 20'-9" @ 16" o.c.
 11. Ceiling joists spans for #3 S.Y. Pine or equal shall not exceed the the following:
 2x6 - 8'-6" @ 24" o.c.
 2x8 - 10'-10" @ 24" o.c.
 2x10 - 12'-10" @ 24" o.c., 15'-8" @ 16" o.c.

PLAN NO. 2876

CONFIA HOMES
305 BOURN ST

REVISIONS:
PRR #

Drawn By:
AW

Plan Number
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